



Electoral Area Services Committee Meeting Agenda

Wednesday, March 21, 2018
Board Room
175 Ingram Street, Duncan, BC

1:30 PM

1. APPROVAL OF AGENDA

2. ADOPTION OF MINUTES

M1. Electoral Area Services Committee Meeting of March 7, 2018

Recommendation That the minutes of the Electoral Area Services Committee meeting of March 7, 2018 be adopted.

3. BUSINESS ARISING FROM THE MINUTES

4. PUBLIC INPUT PERIOD

The purpose of the Public Input Period is to provide the public with an opportunity to comment on an agenda item before the Board / Committee / Commission considers the item. The Public Input Period Procedure Policy provides for the public input period to proceed in a timely fashion. Public Input Period items cannot include matters which are, or have been, the subject of a Public Hearing.

5. DELEGATIONS

6. CORRESPONDENCE

C1. Grant-in-Aid Request, Electoral Area B – Shawnigan Lake, Re: Frances Kelsey Secondary School Dry Grad 2018 Committee

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area B – Shawnigan Lake, in the amount of \$500 be provided to Frances Kelsey Secondary School Dry Grad Committee to support its 2018 Dry Grad Celebration.

C2. Grant-in-Aid Request, Electoral Area E – Cowichan Station/Sahtlam/Glenora, Re: Red Willow Womyn's Society

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area E – Cowichan Station/Sahtlam/Glenora, in the amount of \$500 be provided to support acquisition of space in Duncan for child protection services offered to aboriginal women in the community.

C3. Grant-in-Aid Request, Electoral Area F – Cowichan Lake South/Skutz Falls Re: Lake Cowichan School Bursary

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area F – Cowichan Lake South/Skutz Falls, in the amount of \$500 be provided for a bursary to a graduating Area F student pursuing post-secondary education.

C4. Grant-in-Aid Request, Electoral Area F – Cowichan Lake South/Skutz Falls, Re: Lake Days Celebration Society

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area F – Cowichan Lake South/Skutz Falls, in the amount of \$550 be provided to sponsor and support the “pancake breakfast” during Lake Days, June 3 – 10, 2018.

C5. Grant-in-Aid Request, Electoral Area G – Saltair/Gulf Islands, Re: Chemainus Secondary School Bursaries

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area G – Saltair/Gulf Islands, in the amount of \$1000 be provided to Chemainus Secondary School for two bursaries; (1) Saltair Community – \$500 (2) Thetis Island CVRD – \$500.

C6. Grant-in-Aid Request, Electoral Area G – Saltair/Gulf Islands, Re: Nanaimo – Ladysmith Schools Foundation Bursary

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area G – Saltair/Gulf Islands, in the amount of \$500 be provided to Nanaimo – Ladysmith Schools Foundation to support the Ladysmith Secondary School Bursary program, for a student residing in Area G.

7. INFORMATION

8. REPORTS

R1. Application No. 04-B-17DP-VAR (Lot 4 Ark Road) – Report from Development Services Division

Recommendation That it be recommended to the Board:

1. That Development Permit Application No. 04-B-17DP/VAR (Lot 4, Ark Road) be approved;
2. That Zoning Bylaw No.985 Section 11.4 (b) (2) be varied from 10 metres to 12.95 metres; and that Section 11.4 (b) (5) be varied to remove the screening requirements along the eastern boundary due to an existing right-of-way and to remove the requirements along the remaining boundaries as the majority of the boundaries contain protected riparian areas; and
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of the development permit guidelines of Official Community Plan Bylaw No. 3510.

R2. Application No. 03-C-17DP/VAR (1480 Heigh Street) – Report from Development Services Division

Recommendation That it be recommended to the Board:

1. That Zoning Bylaw No. 3520 Section 12.7.4 (Setbacks) be varied for the west parcel line from 6 m to 0.3 m; and that Section 5.3.1.c.ii (Setback Exceptions) be varied to allow a canopy projection from 1 m to 1.91 m;
2. That Development Permit with Variance Application No. 03-C-17DP/VAR (1480 Heigh Street) be approved; and
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 3510.

R3. Jack Fleetwood Trail License Agreement Renewal – Report from Parks & Trails Division

Recommendation That it be recommended to the Board that a two-year extension (2018 – 2020) of the Jack Fleetwood Trail License Agreement with Island Timberlands LP be executed.

R4. February, 2018, Building Inspection Report – Verbal Report from Ian MacDonald, Chief Building Inspector, Inspections & Enforcement Division

Recommendation For information.

R5. February, 2018, Bylaw Enforcement Report – Verbal Report from Nino Morano, Bylaw Enforcement Officer, Inspections & Enforcement Division

Recommendation For information.

R6. 2018 Budget Amendment for Function 469 - Cowichan Station Association – Electoral Area E – Report from Engineering Services Department

Recommendation That it be recommended to the Board:

1. That the 2018 Budget for Function 469 – Cowichan Station Association – Area E be amended to:
 1. Increase Grant to Organization by \$15,000; and
 2. Increase Transfer from Gas Tax Reserve by \$15,000.
2. That Function 469 – Cowichan Station Association – Area E 2018 Budget amendment be authorized to proceed prior to adoption of the 2018 Budget Amendment.

R7. Directors Report from K. Kuhn Re: Picnic Shelter Donation to Mile 77 Park

Recommendation That it be recommended to the Board that a financial donation contribution equivalent to the cost of materials and labour for a 20 x 20 ft picnic shelter be accepted from Laketown Ranch, with the donation applied to the Electoral Area I Community Parks for capital improvement investment at a park site in the community.

9. UNFINISHED BUSINESS

10. NEW BUSINESS

11. QUESTION PERIOD

Questions shall be addressed to the Chair and must be truly questions and not statements of opinions. Questioners are not permitted to make a speech.

12. CLOSED SESSION

That the meeting be closed to the public in accordance with the *Community Charter* Part 4, Division 3, Section 90, subsections as noted in accordance with each agenda item.

CS1. R1 - Report from Parks & Trails Division, Re: Land Acquisition {Sub(1)(e)}

Recommendation

13. ADJOURNMENT

Minutes of the Electoral Area Services Committee Meeting held on Wednesday, March 7, 2018 in the Board Room, 175 Ingram Street, Duncan BC at 1:31 PM.

PRESENT: Director I. Morrison, Chair
Director S. Acton
Director K. Davis
Director M. Dorey
Director L. Iannidinardo <until 4:20 PM>
Director K. Kuhn
Director A. Nicholson

ALSO PRESENT: B. Carruthers, Chief Administrative Officer
R. Blackwell, General Manager, Land Use Services
K. Harrison, Deputy Corporate Secretary
R. Conway, Manager, Development Services
B. Dennison, Manager, Water Management
K. Miller, Manager, Environmental Services Division
L. Knodel-Joy, Senior Engineering Technologist
I. MacDonald, Chief Building Inspector
B. Suderman, Senior Planner
K. Batstone, Planning Coordinator
R. Rondeau, Planner II
J. Munn, Planner II
J. Hughes, Recording Secretary
S. Carlow, Legislative Assistant
K. Madge, Development Officer

ABSENT: Director M. Clement
Director M. Marcotte

APPROVAL OF AGENDA

It was moved and seconded that the agenda be amended with the addition of two New Business Items:

NB1 Fireworks – Annual Brentwood Regatta – Report from Inspections & Enforcement Division;

NB2 Water Licence Application Referral – Report from Environmental Services Division; and

that the agenda, as amended, be approved.

MOTION CARRIED

ADOPTION OF MINUTES

M1 Regular Electoral Area Services Committee meeting of February 21, 2018

It was moved and seconded that the minutes of the Regular Electoral Area Services Committee meeting of February 21, 2018, be adopted.

MOTION CARRIED

The Committee agreed by consensus that Item R5, Application No. 03-H-16RS (13271 Simpson Road) - Report from Development Services Division, be moved after Adoption of Minutes.

R5 Application No. 03-H-16RS (13271 Simpson Road) - Report from Development Services Division

It was moved and seconded that it be recommended to the Board:

- 1. That Zoning Amendment Bylaw for Application No. 03-H-16RS (13271 Simpson Road) be forwarded to the Board for consideration of 1st and 2nd readings;**
- 2. That referrals to Ministry of Transportation and Infrastructure (Nanaimo), Island Health (Nanaimo), North Oyster Volunteer Fire Department, Regional District of Nanaimo, Agricultural Land Commission and Nanaimo Airport Commission be accepted;**
- 3. That a covenant be drafted to secure proposed amenities and environmental protection measures; and**
- 4. That a public hearing be scheduled with Directors from Electoral Areas H, G and E as delegates.**

MOTION CARRIED**INFORMATION**

IN1 The following Items 1 through 6 were received for information.

1. Area D - Cowichan Bay Parks Commission Minutes - January 15, 2018;
2. Area D - Cowichan Bay Parks Commission Minutes - February 19, 2018;
3. Area E - Cowichan Station/Sahtlam/Glenora Revised Parks Commission Minutes - November 9, 2017;
4. Area E - Cowichan Station/Sahtlam/Glenora Parks Commission Minutes - February 8, 2018;
5. Area G - Saltair/Gulf Islands Parks Commission Minutes - February 5, 2018; and
6. Area I - Youbou/Meade Creek Parks Commission - January 17, 2018.

IN2 Land Use Services Department 2017 Year End Report was received for information.

REPORTS

R1 Application No. 01-A-17DVP (653 Sentinel Drive) - Report from Development Services Division

It was moved and seconded that it be recommended to the Board that Application No. 01-A-17DVP (653 Sentinel Road) to vary Section 10.9(4) of Zoning Bylaw No. 3520 to increase the maximum permitted height of a principal residential building from 7.5 metres to 7.97 metres be approved.

MOTION CARRIED

R2 Application No. 02-A-17DVP (668 Sentinel Drive) - Report from Development Services Division

It was moved and seconded that it be recommended to the Board that Application No. 02-A-17DVP (668 Sentinel Drive) to vary Section 10.9(4) of Zoning Bylaw No. 3520 to increase the maximum permitted height of a principal residential building from 7.5 metres to 8.06 metres be approved.

MOTION CARRIED

R3 Application No. 03-A-17DVP (649 Sentinel Drive) - Report from Development Services Division

It was moved and seconded that it be recommended to the Board that Application No. 03-A-17DVP (649 Sentinel Drive) to vary Section 10.9(4) of Zoning Bylaw No. 3520 to increase the maximum permitted height of a principal residential building from 7.5 metres to 8.7 metres be approved.

MOTION CARRIED

R4 Application No. 22-D-17DP (1615 Koksilah Road) - Report from Development Services Division

It was moved and seconded that it be recommended to the Board:

- 1. That Development Permit Application No. 22-D-17DP be approved;**
- 2. That Sections 2.4(2)(j) and 2.4(2)(k) of Zoning Bylaw No. 3705 be varied by eliminating respective requirements for paved parking area and installation of oil-water separators; and**
- 3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 3605.**

MOTION CARRIED

2:52 PM The Committee took a recess at 2:52 PM.

3:05 PM The meeting resumed at 3:05 PM.

R5 Application No. 03-H-16RS (13271 Simpson Road) - Report from Development Services Division was moved after Adoption of Minutes.

R6 Request to Close a Portion of Watson Road - Report from Development Services Division

It was moved and seconded that it be recommended to the Board that the request to close the portion of Watson Road between Heigh Street and Fisher Road on May 5 and 6, 2018, be supported.

MOTION CARRIED

R7 CVRD Cannabis Bylaw Amendments - Report from Community Planning Division

It was moved and seconded that CVRD Zoning Amendment Bylaw Nos. 4118, 4119, 4120, 4121, 4122, 4123, 4124 and 4125 be referred back to staff for further review and report back to the Electoral Area Services Committee.

MOTION CARRIED

R8 Twin Cedars Sewer Inclusion Request - 3576 Holland Road - Report from Water Management Division

It was moved and seconded that it be recommended to the Board:

- 1. That the Certificate of Sufficiency confirming that a sufficient petition requesting inclusion into the Twin Cedars Sewer System Service Area be received.**
- 2. That CVRD Bylaw No. 2871 – Twin Cedars Sewer System Service Establishment Bylaw, 2006, be amended to include the property described as PID 006-913-920.**

MOTION CARRIED

R9 Cowichan Bay Sewer Inclusion Request - 1590 Cowichan Bay Road - Report from Water Management Division

It was moved and seconded that it be recommended to the Board:

- 1. That the Certificate of Sufficiency confirming that a sufficient petition requesting inclusion into the Cowichan Bay Sewer System Service Area be received.**
- 2. That CVRD Bylaw No. 2128 – Cowichan Bay Sewer System Service Establishment Bylaw, 2000, be amended to include the property described as Lot 2, Plan VIP34963, Section 5, Range 5, Cowichan Land District, PID 000-313-335.**

MOTION CARRIED

NEW BUSINESS

NB1 Fireworks - Annual Brentwood Regatta - Report from Inspections & Enforcement Division

That it be recommended to the Board that the fireworks discharge permit for the 2018 Annual Brentwood Regatta at 2735 Mount Baker Road in Mill Bay on April 27, 2018, be approved.

MOTION CARRIED

NB2 Water Licence Application Referral - Report from Environmental Services Division, was received for information.

CLOSED SESSION

4:20 PM It was moved and seconded that the meeting be closed to the public in accordance with the *Community Charter* Part 4, Division 3, Section 90 (1)(f) Law Enforcement, (1)(g) Potential Litigation and adoption of the Closed Session Electoral Area Services Committee Minutes of February 7, 2018.

MOTION CARRIED

4:20 PM Director Iannidinardo let the meeting at 4:20 PM

RISE FROM CLOSED SESSION

5:03 PM It was moved and seconded that the Committee rise, without report, and return to the open portion of the meeting.

MOTION CARRIED

ADJOURNMENT

5:03 PM It was moved and seconded that the meeting be adjourned.

The meeting adjourned at 5:03 PM.

Chair

Recording Secretary

Dated: _____



CVRD RECEIVED
MAR - 7 2018

Finance Division

COWICHAN VALLEY REGIONAL DISTRICT

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director Acton Area B

Grantee: _____ Grant Amount \$ 500-

NAME: Frances Kelsey Secondary School c/o Dry Grad

ADDRESS: PO Box 279
953 Shawrigan - Mill Bay Rd.
Mill Bay, BC, V0R 1P0

Contact Phone No: Sophia Ali 778-676-0549

PURPOSE OF GRANT: _____
Grant toward costs associated
with Dry Grad. Total Budget goal
of \$40,000

REQUESTED BY: S Acton
 Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0161-112</u>	<u>500.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL MB

Approval at Regional Board Meeting of _____

Finance Authorization _____



COWICHAN VALLEY REGIONAL DISTRICT

Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director Nicholson Area E

Grantee: _____ Grant Amount \$ 500.00

NAME: Red Willow Women's Society - Patricia Delisle

ADDRESS: 2584 Lodgepole Road
Mill Bay VOR 2P1

Contact Phone No: 250-929-1199

PURPOSE OF GRANT: Support acquisition of office space
in Duncan for child protection services
offered to aboriginal women in the
community

REQUESTED BY: [Signature]
Director's Signature

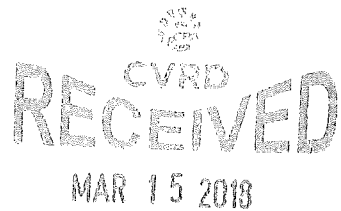
ACCOUNT NO.	AMOUNT
<u>01-2-1950-0435-115</u>	<u>500.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____



COWICHAN VALLEY REGIONAL DISTRICT

Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director MORRISON Area F

Grantee: _____ Grant Amount \$ 500⁰⁰

NAME: LAKE COWICHAN SCHOOL (LCS)

ADDRESS: P.O. BOX 40, LAKE COWICHAN, BC, V0R 2G0

Contact Phone No: TARA BROOKS 250-749-6634

PURPOSE OF GRANT: TO PROVIDE A BURSARY AND SUPPORT TO A GRADUATING AREA F STUDENT PURSUING VOCATIONAL, TECHNICAL, OR UNIVERSITY TRAINING AFTER HIGH SCHOOL

REQUESTED BY: [Signature]
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0364-116</u>	<u>500.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____



RECEIVED

FEB 01 2018

LAKE COWICHAN SCHOOL (LCS)
190 SOUTH SHORE ROAD
BOX 40
LAKE COWICHAN, BC V0R 2G0
Tel (250)749-6634 Fax (250)749-6222

January 26, 2018

Ian Morrison
Director - Area F
C.V.R.D.
175 Ingram Street
Duncan, BC V9L 1N8

Dear Ian Morrison

In the past, your organization has come forward to offer scholarship / bursary money to deserving graduates at Lake Cowichan School to pursue their post-secondary education. I would like to thank you for your past contributions toward our Scholarship and Bursary Program. As we prepare to offer scholarships and bursaries for the Graduating Class of 2018, we ask that you review, confirm and update the information on the attached sheet.

Applications will be processed and sent to you for selection, or applications will be forwarded to the LCS Scholarship committee for selection, depending on your choice.

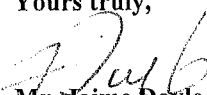
If you require a special application form, please include that with your confirmation. Where possible, we request that you email it to us in WORD format so we are able to offer it to students in a way that allows them to enter their information directly onto your form.

IMPORTANT DATES

Thursday, February 22	Return attached confirmation form to LCS
Friday, April 6	Student application packages sent to you
Friday, May 11	Submit names of recipients to LCS as well who will be attending awards night to present award (if attending)
Thursday, June 7	Awards Night

Please return the attached confirmation form to Tara Brooks by Thursday, February 22nd by fax to 250-749-6222 or by email to lesscounsec@sd79.bc.ca SUBJECT: Scholarships & Bursaries. You can also confirm by telephone at 250-749-6634.

Thank you for your time and commitment to the young people of our community and their future education. If you require more information please contact me any time.

Yours truly,

Mr. Jaime Doyle
Principal

/tb

Attachment



CVRD
RECEIVED
MAR 15 2018

Finance Division

COWICHAN VALLEY REGIONAL DISTRICT

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director MORRISON Area F

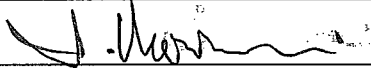
Grantee: _____ Grant Amount \$ 550⁰⁰

NAME: LAKE DAYS CELEBRATION SOCIETY

ADDRESS: P.O. BOX 1357, LAKE COWICHAN, B.C., V0R 2G0


Contact Phone No: DUSTIN MAYO 250-701-5253

PURPOSE OF GRANT: SPONSORSHIP AND SUPPORT OF
THE POPULAR "PANCAKE BREAKFAST" DURING
LAKE DAYS JUNE 3-10TH, 2018

REQUESTED BY: 
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0243-116</u>	<u>550.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL 

Approval at Regional Board Meeting of _____

Finance Authorization


CVRD
RECEIVED
FEB 27 2018

Lake Days

June 3rd-10th, 2018
PO Box 1357
Lake Cowichan, BC V0R2G0
cowichanlakedays@hotmail.ca
250-701-5253

CVRD
175 Ingram Street
Duncan, BC
V9L 1N8

Attention: Area F Director

Dear Ian Morrison,

It is with great gratitude that I take this opportunity to thank you for your years of continued and generous support of our Lake Days Celebration Society.

Once again we will be hosting the annual Pancake Breakfast during the Lake Days 2018 celebrations and we are approaching you as a past supporter of this community event. Specifically we would like to ask you for a \$550.00 donation to go towards the Pancake Breakfast that is provided to the residents of Area F, Area I, the Town of Lake Cowichan and visitors from afar.


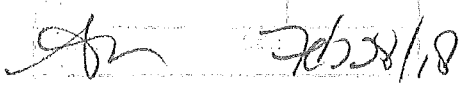
The Pancake Breakfast continues to be a huge success during the week long Lake Days Celebrations. Should you have any questions please feel free to contact me.

We look forward to hearing back from you.

Thank you in advance.

Sincerely,


Dustin Mayo
Chair person, Lake Days Celebration Society



8/23/18



CVRD RECEIVED
MAR - 7 2018

COWICHAN VALLEY REGIONAL DISTRICT

Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director DOREY Area G

Grantee: _____ Grant Amount \$ 1000

NAME: Chemainus Secondary School

ADDRESS: 9947 Daniel St.
Chemainus BC. VORIKI

Contact Phone No: 250-246-4711 250-246-2318

PURPOSE OF GRANT: Two Bursaries
1. Saltair Community \$500
2. Thetis Island CVRD \$500

REQUESTED BY: [Signature]
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0318 -117</u>	<u>1000.00</u>

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BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____



CVRD RECEIVED
MAR - 7 2018

COWICHAN VALLEY REGIONAL DISTRICT

Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director DOREY Area G

Grantee: _____ Grant Amount \$ 500

NAME: Nanaimo - Ladysmith Schools Foundation

ADDRESS: 550 Seventh St
Nanaimo BC. V9R 3Z2

Contact Phone No: 250-753-4074

PURPOSE OF GRANT: Bursary for Saltair Student attending Ladysmith Secondary

REQUESTED BY: [Signature]
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0361-117</u>	<u>500.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____



STAFF REPORT TO COMMITTEE

DATE OF REPORT March 12, 2018
MEETING TYPE & DATE Electoral Area Services Committee Meeting of March 21, 2018
FROM: Development Services Division
Land Use Services Department
SUBJECT: Application for a Development Permit at Lot 4, Ark Road
(PID:026-350-041)
FILE: 04-B-17DP/VAR

PURPOSE/INTRODUCTION

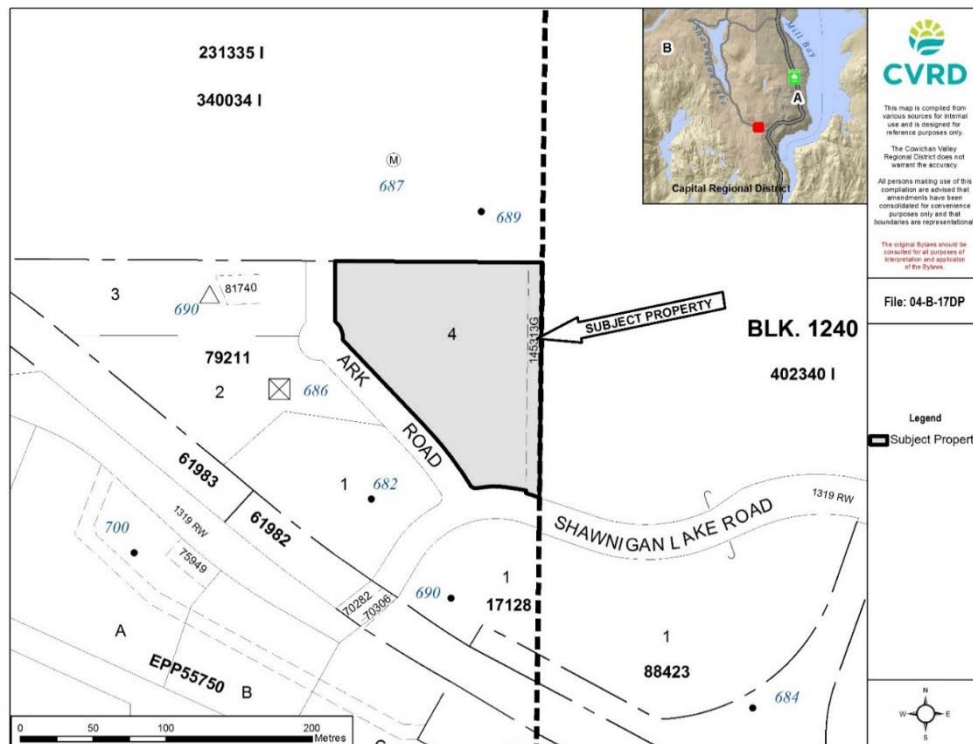
The purpose of this report is to present a Development Permit Application for an industrial site at Lot 4, Ark Road.

RECOMMENDED RESOLUTION

That it be recommended to the Board:

1. That Development Permit Application No. 04-B-17DP/VAR (Lot 4, Ark Road) be approved;
2. That Zoning Bylaw No.985 Section 11.4 (b) (2) be varied from 10 metres to 12.95 metres; and that Section 11.4 (b) (5) be varied to remove the screening requirements along the eastern boundary due to an existing right-of-way and to remove the requirements along the remaining boundaries as the majority of the boundaries contain protected riparian areas; and
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of the development permit guidelines of Official Community Plan Bylaw No.3510.

LOCATION MAP



BACKGROUND

<u>Address:</u>	Lot 4, Ark Road, Shawnigan Lake
<u>Legal Description:</u>	Lot 4, District Lot 132, Malahat District, Plan VIP79211 (PID: 026-350-041)
<u>Applicant / Owners:</u>	Patrick Lucey (Agent), Aqua Tex Scientific Consulting Ltd.
<u>Size of Parcel:</u>	1.65 ha (3.95 acres)
<u>Existing Use of Property:</u>	Vacant land
<u>Use of Surrounding Properties:</u>	<u>North:</u> F-1 zoned with several buildings/dwellings <u>East:</u> RUR-1 zoned large undeveloped block <u>South:</u> F-1 zoned with a single dwelling <u>West:</u> I-1C zoned with several industrial properties
<u>Existing Water:</u>	None
<u>Existing Sewage Disposal:</u>	None
<u>Existing Drainage:</u>	None
<u>Fire Protection:</u>	None
<u>Archaeological Site:</u>	None identified
<u>Environmentally Sensitive Areas:</u>	None
<u>Wildfire Hazard Rating:</u>	Extreme
<u>Official Community Plan Designation:</u>	Industrial (I)
<u>Zoning:</u>	Light Industrial (I-1C)
<u>Development Permit Area (DPA):</u>	South Cowichan Rural DPA
<u>Proposed Water:</u>	Well
<u>Proposed Sewage Disposal:</u>	On-site sewerage system
<u>Proposed Drainage:</u>	On-site drainage infrastructure

Property Context

The subject property is within Electoral Area B and is located at the eastern corner of the Shawnigan Lake Road and Ark Road intersection. The parcel is approximately 1.65 ha (3.95 acres) and is currently vacant. Riparian areas are present on the property. There is a TimberWest statutory right-of-way along the eastern property line that allows for access through the subject property directly from Shawnigan Lake Road to the F-1 zoned lot to the north. The aerial photo appears to show several dwellings/buildings on the lot to the north. There are existing light industrial lots along Ark Road that include a couple warehouse buildings, and a stone and landscape supply business. The area is not serviced with water, sewer, drainage, or fire rescue.

- **See Attachment A – Aerial Photo**
- **See Attachment B – Site Photos**

APPLICATION SUMMARY

The applicant has proposed to develop the site as a roofing and siding supply business. Two engineered dome structures are proposed for warehousing of goods, as well as a separate showroom/office building. The buildings and structures are summarized as follows:

<p>Building A (smaller mega-dome)</p>	<ul style="list-style-type: none"> • Dimensions – 29.87 m x 22.86 m • Gross Floor Area – 682.82 m² (7,349 ft²) • Height – 12.95 m
<p>Building B (larger mega-dome)</p>	<ul style="list-style-type: none"> • Dimensions – 29.87 m x 60.96 m • Gross Floor Area – 1820.87 m² (19,600 ft²) • Height – 12.95 m
<p>Building C (showroom/office)</p>	<ul style="list-style-type: none"> • Gross Floor Area – 697 m² (7,502 ft²) • Wholesale Floor Area – 557 m² • Office Floor Area – 140 m² • Height – 9.65 m at highest point

A total of 31 parking spaces are provided, which includes spaces for disability parking and 9 spaces for longer pick-up trucks with trailers/loading spaces. Some outdoor storage of materials will be located next to the large main dome structure. There are different types of riparian areas on the site including a wetland, stream and ditches.

- **See Attachment C – Site Plan**
- **See Attachment D – Elevations**
- **See Attachment E – RAR Report**
- **See Attachment F – Concept Planting Plan**
- **See Attachment G – Rain Water Management Plan**

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

Advisory Planning Commission (APC)

The Electoral Area "B" Advisory Planning Commission (APC) reviewed the application at their meeting held February 1, 2018 and made the following motion:

- *Motion: "Recommend acceptance of application."*

Surrounding Property Owner Notification and Response

Letters to adjacent property owners were mailed or hand delivered in accordance with Development Application and Procedures Bylaw No. 3275. The purpose was to notify the surrounding community of the proposed variances. To date, 1 letter from the public has been received regarding the application.

- **See Attachment H – Public Submission**

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

South Cowichan Rural Development Permit Area (DPA) within OCP Bylaw No.3510

The proposed development triggers the requirement for a DP pursuant to the *South Cowichan Rural Development Permit Area*. The DPA provides detailed guidelines to ensure development occurs in an orderly and consistent manner. There are nine guidelines that affect the proposed industrial development, which are summarized in the attached table (with staff comments provided for each section).

- **See Attachment I – DPA Guidelines and Detailed Assessment**

Shawnigan Lake Zoning Bylaw No.985

The subject property is zoned Light Industrial (I-1C), which includes regulations that apply to the property such as permitted uses, parcel coverage, building height, setbacks, and vegetation screening. Two variances are proposed and outlined below.

It should be noted that while there are riparian areas on the subject property, this particular riparian area does not meet the Zoning Bylaw definition of a *watercourse*, therefore, the watercourse setbacks within the Zoning Bylaw do not apply. As such, setbacks to the riparian area are determined by the Qualified Environmental Professional (QEP).

Proposed Zoning Bylaw Variances

The following variances are requested with respect to the proposed development:

Building Height

<i>Regulation 11.4 (b) (2)</i>	<i>The height of all buildings and structures shall no exceed 10 metres.</i>
Requested Variance	To vary the height of the dome structures from 10 metres to 12.95 metres.

Vegetative Screen

<i>Regulation 11.4 (b) (5)</i>	<i>A vegetative screen in the I-1C Zone shall be located and maintained along the entire length of parcel lines contiguous to a road or highway, and along interior parcel lines where the abutting parcel is not zoned Industrial. This vegetative screen shall consist of mature coniferous trees not less than 2 metres high when planted and shall be located in at least two offsetting rows and spaced not more than 5 metres apart.</i>
Requested Variance	To remove the screening requirements along the eastern boundary due to an existing right-of-way and to remove the requirements along the remaining boundaries as the majority of the boundaries contain protected riparian areas.

Off-Street Parking Bylaw No.1001

The off-street parking bylaw contains the requirements associated with parking such as dimensions, access, surfacing, and parking rates based on use. The proposed development falls under the warehouse and office use parking rates, and all required parking, loading, and disability parking requirements have been met.

PLANNING ANALYSIS

A wide variety of detailed guidelines apply to this application, which have been fully detailed in Attachment H along with comments specifying how the guidelines have or have not been met. The applicant has modified various aspects of the original submission to better align with the guidelines, such as articulating the showroom building, using coloured chain link fencing, adding natural wood elements and changing the style of signage. The applicant has adequately satisfied the majority of the guidelines and great attention has been put into protecting and enhancing the riparian area.

However, the proposed dome structures do not meet the building design guidelines and there is little opportunity to modify the structures to better meet the guidelines as they are pre-engineered and designed to serve a specific purpose only. It is the opinion of staff that utilizing these structures in this location is generally acceptable for several reasons. The domes have been sited furthest away from the main thoroughfare along Shawnigan Lake Road and serve a much needed storage function for the proposed business. Considering the variety of light industrial uses permitted in the I-1C zone, the proposed use as a roofing and siding supply business is a relatively clean industrial

use with little risk of hazardous materials or contaminants spilling into the surrounding sensitive riparian areas. Overall, the development has met the required guidelines in all other aspects with a significant investment in enhancing the riparian and wetland areas.

As the proposed storage domes are pre-engineered structures, they come with a fixed height and cannot be easily altered. As such, height variances have also been requested. The domes are both 12.95 metres in height and each require a variance of 2.95 metres. The guidelines suggest not increasing height where it would interfere with views or solar access of neighbouring buildings. The separation between the proposed domes and neighbouring buildings varies from 70 to 100 metres, therefore it is suggested that the height variance of 2.95 metres would have little impact on views and solar access of neighbouring buildings. As such, staff is supportive of the proposed height variances.

The I-1C zone also has a very prescriptive vegetative screening requirement that applies to all of the subject property's parcel boundaries. This requirement needs to be varied to recognize an existing statutory right-of-way along the east property boundary where it is not feasible to plant new trees; and to simplify the screening requirements of the remaining boundaries due to existing riparian areas. The majority of the remaining boundaries contain protected riparian areas, which will also act as vegetative screening. Most of the Ark Road frontage and most of the northern boundary contain protected riparian areas. The amount of screening provided by the protected riparian area is considered sufficient for the site and surrounding areas. As screening can be around most of the property boundary by maintaining the protected riparian areas, Staff supports a variance to remove the screening requirements of the zoning bylaw.

A detailed RAR assessment has been provided. The subject property lies within the Van Horne Creek watershed, a major sub-catchment to Shawnigan Creek. The Qualified Environmental Professional (QEP) has identified and reported on all of the riparian features found on the property which include an unnamed stream, unnamed wetland, roadside ditches along Ark Road and Shawnigan Lake Road, an internal drainage ditch, and an unnamed wetland and stream on the adjacent property. The RAR recommendations are attached to the permit to ensure all recommendations of the QEP are followed and specific conditions have been highlighted on the draft permit. Please note that the internal drainage ditch (a result of the original rough grading constructed during subdivision of Ark Road) is proposed to be re-aligned along the northern property boundary. As this ditch flows into the wetland is it now subject to RAR. In addition, the QEP has provided a Project Review response from Fisheries and Oceans Canada indicating that their approval is not required.

The property is not currently located within a Fire Service Area and has an extreme wildfire hazard interface rating. Conditions have been included in the draft DP to require additional measures for the showroom building in order to meet the intent of the Wildfire Interface Guidelines. The proposed dome structures do not meet these guidelines, however, that is a risk that the developer will have to assume in proceeding with the development. The Public Safety Division has commented that they are currently reviewing the area and this property may be included in a fire services area in the future.

Staff recommends that the Development Permit be approved and a draft DP is attached that contains various highlighted conditions, however strict compliance with all schedules will be required.

- **See Attachment J – Draft DP**

OPTIONS

Option 1:

That it be recommended to the Board:

1. That Development Permit Application No. 04-B-17DP/VAR (Lot 4, Ark Road) be approved;
2. That Zoning Bylaw No.985 Section 11.4 (b) (2) be varied from 10 metres to 12.95 metres; and that Section 11.4 (b) (5) be varied to remove the screening requirements along the eastern boundary due to an existing right-of-way and to remove the requirements along the remaining boundaries as the majority of the boundaries contain protected riparian areas; and
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of the development permit guidelines of Official Community Plan Bylaw No.3510.

Option 2:

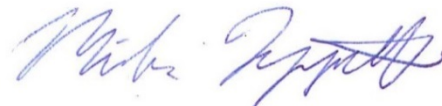
That it be recommended to the Board that Development Permit No. 04-B-17DP/VAR (Lot 4, Ark Road) be denied.

Prepared by:

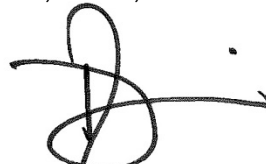


Sheila Herrera, MCIP, RPP
Planner II

Reviewed by:



Mike Tippett, MCIP, RPP
Manager



Ross Blackwell, MCIP, RPP, A. Ag.
General Manager

ATTACHMENTS:

- Attachment A – Aerial Photo
- Attachment B – Site Photos
- Attachment C – Site Plan
- Attachment D – Elevations
- Attachment E – RAR Report
- Attachment F – Concept Planting Plan
- Attachment G – Rain Water Management Plan
- Attachment H – Public Submission
- Attachment I – DPA Guidelines and Detailed Assessment
- Attachment J – Draft DP

ATTACHMENT A



This map is compiled from various sources for internal use and is designed for reference purposes only.

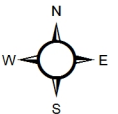
The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 04-B-17DP

TRIM Orthophoto (2014)



ATTACHMENT B





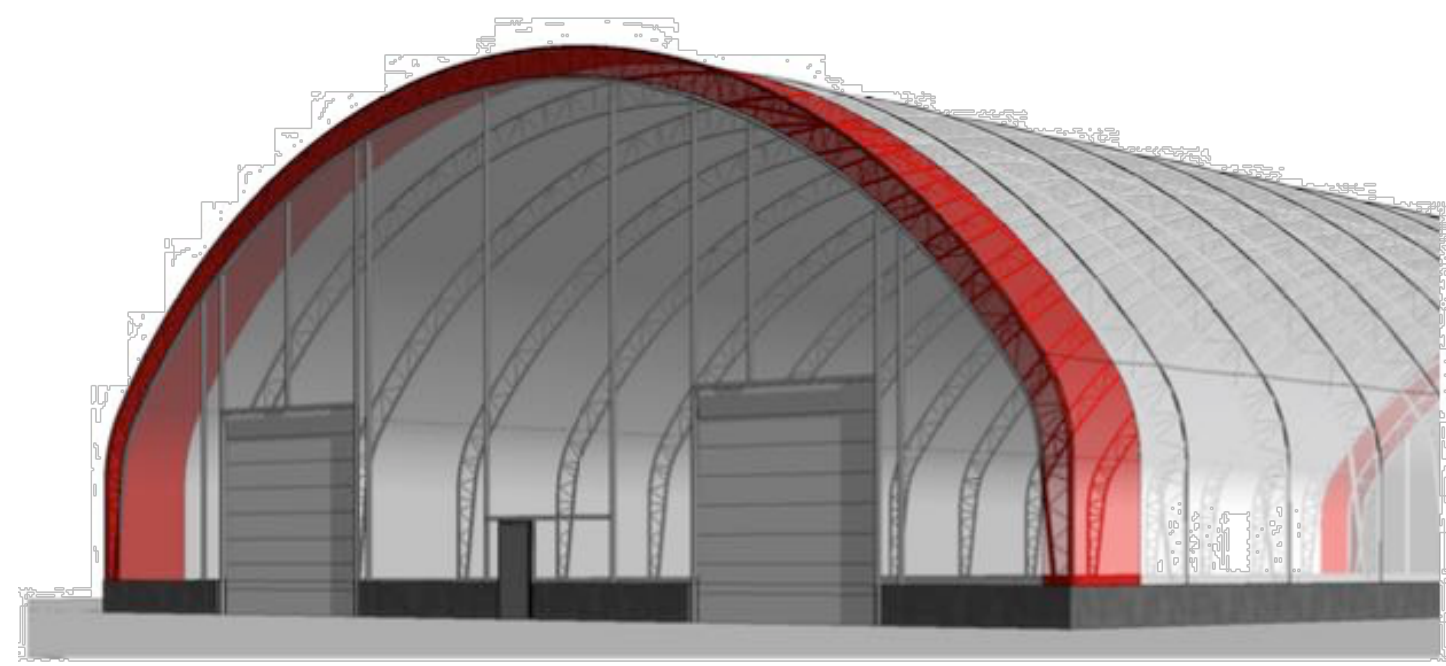
Subject property frontage along Ark Road



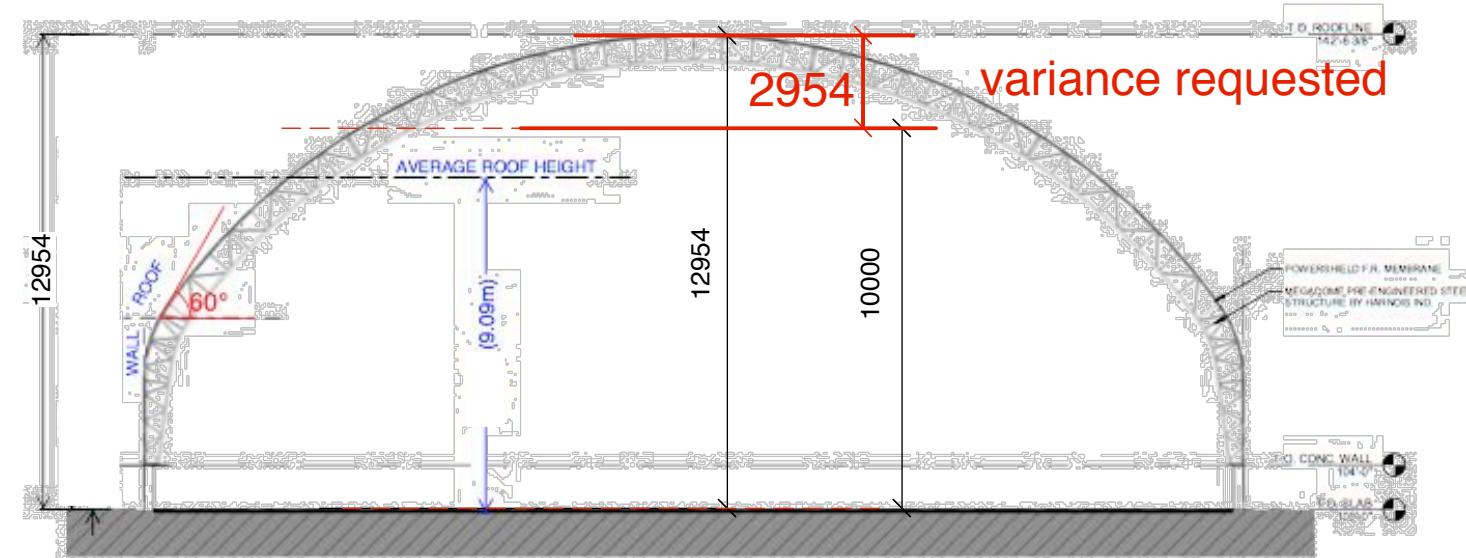
Subject property at edge of cul-de-sac



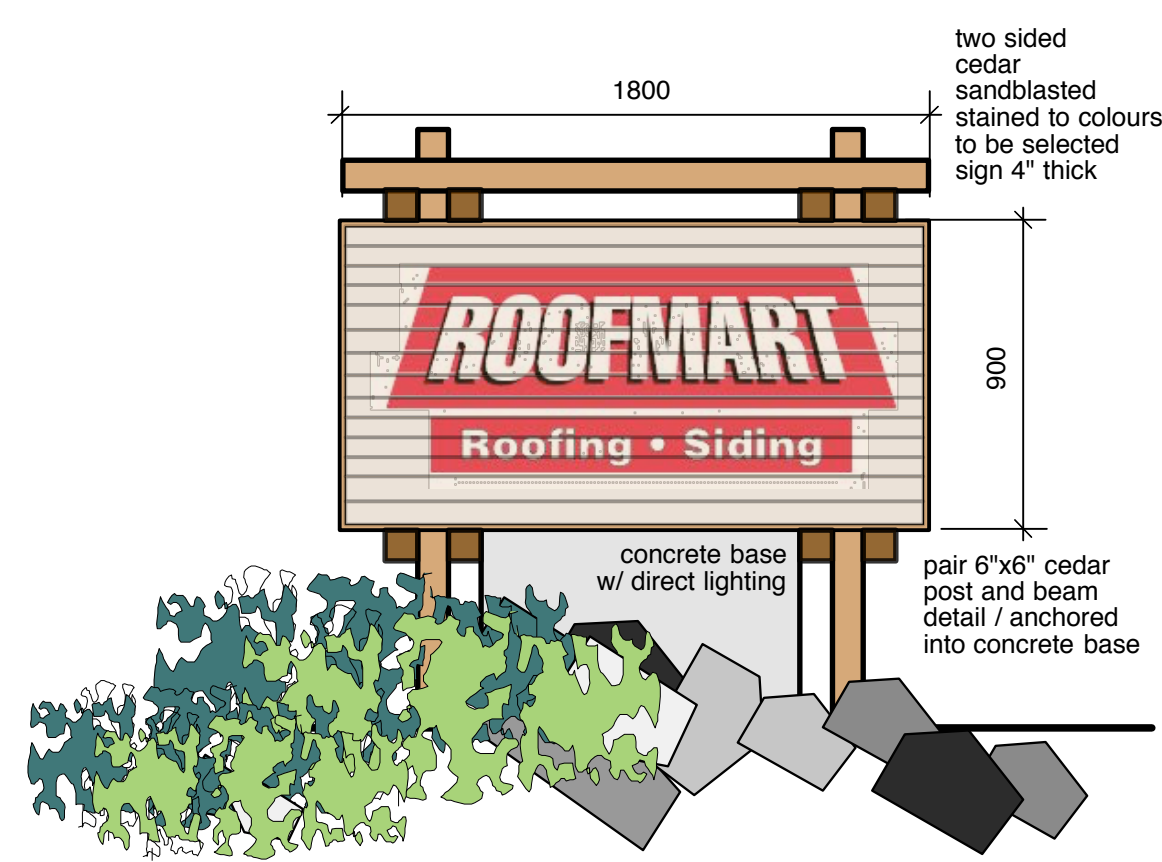
ATTACHMENT C



9 North / South Elevation / Covered Storage
A1.1 scale NTS



10 Cross Section / Covered Storage
A1.1 scale NTS



11 Proposed Two-sided Sandblasted Cedar Sign
A1.1 scale NTS



12 Proposed 1800mm high 'green' chain link Perimeter Fence
A1.1 scale NTS

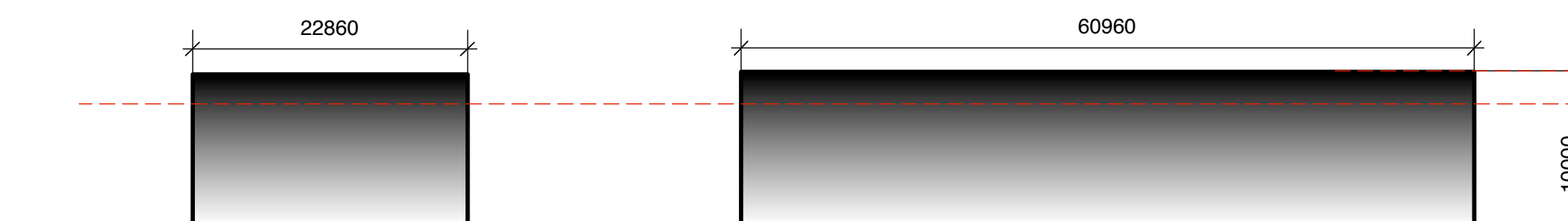
Perimeter Fence to property and SPEA zones including gates to be anchored into concrete base and concrete blocks

Landscape Standards - refer to specified material prepared by Aqua-Tex Scientific Consulting Ltd.

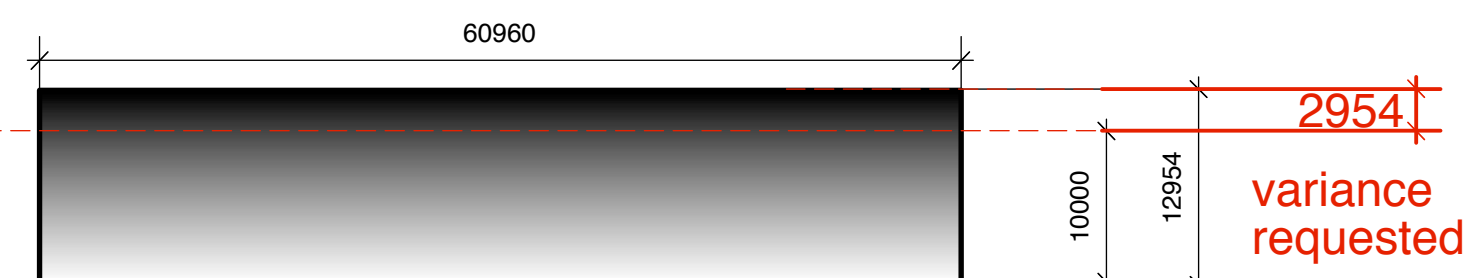
Plantings consist of a variety of plant species, dominated by native and drought tolerant types appropriate to this biogeoclimatic zone.

Trees should be planted in clusters primarily along the southern boundary.

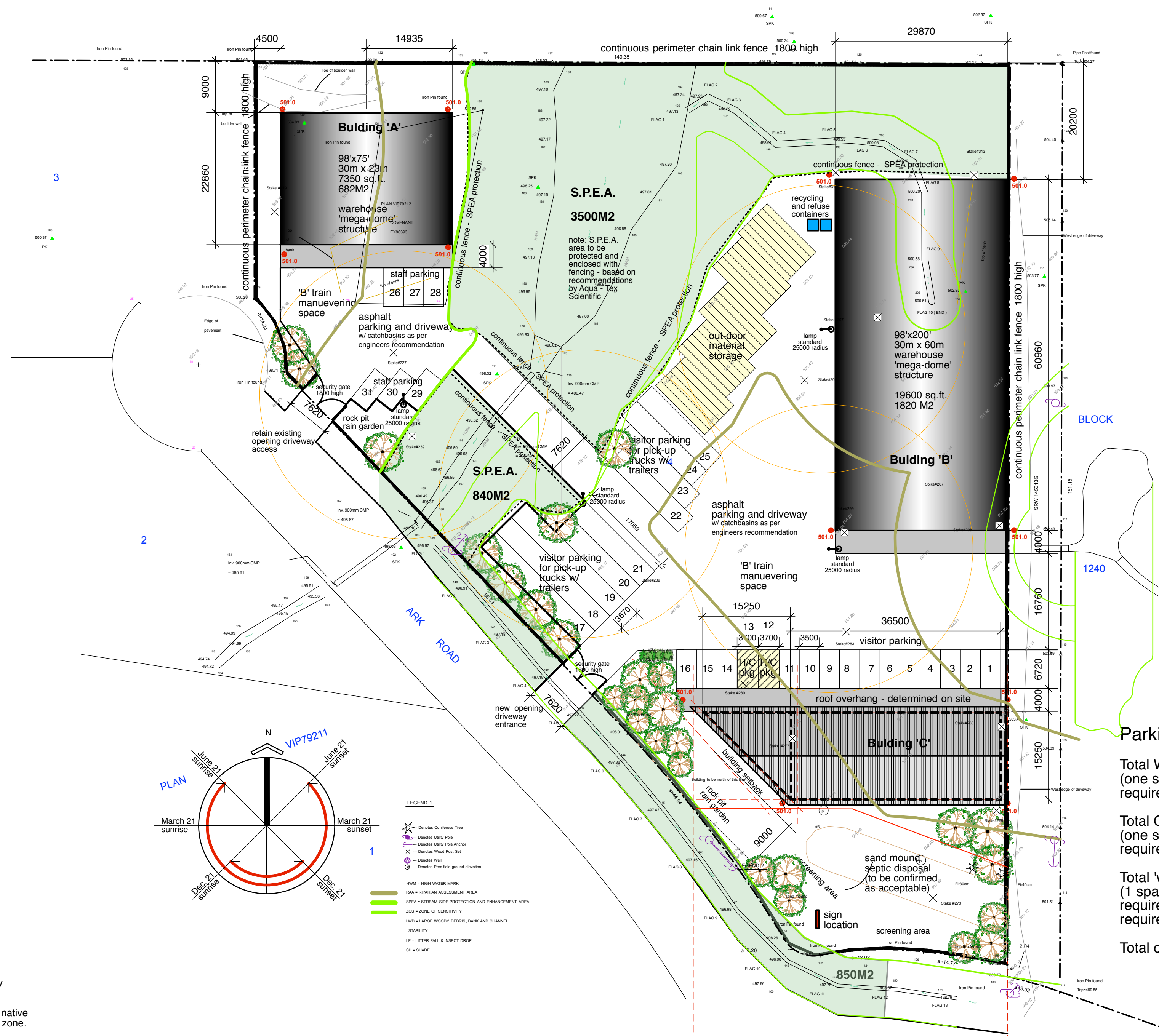
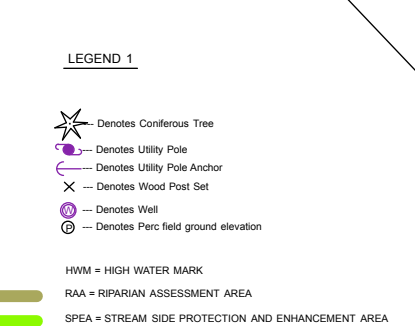
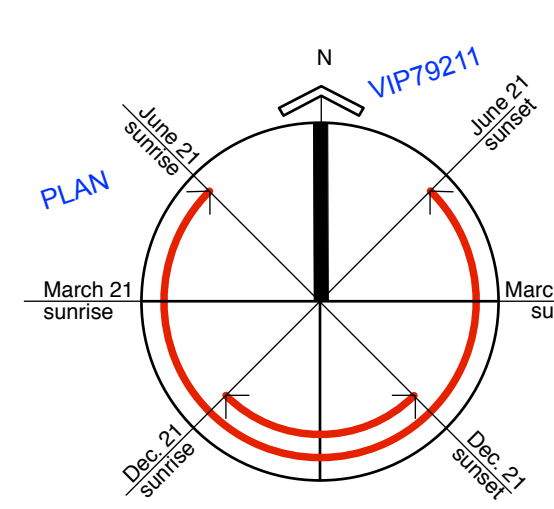
Refuse and recycling containers, utility boxes, fans, vents, and outdoor storage areas will be screened from view



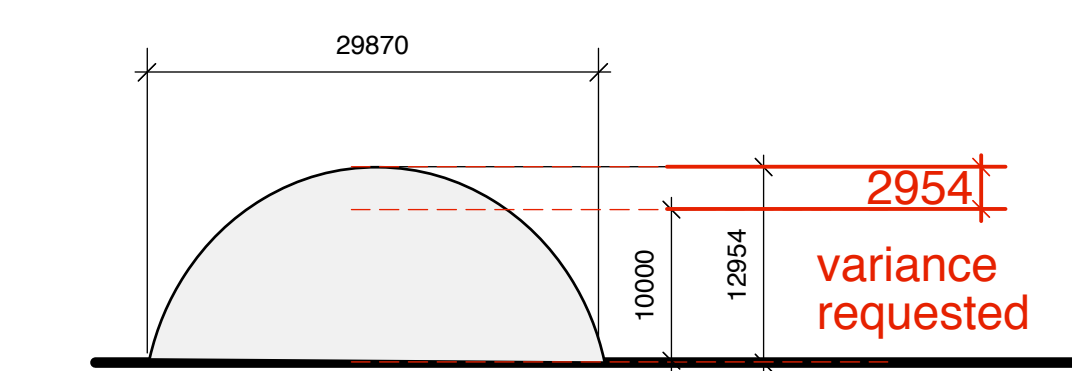
7 East / West Elevation
A1.1 scale 1:500



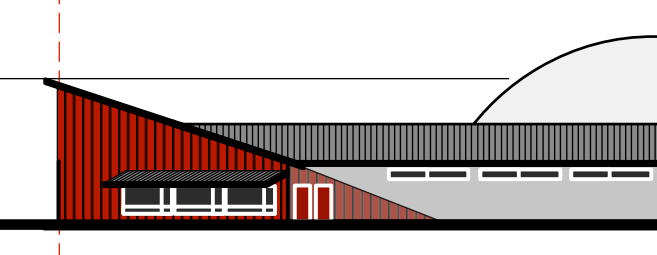
8 East / West Elevation / Covered Storage
A1.1 scale 1:500



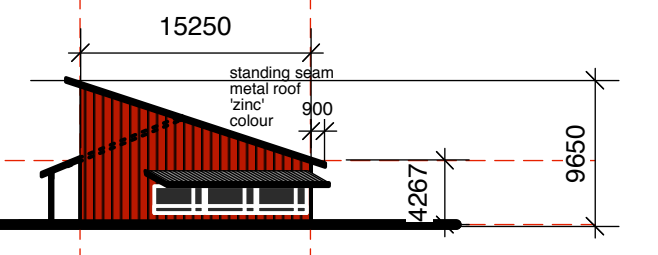
1 Site Plan
A1.1 scale 1:500



6 North / South Elevation / Covered Storage
A1.1 scale 1:500



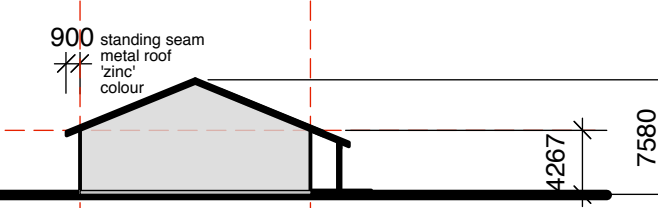
2 South Elevation
A1.1 scale 1:500



3 West Elevation
A1.1 scale 1:500



4 North Elevation
A1.1 scale 1:500



5 East Elevation
A1.1 scale 1:500

Parking Space Assessment:
 Total Warehouse area: 2502 m2 (one space per 185 m2) requires 14 car spaces
 Total Office area: 140 m2 (one space per 35 m2) requires 4 car spaces
 Total 'wholesale' area: 557 m2 (1 space per 185m2) requires 3 car spaces requires 22 car spaces
 Total car spaces provided represents: 31



Image of 3-D model



11 Satellite Image of Site
A1.1 scale NTS



Site Data:
 site area: 14 900M2
 S.P.E.A. area: 5 190M2
 site coverage: 21%

Building 'A' 682M2
 Building 'B' 1820M2
 Building 'C' office: 140M2
 showroom: 557M2

total building area: 3 199M2

total area 'hard' surface including structures and parking surface represents 8 750 m2 58%

landscaped area reps: 6 150M2 (includes S.P.E.A.) 41%

total parking: 31 car spaces includes - 2 H/C parking staff parking - 6 spaces 9 spaces for pick-up truck w/ contractor 'trailers'

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 ART to live with
 Daniel A.L. Boot
 10973 Madrona Drive
 North Vancouver, BC
 Canada V8L 5R7
 ph: 250 889 2294
 dboot@shaw.ca

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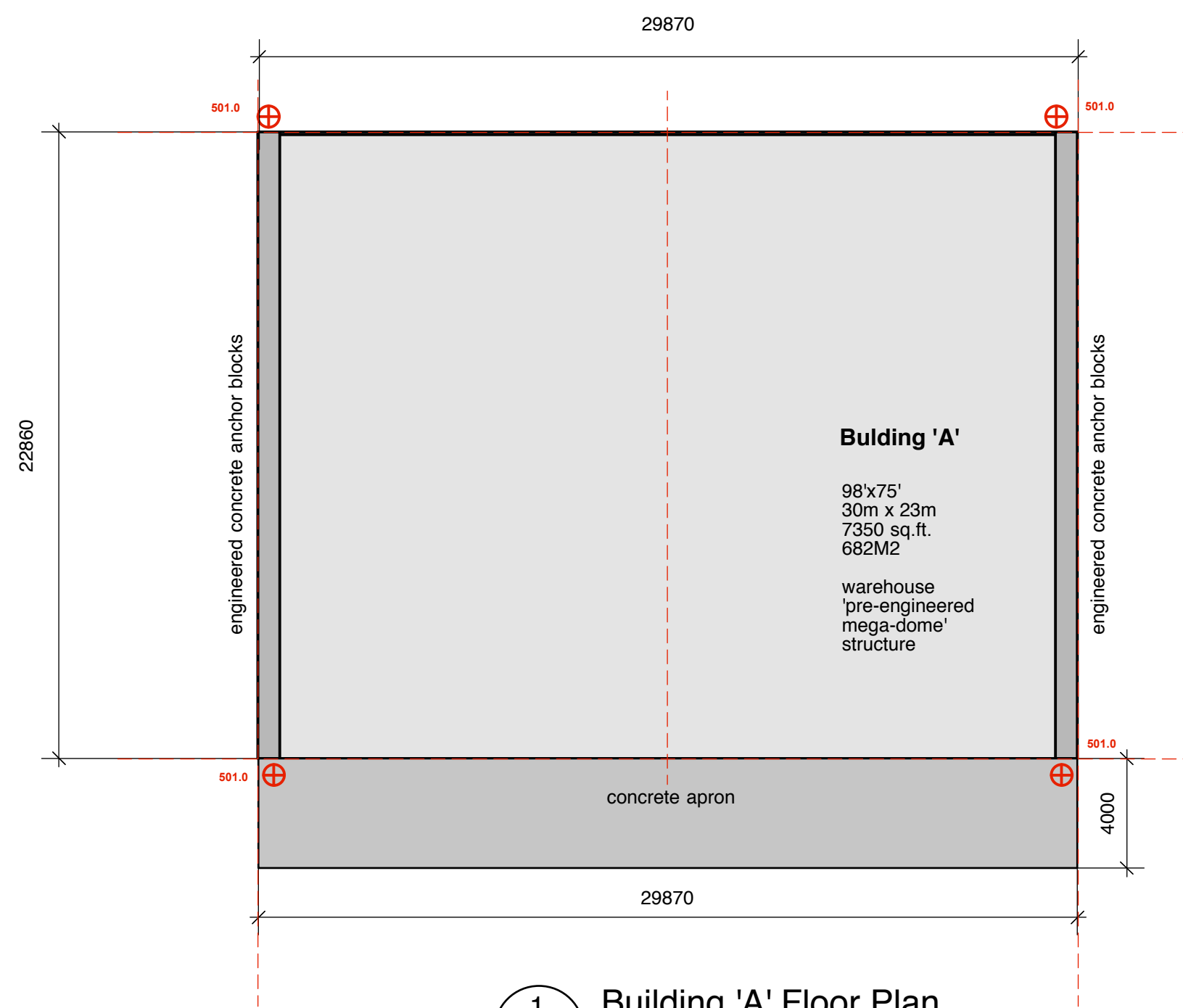
ROOFMART DEVELOPMENT
 ARK ROAD
 SHAWNIGAN LAKE, BC

Drawn by: Date: Revised Date: dboot Mar.5/18

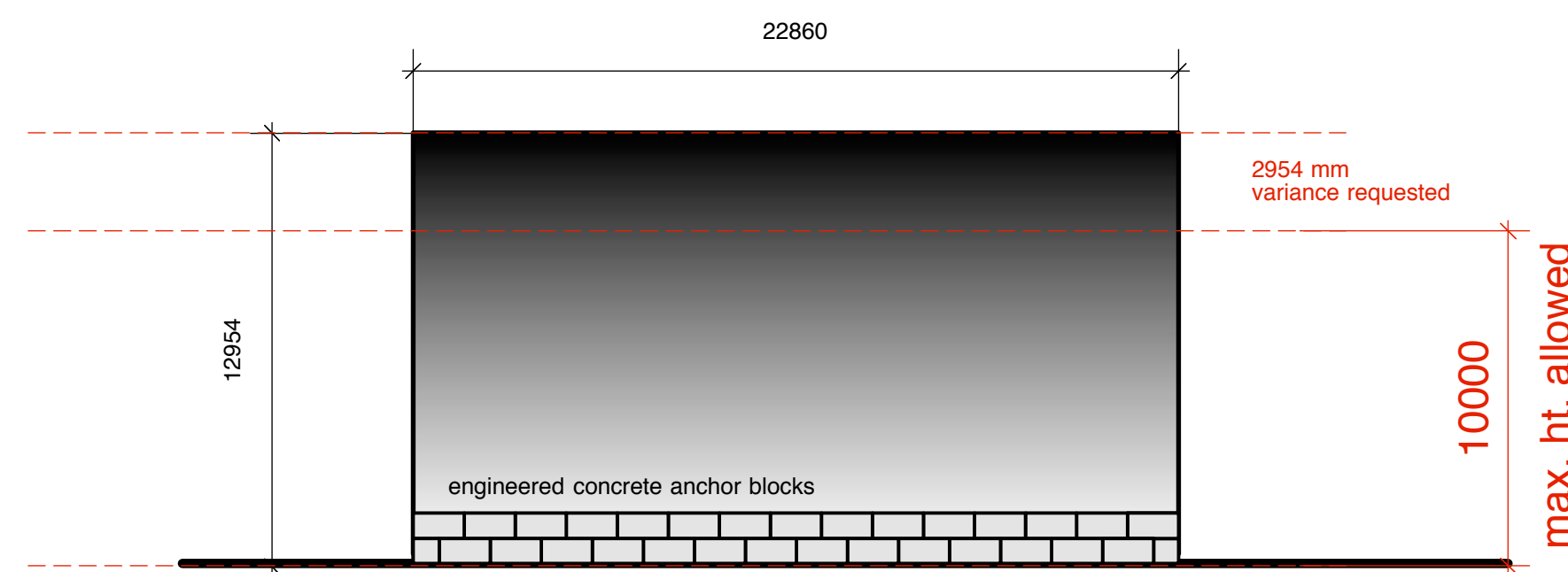
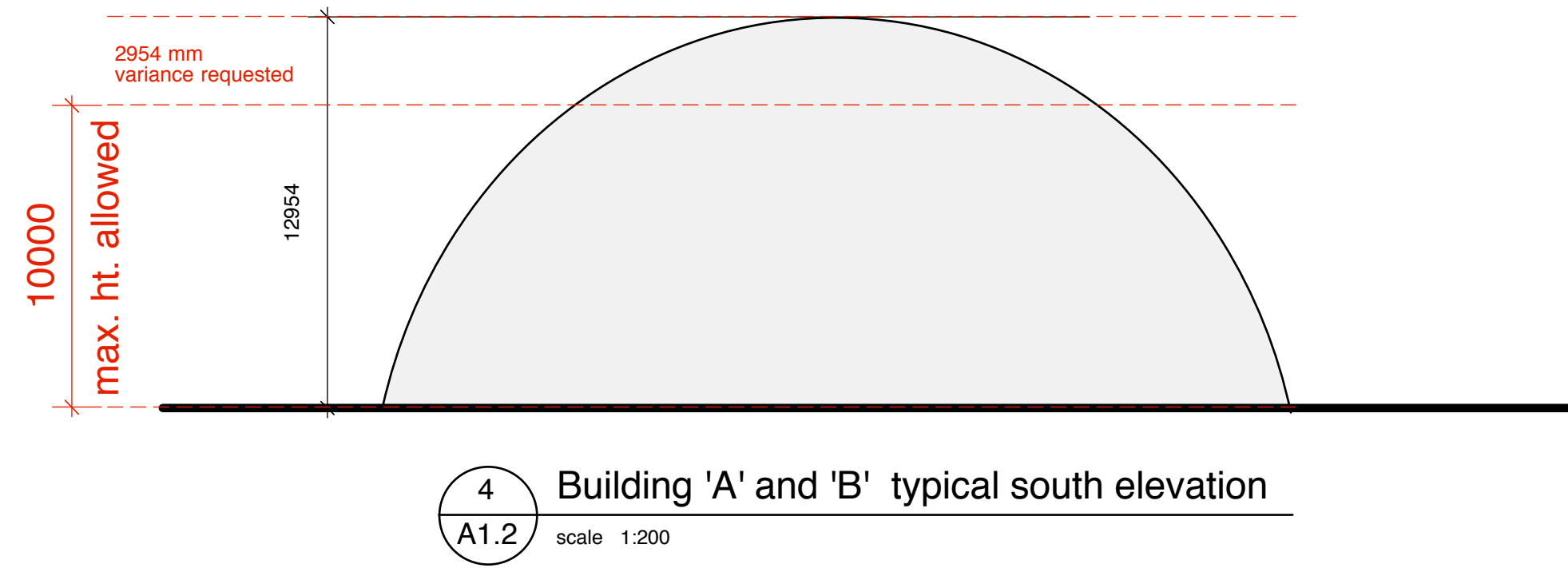
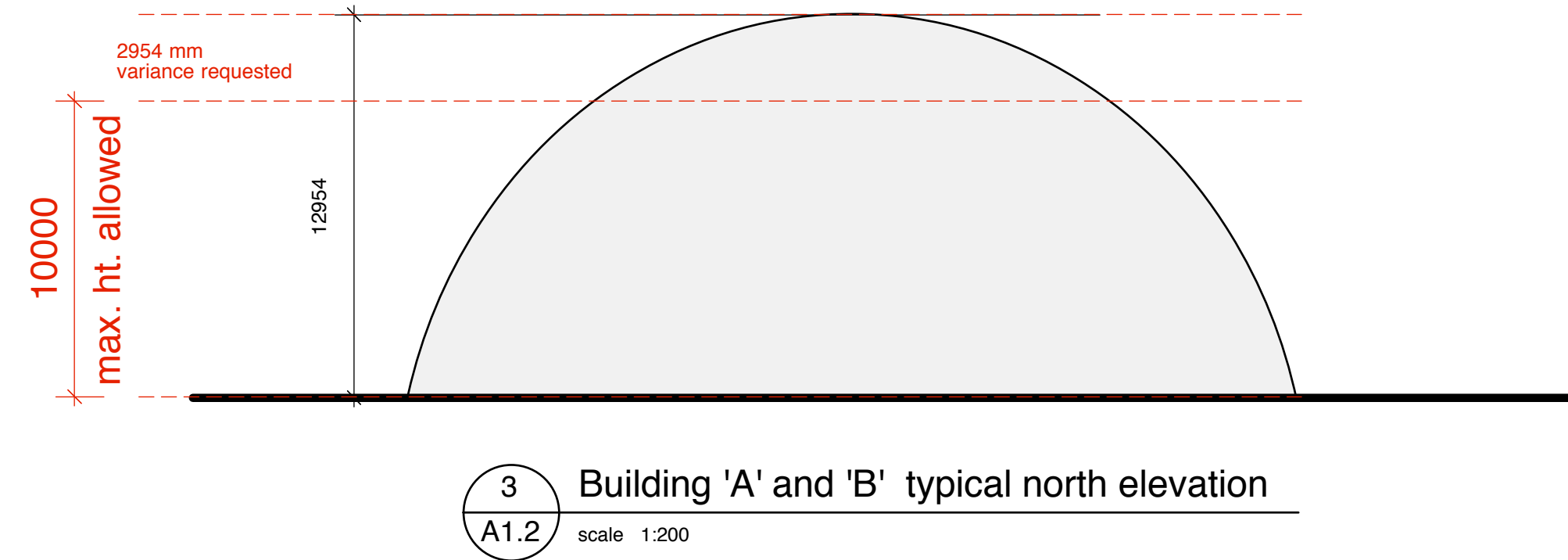
Sept. 30/17
 Legal Description:
 Legal Description:
 Lot 4,
 District Lot 132,
 Malahat District
 Plan VIP79211

Sheet Title:
SITE PLAN
 Scale: 1:500
 Sheet No: **A1.1**

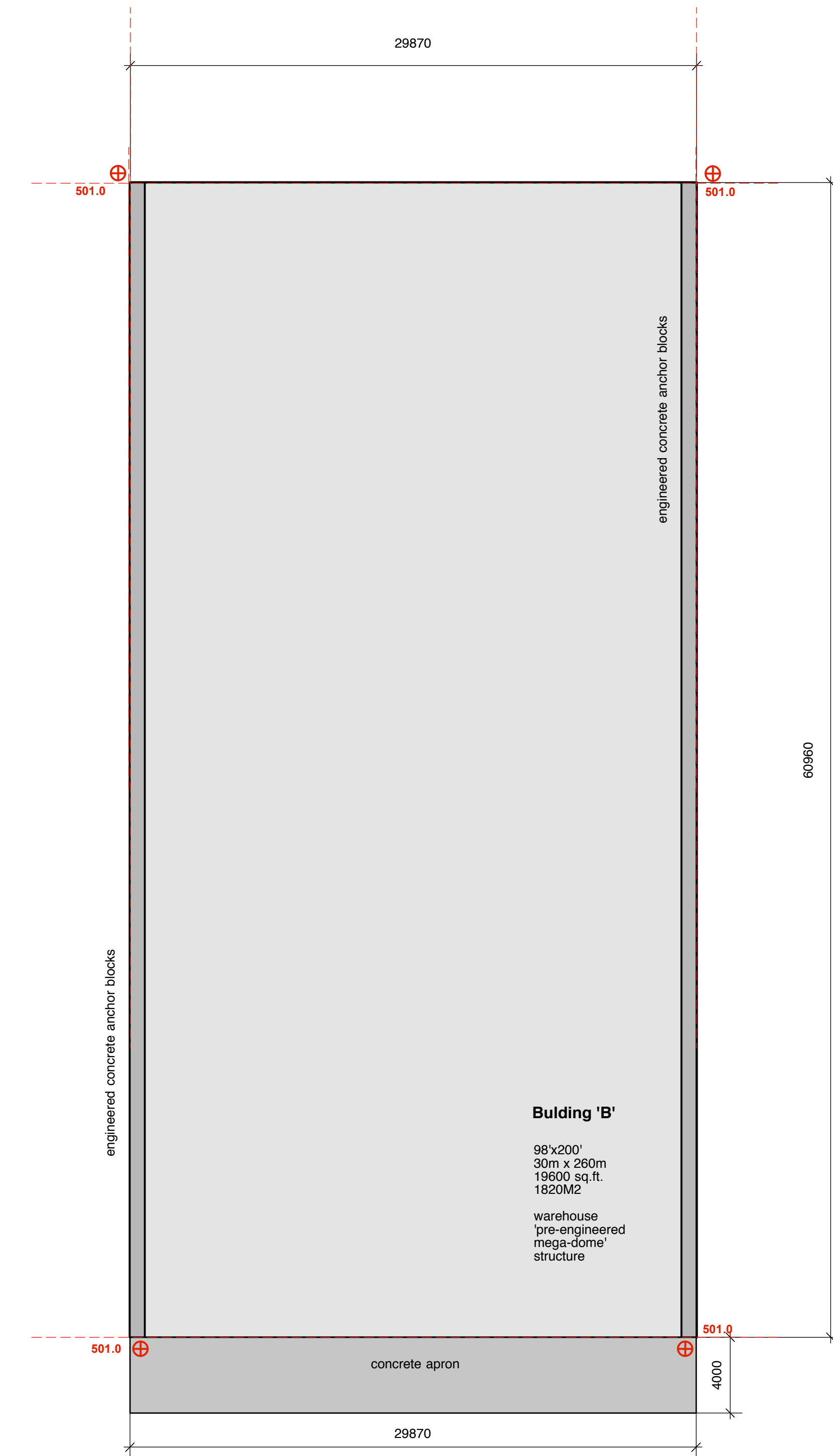
ATTACHMENT D



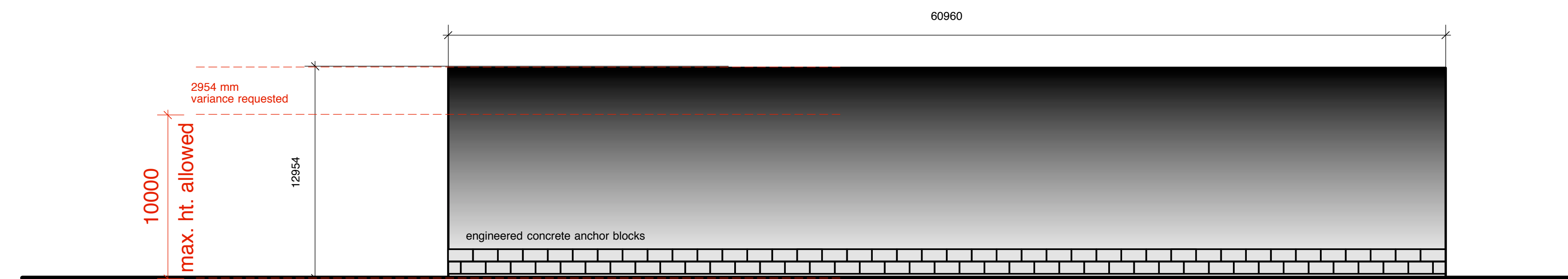
1 Building 'A' Floor Plan
A1.2 scale 1:200



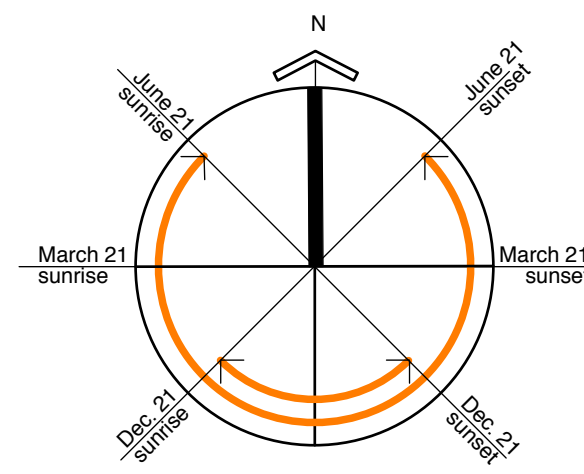
2 Building 'A' - typical east and west elevation
A1.2 scale 1:200



5 Building 'B' Floor Plan
A1.2 scale 1:200



6 Building 'B' - typical east and west elevation
A1.2 scale 1:200



www.studioDB3.ca

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beyond boundaries

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dboot@shaw.ca

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**ROOFMART
DEVELOPMENT
ARK ROAD
SHAWNIGAN
LAKE, BC**

Drawn by: Date: Revised Date:
dboot Mar.5/18
Sept. 18/17

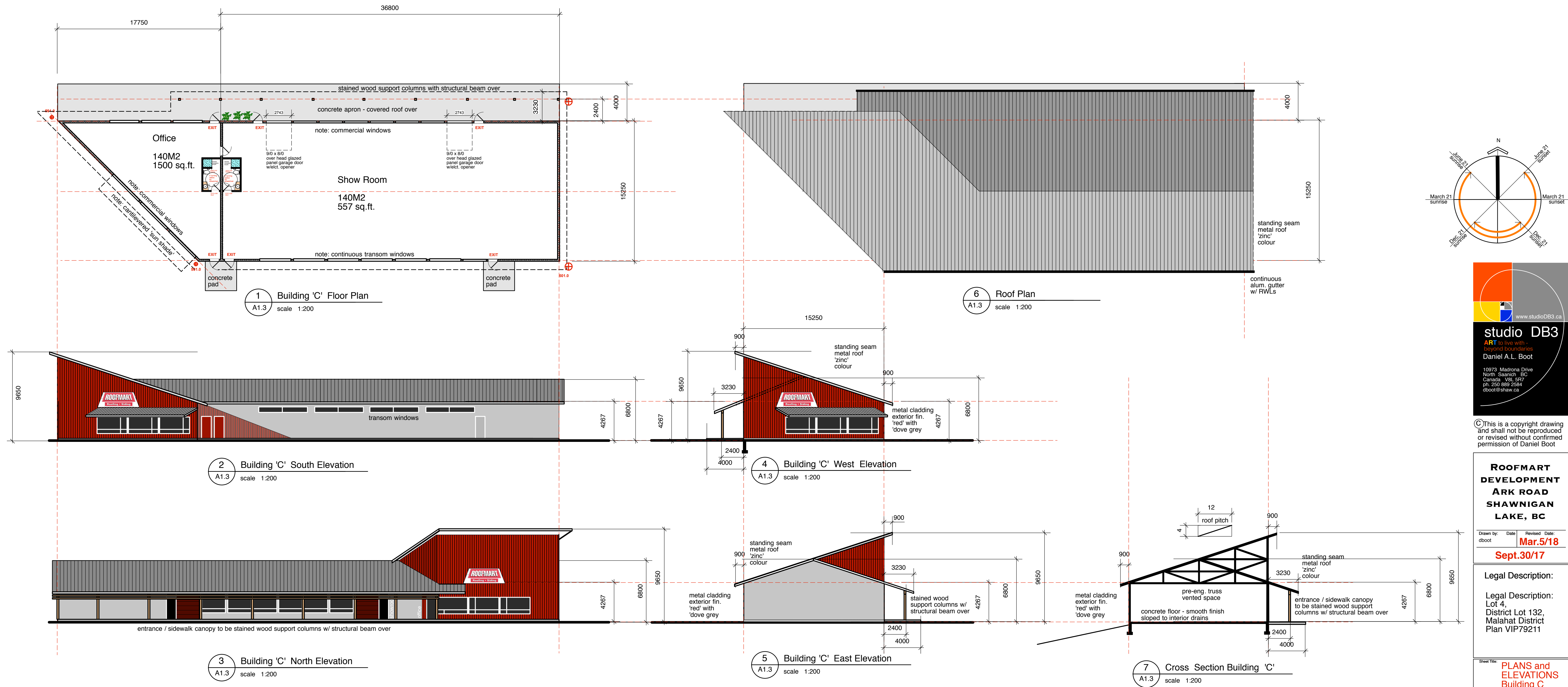
Legal Description:
Legal Description:
Lot 4,
District Lot 132,
Malahat District
Plan VIP79211

Sheet Title:
**PLANS and
ELEVATIONS
Building A and B**

Scale: 1:200
Sheet No: **A1.2**



Images of 3-D massing model



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ROOFMART DEVELOPMENT
 ARK ROAD
 SHAWNIGAN LAKE, BC

Drawn by: Date: Revised Date: dboot Mar.5/18
Sept.30/17

Legal Description:
 Legal Description:
 Lot 4,
 District Lot 132,
 Malahat District
 Plan VIP79211

Sheet Title:
PLANS and ELEVATIONS Building C

Scale: 1:200
 Sheet No: **A1.3**

**Lot 4 Ark Road
Unnamed Tributary to Van Horne
Creek**

Riparian Areas Regulation Assessment



Prepared for: Rob Strickland
Roofmart Pacific Ltd.

April 26, 2017

1939 Keating Cross Rd, Saanichton
Prepared by: Tracy Motyer, B.Sc., R.B. Tech.
Wm. Patrick Lucey, M.Sc., R.P. Bio., CBiol, MRSB

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Riparian Areas Regulation: Assessment Report

Please refer to submission instructions and assessment report guidelines when completing this report.

Date April 26, 2017

1. I. Primary QEP Information

First Name	William	Middle Name	Patrick
Last Name	Lucey		
Designation	R.P. Bio	Company: Aqua-Tex Scientific Consulting Ltd.	
Registration #	1467	Email: aqua-tex@islandnet.com	
Address	201- 3690 Shelbourne Street		
City	Victoria	Postal/Zip	V8P 4H2
Prov/state	BC	Country	Canada
		Phone #	250-598-0266

2. II. Secondary QEP Information (use Form 2 for other QEPs)

First Name		Middle Name	
Last Name			
Designation		Company:	
Registration #		Email:	
Address			
City		Postal/Zip	
Prov/state		Country	
		Phone #	

3. III. Developer Information

First Name	Rob	Middle Name	
Last Name	Strickland		
Company	Roofmart		
Phone #	250-652-0543	Email: rob.strickland@roofmart.ca	
Address	1939 Keating Cross Road		
City	Central Saanich	Postal/Zip	V8M 2A4
Prov/state	BC	Country	Canada

4. IV. Development Information

Development Type	Construction: Light Industrial		
Area of Development (ha)	4.9	Riparian Length (m)	185
Lot Area (ha)	4.9	Nature of Development	Re-development
Proposed Start Date	April 2017	Proposed End Date	September 2017

5. V. Location of Proposed Development

Street Address (or nearest town)	Lot 4 Ark Road		
Local Government	Cowichan Valley Regional District	City	Shawnigan Lake
Stream Name	Unnamed Tributary to Van Horne Creek		
Legal Description (PID)	026-350-041	Region	1 Vancouver Island
Stream/River Type	Stream, Wetland & Ditch	DFO Area	18 Vancouver Island
Watershed Code	920-235800-85300 (Van Horne)		
Latitude	48°	33'	50.7"
Longitude	-123°	35'	4.4"

Completion of Database Information includes the Form 2 for the Additional QEPs, if needed. Insert that form immediately after this page.

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1. Description of Fisheries Resources Values and a Description of the Development proposal

1.1 *Fisheries Resources and Geographical Context*

The subject property is Lot 4, located on Ark road in South Shawnigan Lake. The property is within a CVRD Zoned Light Industrial area and does not have a civic address at this time. Historically, the subject property and adjacent lots were cleared of trees as one parcel and then subdivided into four large lots. Three of the lots have been developed into Light Industrial uses including enclosed warehouse space and outdoor landscape supply storage with the last lot, Lot 4, remaining largely undeveloped.

The subject property, Lot 4, lies largely within the Van Horne Creek watershed, a major sub-catchment to Shawnigan Creek. There is an unnamed stream, an unnamed wetland, and three ditches on the property that form part of a tributary to Van Horne Creek. A small portion of the property lies within a separate, unnamed watershed that drains to Saanich Inlet. There is a small wetland and stream present on the adjacent property to the east that ultimately flows into Saanich Inlet. Even though this stream is on an adjacent property, it has been included in this assessment as the 30m Riparian Assessment Area (RAA) falls within the proposed development footprint.

A search through the Provincial Fisheries Information Database Queries (FIDQ) did not yield any results for the unnamed streams. Surprisingly, Van Horne Creek did not yield any fisheries information either. However, observations and personal experience of the assessment team have identified Van Horne Creek as a significant fisheries stream that supports cutthroat trout. Discussions with Steve Voller, R.P. Bio., a former Federal Fisheries Biologist and Officer, revealed that he has also found cutthroat in the unnamed stream adjacent to Shawnigan Lake Road, a tributary to Van Horne Creek. Additionally, cutthroat trout have also been observed in the unnamed tributary in the reaches adjacent to Shawnigan Lake Road, immediately downstream of the subject property. Therefore, the unnamed tributary is designated as a fish-bearing system and all connected wetlands and ditches that flow into the tributary are also assumed to be fish-bearing. In a previous RAR Assessment Report on a property south of Shawnigan Lake Road, which has a wetland and stream flowing into the unnamed tributary adjacent to Shawnigan Lake Road, Mr. Voller and authors of this report documented the presence of cutthroat trout in that tributary. Thus, there is significant evidence of fish within the reaches comprising the tributary to Van Horne Creek.

FORM 1
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

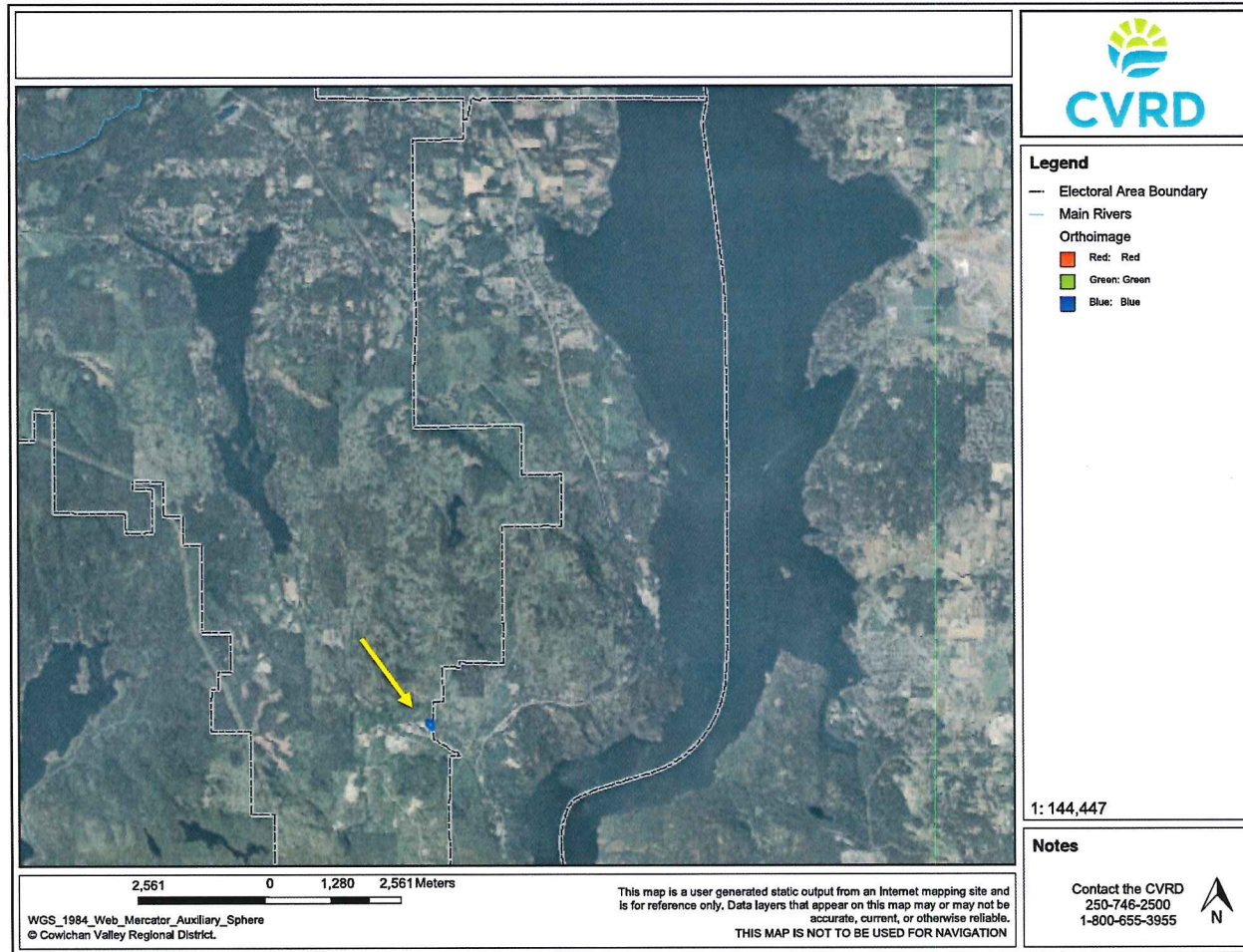


Figure 1. Overview map showing the location of the subject property within the Cowichan Valley region. The property is outlined in blue. Image source: Cowichan Valley Regional District Web Map.

FORM 1
 Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

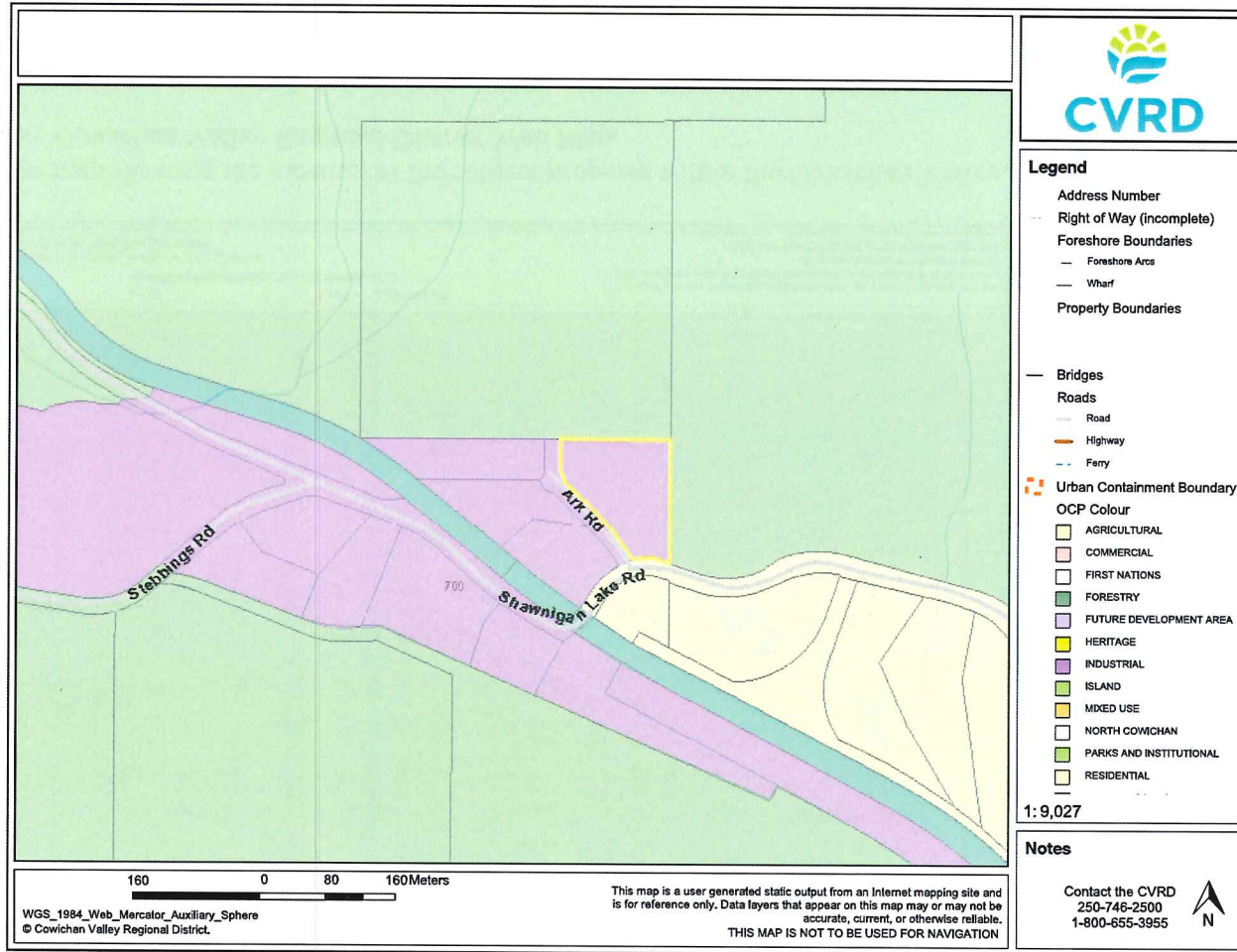


Figure 2. Overview map showing the location of the subject property (outlined in yellow); the current zoning of the property, and adjacent properties, is industrial. Image source: Cowichan Valley Regional District Web Map.

FORM 1
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

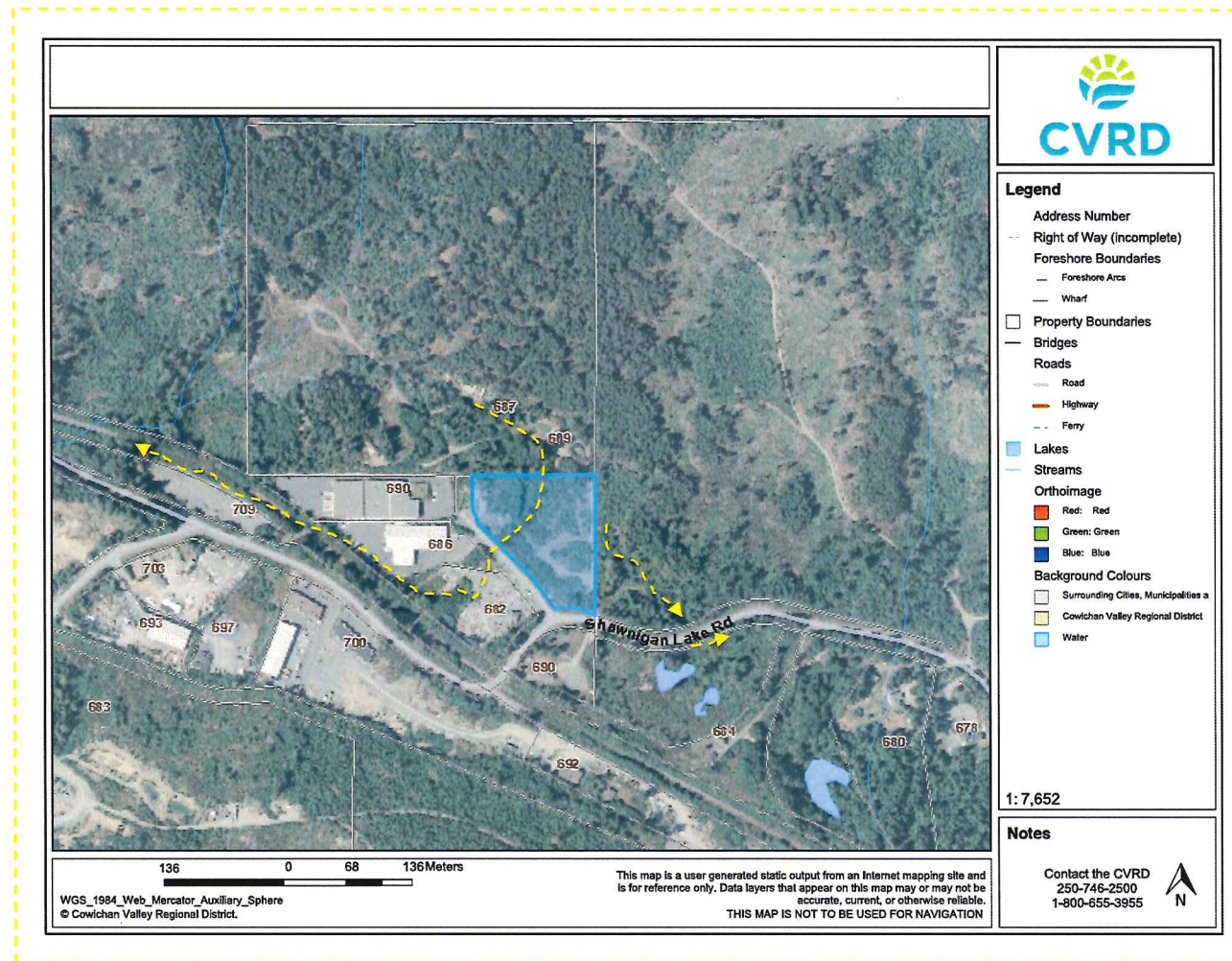


Figure 3. Overview map of the subject property (outlined in blue) showing the landscape with satellite imagery. The dashed yellow line is the approximate routing of the stream that bi-sects the property, ending where it discharges into Van Horne Creek. There are other headwater tributaries within the industrial area shown in Figure 4 that form a dendritic complex that discharge into Van Horne Creek. A small headwater stream was found that discharges into Saanich Inlet; this surface channel demarcates the this major catchment boundary. Image source: Cowichan Valley Regional District Web Map.



Figure 4. Sketch of the unnamed stream associated with Ark Road and connection to Van Horne Creek. Arrows show the direction of streamflow; the subject property is outlined in red. Note this image is intended for illustrative purposes only; all notations are approximate. Reaches of the unnamed stream upstream of the subject property have not been verified on the ground. All these tributaries, flowing into Van Horne Creek, are deemed to be fish bearing based upon historical observations made by the authors.

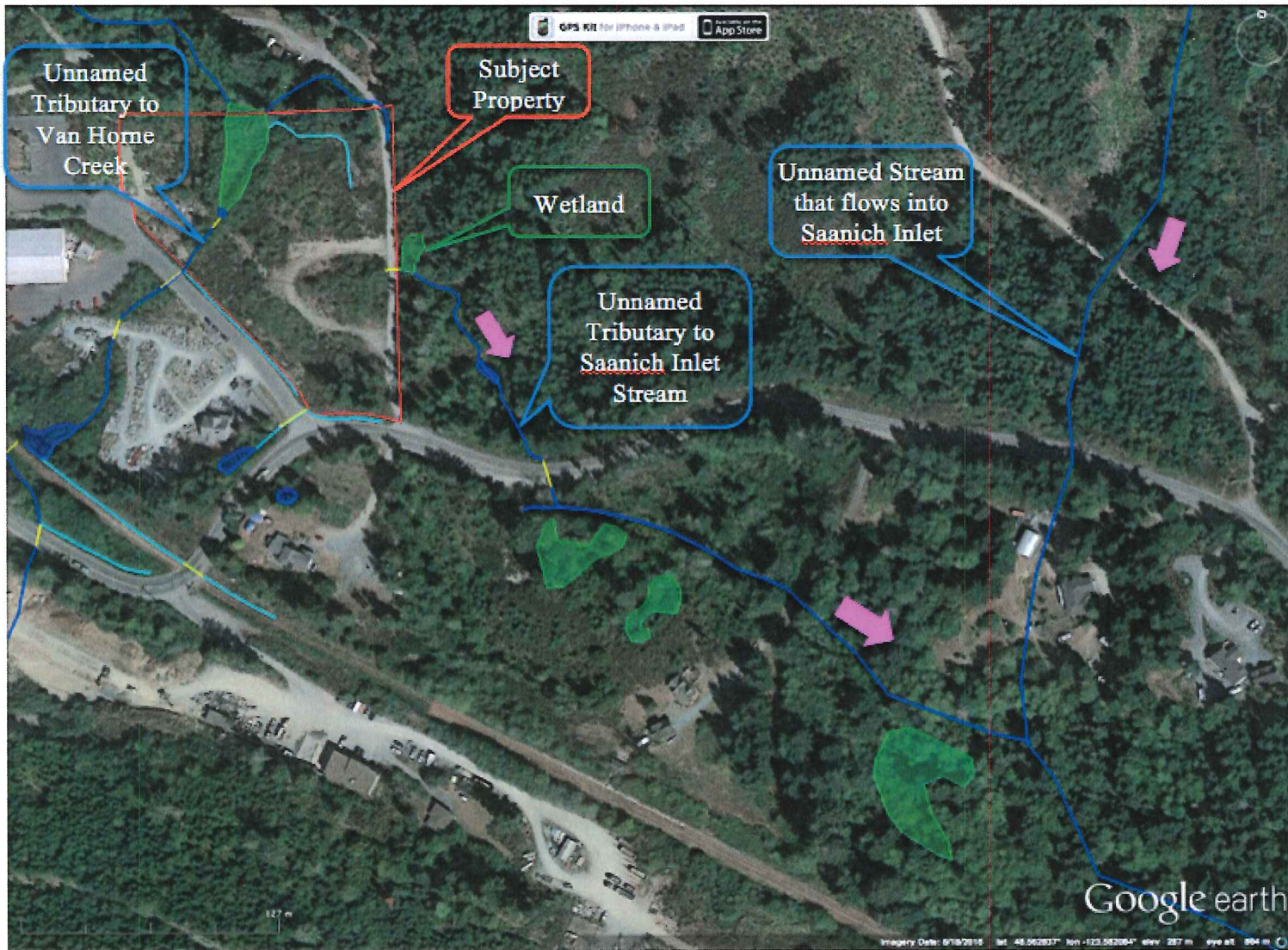


Figure 5: Sketch of the unnamed tributary and unnamed stream that flows into Saanich Inlet. Arrows show the direction of streamflow and the subject property is outlined in red. Note this image is intended for illustrative purposes only and all notations are approximate.

1.2 Observations of Stream Channels and Vegetation

The property being assessed, together with the downstream unnamed tributaries flowing into Van Horne Creek, were visited on multiple occasions to determine whether the stream and wetland on the property are subject to the Federal Fisheries Act and the Provincial Riparian Area Regulation (RAR). These site visits verified earlier research conducted by the authors that this sub-catchment is subject to fisheries regulations, as we have repeatedly observed fish within these tributaries. Observations have included fry and adult trout. These observations have been substantiated by Mr. Steve Voller, R.P. Bio., when he was with Federal Fisheries. In 2016, an electro-fishing survey was made by Mr. Voller, R.P. Bio. and the authors of this report in an extensive wetland downstream of Stebbings Road, which forms part of the Van Horne Creek catchment (Lot 6, Mann property).

Site visits were conducted November 21, 2016, January 10, 2017, and March, 2017.

1.2.1 Unnamed Stream – Tributary to Van Horne Creek

The property through which the unnamed stream flows was previously logged and the site partially graded. The property is in a secondary successional state with dense invasive species covering more than 50% of the lot. Both banks of the unnamed stream are heavily populated by red alder (*Alnus rubra*) and Scotch broom (*Cytisus Scoparius*). Within the stream there are sedges (*Carex spp.*), rushes (*Juncus spp.*), and cattails (*Typha latifolia*). Other non-stream vegetation includes: salmonberry (*Rubus spectalabis*), salal (*Gaultheria shallon*), gorse (*Ulex europaeus*), Canada thistle (*Cirsium arvense*), Himalayan blackberry (*Rubus discolor*), bracken fern (*Pteridium aquilinum*), shore pine (*Pinus contorta var. contorta*), western hemlock (*Tsuga heterophylla*), red-osier dogwood (*Cornus Stolonifera*), and western redcedar (*Thuja plicata*).

The unnamed stream is a tributary to Van Horne Creek, which is a major sub-catchment to Shawnigan Creek. The unnamed stream flows through a wetland on the property. The unnamed stream meets the criterion of a cascade pool ($\geq 4\%$ channel slope). This is due to its gradual slope and moderate channel width. The unnamed stream flows southwest toward Ark Road, flowing initially through an internal culvert immediately downstream of the wetland and then through a culvert under Ark Road. Both culverts are 900mm CSP culverts.

1.2.2 Unnamed Wetland – Tributary to Van Horne Creek

The unnamed wetland is located at the north end of the property, extending a short distance north onto the adjacent property (Figure 5); this portion of the property was also previously logged and graded to create an upland terrace. The graded portion is dominated by the same invasive species as the remainder of the site. The upstream portion of the wetland is vegetated with salmonberry (*Rubus spectalabis*), redcedar (*Thuja plicata*), western hemlock (*Tsuga heterophylla*), and shore pine (*Pinus contorta var. contorta*). Both banks on the downstream end of the wetland are densely vegetated with red alder (*Alnus rubra*) and Scotch broom (*Cytisus scoparius*). Within the wetland there are sedges (*Carex spp.*), rushes (*Juncus spp.*), and cattails (*Typha latifolia*). Other

upland vegetation species includes: Himalayan blackberry (*Rubus discolor*), gorse (*Ulex europaeus*), salal (*Gaultheria shallon*), hardhack (*Spiraea douglasii ssp. douglasii*), and Canada thistle (*Cirsium arvense*). The wetland receives flow from a drainage ditch, as well as flows from the upper watershed, via small stream on the adjacent property. There is a culvert under a driveway on the adjacent property that has become blocked, with water flowing across the driveway into a short stream segment that discharges into the wetland. The water flows in a southwest direction from the wetland into the unnamed stream which carries the water through the two culverts, noted above.

1.2.3 Roadside Ditch Along Ark Road

A roadside drainage ditch parallels Ark Road. The roadside ditch appears to flow northwest to the unnamed stream for approximately 60 metres. The remaining segment of the drainage ditch approximately 38 metres long appears to flow southeast to the culvert under the entrance to Ark Road. The average width of the ditch is 1.1 metre. The roadside ditch along Ark road is manmade, has no significant headwater or springs, and only has seasonal flow. At the time of the initial site survey the property was covered with snow and drainage patterns were not visible. The ditch and its side slope are vegetated with: young red alder (*Alnus rubra*), hardhack (*Spiraea douglasii ssp. douglasii*), sedges (*Carex spp.*), rushes (*Juncus spp.*), Scotch broom (*Cytisus scoparius*), gorse (*Ulex europaeus*), red osier dogwood (*Cornus stolonifera*), and Himalayan blackberry (*Rubus discolor*). Other upland vegetation species include: young redcedar (*Thuja plicata*), Douglas fir (*Pseudotsuga menziesii ssp. menziesii*), and dull Oregon grape (*Mahonia nervosa*). A subsequent site visit in late March, when the snow had melted, verified the flow patterns described above.

1.2.4 Roadside Ditch Along Shawnigan Lake Road

The roadside ditch along the west side of Shawnigan Lake road is located on the south side of the property. The length of the ditch approximately 26 metres in length and is an average of 0.6 meters wide. The south bank of the roadside ditch consists of shoulder road-base gravel and is non-vegetated. The north bank is completely vegetated with Scotch broom (*Cytisus scoparius*). Approximately seven metres north of the ditch there is a narrow ribbon of Douglas fir trees (*Pseudotsuga menziesii ssp. menziesii*). The ditch is manmade, has no significant headwater or springs, and has seasonal flow. The ditch along Shawnigan Lake road routes stormwater runoff from Shawnigan Lake road into a confluence with the runoff flowing along the north side of Ark Road, which then flows under Ark Road in a culvert. Downstream of Ark Road, the ditch water flows into a small pond on the south side of the Road, adjacent to a building associated with a landscape supply business. This pond has a very limited catchment area and no outlet from the small pond could be found, therefore, the roadside ditch along Shawnigan Lake Road is not connected to any downstream fish-bearing waters and the RAR does not apply to this ditch. This assessment was made during a period in late March when heavy rain had fallen; a visual assessment of the pond revealed that there was no physical evidence of any outlet flow from the pond. Under extreme flow events discharge from the pond would flow overland across the industrial property in a southwest direction, eventually flowing into the unnamed tributary stream that flows through the Lot 4 property.

1.2.5 Internal Drainage Ditch

The internal drainage ditch is located adjacent to the northern property boundary, draining the northeast corner of the property, which discharges into the wetland. The internal ditch is approximately 72 metres in length, an average of 1.1 metre wide, and is a cascade pool. The ditch is manmade, has no significant headwaters or springs, and has seasonal flows. Both the north and south banks are vegetated with salmonberry (*Rubus spectalabis*), red alder (*Alnus rubra*), and Scotch broom (*Cytisus scoparius*). Near the confluence with the wetland there are a few mature conifers, which includes: western redcedar (*Thuja plicata*), Douglas-fir (*Pseudotsuga menziesii ssp. menziesii*), and shore pine (*Pinus contorta var. contorta*).

This man-made drainage ditch, which is subject to the RAR, is proposed to be realigned to provide a better set of land use options for the siting of buildings and/or storage areas. A proposed realignment was designed and a Request for project review was submitted to the DFO. The DFO has reviewed the proposed realignment and do not consider that the proposed realignment will result in permanent harm to the man-made drainage ditch or to the wetland receiving the flows from the ditch. There is a small spring that was observed flowing northwest down the driveway access road during the March, 2017 site visit; this spring had not been observed to flow on previous site visits, suggesting that it flows when the groundwater table is close to the surface. This spring will be re-routed to flow into the realigned ditch.

The proposed realignment will be constructed to prevent loss of adjacent terrestrial plant community and soil structure. The area north of the realigned ditch shall be deemed SPEA, together with a 5 metre SPEA south of the realigned ditch. Additionally, a planting plan for the southwestern edge of the wetland shall be required to enhance accelerated shade tree growth within the wetland SPEA. A copy of the DFO Project Review response has been appended to this report.

1.2.6 Adjacent Unnamed Wetland & Stream – Tributary to ‘Saanich Inlet Stream’

There is a small wetland and stream present on an adjacent property to the east whose 30m RAA extends onto the subject property. The wetland is located just a few meters east of the existing driveway and forms the headwaters of the unnamed stream. The springs that flow into the small wetland, and then into the unnamed stream, do not reside on the Lot 4 property. The stream channel leading east from the wetland was walked and measured to verify its characteristics and attributes, as required under the RAR Assessment reporting method. It should be noted that no authorization from the property owner was obtained to conduct this channel assessment.

This stream and a small headwater wetland are incorrectly mapped in Provincial maps showing streams in this part of the Shawnigan Creek watershed. The stream/wetland (Figure 6) arises from a number of small springs that discharge surface flow into a man-made depression that has matured into a small wetland. Historical flows appear to have been routed across the Lot 4, Ark Road, property evidenced by a culvert under the driveway access and B.C. Hydro power line easement. The culvert has been buried for a

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significant period as there is no visible evidence of any surface flows across the Ark Road property. When the culvert was observed it was found to have been crushed on the west side, preventing discharge of water through the culvert. The eastern end of the culvert was partially blocked by road base material. The culvert inlet invert was elevated above the water level in the stream channel heading east across the adjacent property.

There is a B.C. Hydro easement along the driveway access that forms the eastern property boundary of Lot 4. The driveway provides access to the adjacent property from Shawnigan Lake Road, the property to the north of Lot 4 being a pan handle lot. The B.C. Hydro power line easement provides power to the adjacent property and provides access to the power line by B.C. Hydro maintenance and repair crews. The drive way is approximately 6-7 metres in width, edge of shoulder to edge of shoulder. The driveway access road is constructed of road base with a gravel top dressing.

The wetland is surrounded by small springs to the east and north and bounded by the driveway to the west. Vegetation in the wetland includes: red-osier dogwood (*Cornus stolonifera*), willows (*Salix spp.*), red alder (*Alnus rubra*), bracken fern (*Pteridium aquilinum*), hardhack (*Spiraea douglasii ssp. douglasii*), western redcedar (*Thuja plicata*), and salmonberry (*Rubus spectabilis*). Species present in the upland area around the wetland includes: western hemlock (*Tsuga heterophylla*), Douglas-fir (*Pseudotsuga menziesii ssp. menziesii*), oceanspray (*Holodiscus discolor*), salal (*Gaultheria shallon*), and sword fern (*Polystichum munitum*).

It appears this wetland used to drain west across the subject property in the past, but has since been realigned to flow southeast in a dug channel through the adjacent property. There is an old culvert under the driveway that appears to have been the original wetland outlet. Presently, the driveway culvert is non-functional as it is perched, partially crushed and mostly filled-in. Currently the wetland drains southeast down a small stream channel that appears to have been created with a machine. The stream is deeply entrenched with steep, near vertical banks and a consistent 1.2m width. The stream is lined with a cohort of red alder (*Alnus rubra*) trees from a single age class. Other vegetation species adjacent to the stream channel include: salal (*Gaultheria shallon*), and sword fern (*Polystichum munitum*), bracken fern (*Pteridium aquilinum*), western hemlock (*Tsuga heterophylla*), Douglas-fir (*Pseudotsuga menziesii ssp. menziesii*), and oceanspray (*Holodiscus discolor*).

Roughly halfway between the headwater wetland and Shawnigan Lake Road, the stream flows into a depressional area next to an old skid road. Downstream of the depressional area, the stream channel spreads out and flows as sheet flow in some areas until it is collected in the roadside ditch on the north side of Shawnigan Lake Road. There is a perched culvert under Shawnigan Lake road, but it is set too high in elevation for the stream to access it. Therefore, the streamflow percolates through the roadbed and into a stream channel on the south side of the road. At the time of assessment, there was significant streamflow in the stream, but no water in the culvert and it appears that this culvert has been dry for some time. The amount of water percolating out of the roadbed was roughly equal to the amount of streamflow observed upstream. The confluence with

the unnamed stream that flows into Saanich Inlet occurs about 275m downstream of the Shawnigan Lake Road culvert. See sketch map in Figure 6.



Figure 6: Sketch map of the unnamed tributary stream that flows into Saanich Inlet showing culvert and spring locations. Note this image is intended for illustrative purposes only and all notations are approximate. A B.C. Hydro power line lies along the eastern property line; shadows of the power poles can be seen on the gravel driveway (yellow arrow).

An RAR Method was applied to calculate the SPEA setbacks, as prescribed by the RAR Guideline Manual. Although the small stream and wetland on the property east, and adjacent to the Ark Road property, would have a prescribed SPEA setback of 15 metres,

based upon the wetland designation, we have recommended the following riparian setback for this stream/wetland, based upon the following rationale:

- A 10 metre riparian management setback.
- The driveway that runs parallel to the east property boundary is an access easement for the pan handle lot to the north of the Ark Road property, as well as a B.C. Hydro easement for the power line supplying power to the latter property.
- The RAR does not apply to Institutional property; since the driveway is an easement for the B.C. Hydro power line alignment there is no provision for a SPEA on the B.C. Hydro road easement as Hydro must maintain this driveway alignment to provide uninterrupted access to their power grid structures.
- In previous discussions with B.C. Hydro staff they have indicated that it is policy for Hydro to prevent any vegetation, such as trees or tall shrubs, from growing under their power lines to prevent arching between the power voltage lines and the vegetation.
- B.C. Hydro routinely manages vegetation under their power lines to ensure the vegetation cannot grow more than a few metres (<4 metres) in height to prevent arching.
- In addition, Hydro has a policy that trees that can grow to a height that could fall across hydro lines should not be planted as a long-term management strategy to minimize future costs of vegetation management.
- Since the driveway access road is approximately 8 – 10 meters from shoulder to shoulder, that would leave a ribbon of vegetation west of the driveway shoulder under a 15 metre designated SPEA. This ribbon could not provide a treed cover, being limited to grasses and shrubs, in a soil that would be under severe moisture deficit during the summer months, unless irrigated.
- Therefore, given the constraints of the B.C. Hydro easement for access, the pan handle lot access road easement, the driveway itself, and the inclement potential growing conditions for a ribbon of vegetation, approximately 20 metres by 5 metres, we have recommended a riparian management zone that is equivalent to that which presently exists adjacent to the stream/wetland.
- It is recommended that the culvert be permanently blocked to prevent future surface flows from discharging across the Ark Road property.
- Since the stream/wetland are on private property no recommendations pertaining to the management of this aquatic structure are presented in this application.

1.3 Description of Proposed Development and Timeline

This RAR assessment was triggered by a proposal to develop the property as a dry-storage facility for roofing and siding materials. The proposed facility will include a large tent/fabric building for covered storage, open yard for uncovered storage, a showroom building for sales, and associated parking. An on-site sewage treatment system will be constructed; there is an existing well to supply domestic water. The proposed construction time line is from April 30 to the end of October, 2017.

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Section 1 References

B.C. Ministry of Environment. Fisheries Inventory Data Queries (FIDQ). Single Waterbody Query: Waterbody Summary Information. Fish Presence Report. Data Query performed for Van Horne Creek & Shawnigan Creek; December 5, 2016.

RIPARIAN AREA MANAGEMENT TR-1737-15, A User Guide to Assessing Proper Functioning Condition and the Supporting Science for Lotic Areas; Don Prichard, John Anderson, Cindy Correll, Jim Fogg, Karl Gebhardt, Russ Krapf, Steve Leonard, Brenda Mitchell, and Janice Staats. 1998. U.S. Department of the Interior, Bureau of Land Management, National Applied Resource Sciences Center, P.O. Box 25047, Denver, CO 80225-0047 (BLM/RS/ST-98/001+1737)

2. Results of Riparian Assessment (SPEA width)

Unnamed Stream

Refer to Chapter 3 of Assessment Methodology

Date: January 10, 2017

Description of Water bodies involved (number, type)	Stream
Stream	X
Wetland	
Lake	
Ditch	
Number of reaches	1
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)		
starting point	1.4		I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
upstream	2	4		
	2.1			
	2.1			
	2.4			
downstream	1.7	4		
	1.8			
	2.5			
	2			
	2			
Total: minus high /low mean	16.1			
	2.0	4		
	R/P	C/P		S/P
Channel Type		X		

Site Potential Vegetation Type (SPVT)

	Yes	No		
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
Polygon No:	1		Method employed if other than TR 	
	LC	SH		
SPVT Type				X

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Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	10						
Litter fall and insect drop ZOS (m)	10						
Shade ZOS (m) max	6	South bank	Yes	X	No		
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)						
Ditch Fish Bearing	Yes		No	X	If non-fish bearing insert no fish bearing status report		
SPEA maximum	10	(For ditch use table3-7)					

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	10						
Litter fall and insect drop ZOS (m)	10						
Shade ZOS (m) max	6	South bank	Yes		No	X	
SPEA maximum	10	(For ditch use table3-7)					

Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)							
Litter fall and insect drop ZOS (m)							
Shade ZOS (m) max		South bank	Yes		No		
SPEA maximum		(For ditch use table3-7)					

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:

- I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;
- I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- The site has been visited on a number of occasions to walk the stream from the north of the property to its confluence with Van Horne Creek.
- The RAR site survey to measure stream widths and HWM for the stream, wetland, and 3 ditches, was conducted on January 10, 2017.
- The unnamed stream is located in the southwest section of the property (see site plan) and is a tributary to Van Horne Creek.
- The unnamed stream is considered fish bearing because it's a tributary to Van Horne Creek which is known to bear fish. No fish survey was conducted, there are no barriers to migration, the stream has flow for at least part of the year, and is indirectly connected to Van Horne Creek, so we have applied the default status – fish bearing.
- The site has been previously logged and is dominated by secondary successional species the majority of which are invasive species.
- There are two CSP culverts in the stream, both of which are 900mm in diameter. The first culvert carries the flow under an internal road. The second culvert is located downstream underneath Ark Road.

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- The unnamed stream's width is uniform throughout its length. This stream channel appears to have been modified by equipment in the past but is rapidly regenerating a riparian plant community dominated by red alder.
- Since the stream segment on the property is of insufficient length to provide the necessary measurements, we obtained additional measurements on the reach downstream of Ark Road. The downstream reach ended at a third culvert. No authorization was obtained to walk the reach downstream of Ark Road.
- Applying the RAR Method of not obtaining measurements above or below culverts would have led to a much smaller number of cross sections; since the stream channels have been modified by equipment resulting in a channelized, uniform cross section, a decision was made to document the straightened channel.
- There is no evidence of excessive erosion of the stream bed or its banks arising from the channelization.
- The total number of stream cross sections obtained was 10, given the short lengths of these two channel segments.
- Visual observation of the stream channel above and below the culverts indicated that there was no scouring effect evident from flows entering or leaving the culvert. Therefore, we obtained measurements within 5 metres from the end of each culvert; these measurements were consistent with those obtained further from the culvert ends.
- We have not field verified the catchment boundaries. What is known from numerous field site visits is that there is a groundwater influence of unknown extent on the property to the north. In late winter/early spring we observed small quantities of groundwater emanating as small springs (<0.5 L/sec) that flowed into the north end of the wetland, on the adjoin property.
- Dominant vegetation species include: red alder (*Alnus rubra*), Scotch broom (*Cytisus Scoparius*), salmonberry (*Rubus spectalabis*), salal (*Gaultheria shallon*), gorse (*Ulex europaeus*), Canada thistle (*Cirsium arvense*) and Himalayan blackberry (*Rubus discolor*). Aquatic vegetation includes: rushes (*Juncus spp.*), sedges (*Carex spp.*), and cattails (*Typha latifolia*). Other upland vegetation species include: bracken fern (*Pteridium aquilinum*), shore pine (*Pinus contorta var. contorta*), western hemlock (*Tsuga heterophylla*), red osier dogwood (*Cornus Stolonifera*), and western redcedar (*Thuja plicata*).

Unnamed Wetland

Refer to Chapter 3 of Assessment Methodology

Date: Jan 10, 2017

Description of Water bodies involved (number, type)

Wetland

Stream	
Wetland	X
Lake	
Ditch	
Number of reaches	1
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point upstream	n/a	n/a	I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: e) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; f) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
downstream			
Total: minus high /low mean	n/a	n/a	
Channel Type	R/P n/a	C/P n/a	S/P n/a

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes
Polygon No:	1		I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: e) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; f) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
SPVT Type	LC	SH	
			X
	Method employed if other than TR		

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons
LWD, Bank and Channel Stability ZOS (m)	15	
Litter fall and insect drop	15	

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ZOS (m)		
Shade ZOS (m) max	30	South bank
	Yes	X
	No	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)	
Ditch Fish Bearing	Yes	No
	If non-fish bearing insert no fish bearing status report	
SPEA maximum	30	(For ditch use table3-7)

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons		
LWD, Bank and Channel Stability ZOS (m)	15			
Litter fall and insect drop ZOS (m)	15			
Shade ZOS (m) max	30	South bank	Yes	No
			X	
SPEA maximum	30	(For ditch use table3-7)		

Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons		
LWD, Bank and Channel Stability ZOS (m)				
Litter fall and insect drop ZOS (m)				
Shade ZOS (m) max		South bank	Yes	No
SPEA maximum		(For ditch use table3-7)		

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:
 e) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
 f) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;
 g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
 h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- The wetland is located in the north central section of the property (see site plan) and a small segment extends onto the neighbouring property to the north.
- The wetland receives flow from the upper watershed.
- The catchment supplying water to the wetland has not been mapped in the field.
- The stream channel flowing into the wetland transits the property to the north, originally crossing under a driveway in a culvert.
- The culvert was blocked with sediment and woody debris when the site assessment was conducted.
- The blocked culvert had created a pool of water in a depression on the north side of the driveway and water from the pool flowed across the driveway into the stream channel downstream of the driveway.
- A second source of surface flow, a man-made drainage ditch, flows roughly east – west adjacent to the northern property boundary, on the property to the north of the property being assessed.
- The wetland flows southwest into a stream which carries the water through the two culverts, noted in the stream section above.
- The site has been previously logged and now is dominated by secondary successional species, of which the majority are invasive.
- Dominant vegetation species include: red alder (*Alnus rubra*), salmonberry (*Rubus spectabilis*), Scotch broom (*Cytisus scoparius*), sedges (*Carex spp.*), rushes (*Juncus spp.*), Himalayan blackberry (*Rubus discolor*), gorse (*Ulex europaeus*), and western redcedar (*Thuja plicata*). Other species include: salal (*Gaultheria shallon*), hardhack (*Spiraea douglasii ssp. douglasii*), Canada thistle (*Cirsium arvense*), western hemlock (*Tsuga heterophylla*), and shore pine (*Pinus contorta var. contorta*).

Roadside ditch along Ark Road

Refer to Chapter 3 of Assessment Methodology

Date: January 10, 2017

Description of Water bodies involved (number, type)	
Stream	
Wetland	
Lake	
Ditch	X
Number of reaches	1
Reach #	1

Ditch – Ark Road's roadside ditch

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

Channel Width(m)		Gradient (%)	
starting point	1.3		I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; j) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	1.6	1	
	1.4		
	1		
	1		
downstream	1	1	
	1.2		
	1		
	0.8		
	1		
	0.7		
Total: minus high /low	9.7		
mean	1.1		
	R/P	C/P	
Channel Type	X		

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes
			I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; j) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
Polygon No:	1		
SPVT Type	LC	SH	TR
			X

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	5	South bank	Yes	X	No		
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)				Roadside drainage ditch: manmade, no significant headwaters or springs, seasonal flow; default fish bearing		
Ditch Fish Bearing	Yes	X	No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	5	(For ditch use table3-7)					

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	5	South bank	Yes		No	X	
SPEA maximum	5	(For ditch use table3-7)					

Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)							
Litter fall and insect drop ZOS (m)							
Shade ZOS (m) max		South bank	Yes		No		
SPEA maximum		(For ditch use table3-7)					

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:

i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;

j) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;

k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and

l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- The roadside ditch runs parallel to Ark Road. There is a drainage divide within the ditch where a portion of the water runs southeast toward Shawnigan Lake Road, and the other portion runs northwest along Ark Road toward the unnamed stream.
- The roadside ditch along Ark Road has a uniform width.
- There is no shade applied to this feature since the shade would be applied to a municipal road; drainage management prevents the growth of vegetation of a height sufficient to provide shade to the channel.
- The B.C. Hydro power lines above the ditch preclude the production of trees beyond 5 metres in height. The red alder growing within the ditch provide some shade, soil stabilizing root mats, litter fall and leaf inputs.
- Long term municipal maintenance of the ditch will likely result in the red alder being periodically removed to prevent flooding on the road, especially during winter months

when flooded roads can become icy and result in vehicle accidents, a potential liability concern for the adjacent land owners, B.C. Hydro, and CVRD.

- Dominant vegetation species include: young red alder (*Alnus rubra*), hardhack (*Spiraea douglasii* ssp. *douglasii*), Scotch broom (*Cytisus scoparius*), gorse (*Ulex europaeus*), red osier dogwood (*Cornus stolonifera*), and Himalayan blackberry (*Rubus discolor*). Aquatic vegetation includes: sedges (*Carex* spp.) and rushes (*Juncus* spp.). Other upland vegetation species include: young redcedar (*Thuja plicata*), Douglas fir (*Pseudotsuga menziesii* ssp. *menziesii*), and dull Oregon grape (*Mahonia nervosa*)

Roadside ditch along Shawnigan Lake Road

Refer to Chapter 3 of Assessment Methodology

Date: January 10, 2017

Description of Water bodies involved (number, type)

Stream	
Wetland	
Lake	
Ditch	X
Number of reaches	1
Reach #	1

Ditch: Shawnigan Lake roadside ditch

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point upstream	0.7		I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: m) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; n) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; o) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and p) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
	0.7	4	
downstream	0.5	4	
	0.4		
Total: minus high /low mean	1.2 0.6	4	
	R/P C/P S/P		
Channel Type	X		

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons	X		Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: m) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; n) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; o) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and p) In carrying out my assessment of the development proposal, I have followed the

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Polygon No:	1	assessment methods set out in the Schedule to the Riparian Areas Regulation.		
SPVT Type	LC	SH	TR	Method employed if other than TR
			X	

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	5	South bank	Yes	X	No		
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)				Roadside drainage ditch: manmade, no significant headwaters or springs, seasonal flow		
Ditch Fish Bearing	Yes	X	No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	5	(For ditch use table3-7)					

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	5	South bank	Yes		No	X	
SPEA maximum	5	(For ditch use table3-7)					

Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)							
Litter fall and insect drop ZOS (m)							
Shade ZOS (m) max		South bank	Yes		No		
SPEA maximum		(For ditch use table3-7)					

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:

m) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;

n) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;

o) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and

p) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- The road side ditch that runs parallel to Shawnigan Lake Road flows southwest adjacent to Shawnigan Lake Road until it joins Ark Road ditch flows and then flows south in a culvert under Ark Road.
- Initial site assessment assumed that the drainage ditch was connected to a drainage ditch adjacent to the E&N Railway corridor which would then drain eventually into Van Horne Creek.
- Subsequent field investigation revealed that the drainage ditch adjacent to the west side of Shawnigan Lake Road is not connected to any downstream drainage structures.
- The drainage flows into a depression pool that has not surface outlet channel.
- This is a very anomalous road maintenance condition.
- During very heavy rains it appears that the drainage would flow across the adjacent industrial property.
- Therefore, we have calculated what the SPEA setback would be if the drainage ditch was

connected but recommend that this short segment does not meet the RAR definition of being subject to the RAR.

- No SPEA has been applied; however, given the proposed site layout and setbacks under the Zoning Bylaw there is a *de facto* riparian setback.
- Dominate vegetation species include: Scotch broom (*Cytisus scoparius*), Douglas fir (*Pseudotsuga menziesii ssp. menziesii*).

Internal drainage ditch

Refer to Chapter 3 of Assessment Methodology

Date: January 10, 2017

Description of Water bodies involved (number, type)	
Stream	
Wetland	
Lake	
Ditch	X
Number of reaches	1
Reach #	1

Ditch: Internal drainage ditch

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point	1.6		I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: q) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; r) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; s) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and t) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	1.5	5	
	1.5		
	1.5		
	1		
downstream	0.6	5	
	0.6		
	1.2		
	0.6		
	1.2		
Total: minus high /low	9.1		
mean	1.1		
	R/P	C/P	S/P
Channel Type		X	

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: q) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; r) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; s) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and t) In carrying out my assessment of the development proposal, I have followed the

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Polygon No:	1	assessment methods set out in the Schedule to the Riparian Areas Regulation.		
SPVT Type	LC	SH	TR	Method employed if other than TR
			X	

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	5	South bank	Yes	X	No		
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)				Manmade drainage ditch with no significant headwaters and seasonal flow.		
Ditch Fish Bearing	Yes	X	No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	5	(For ditch use table3-7)					

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	5	South bank	Yes		No	X	
SPEA maximum	5	(For ditch use table3-7)					

Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)							
Litter fall and insect drop ZOS (m)							
Shade ZOS (m) max		South bank	Yes		No		
SPEA maximum		(For ditch use table3-7)					

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:

- q) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- r) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;
- s) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- t) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- The internal drainage ditch starts in the northeast section on the property and flows west into the wetland (see site plan showing original, pre-proposal site condition).The ditch was a consequence of previous site grading intended to establish a broad flat terrace for the siting of industrial buildings.
- This drainage ditch receives primarily near-surface ground water and has a very minor surface catchment.
- There is a wetland present on the east side of the gravel driveway that is beyond the property boundary, but does not drain onto the property.
- The internal drainage ditch has a uniform width. It is considered fish bearing because it is a tributary to the wetland, which is a tributary Van Horne Creek, a watercourse which is known to bear fish.
- Since this drainage ditch is an artifact of the original rough grading constructed during the subdivision of the Light Industrial Park, a realignment of the drainage ditch was submitted to DFO for a Project Review.
- DFO has provided a response that a realignment of the drainage ditch would not result in either an RAR HADD or permanent harm under the *Fisheries Act*.

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- A copy of the DFO Request for Project review has been included in this report.
- A revised site plan showing the realigned drainage ditch has been included in this assessment report.
- Dominant vegetation species include: salmonberry (*Rubus spectabilis*), red alder (*Alnus rubra*), hardhack (*Spiraea douglasii* ssp. *douglasii*), Scotch broom (*Cytisus scoparius*), gorse (*Ulex europaeus*). Aquatic vegetation includes sedges (*Carex* spp.) and rushes (*Juncus* spp.). Other upland vegetation species include: Canada thistle (*Cirsium arvense*), shore pine (*Pinus contorta* var. *contorta*), western hemlock (*Tsuga heterophylla*), western redcedar (*Thuja plicata*), and bracken fern (*Pteridium aquilinum*).

Adjacent Unnamed Wetland

Refer to Chapter 3 of Assessment Methodology

Date: March 15, 2016

Description of Water bodies involved (number, type)

Wetland Reach 1 & Stream Reach 2

Stream	
Wetland	X
Lake	
Ditch	
Number of reaches	2
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point upstream	n/a	n/a	I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: u) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; v) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; w) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and x) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
downstream			
Total: minus high /low mean			
Channel Type	R/P n/a	C/P n/a	S/P n/a

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Wm. Patrick Lucey R.P.Bio.</u> , hereby certify that: u) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; v) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; w) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and x) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
Polygon No:	1		Method employed if other than TR
SPVT Type	LC	SH	

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	15						
Litter fall and insect drop ZOS (m)	15						
Shade ZOS (m) max	30	South bank	Yes	X	No		
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)						
Ditch Fish Bearing	Yes		No		If non-fish bearing insert no fish bearing status report		
SPEA maximum	30.0m	(For ditch use table3-7)					
Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	15						
Litter fall and insect drop ZOS (m)	15						
Shade ZOS (m) max	30	South bank	Yes		No	X	
SPEA maximum	15.0m	(For ditch use table3-7)					
Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)							
Litter fall and insect drop ZOS (m)							
Shade ZOS (m) max		South bank	Yes		No		
SPEA maximum		(For ditch use table3-7)					

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:

- u) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- v) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;
- w) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- x) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- Located on adjacent property to the east; the RAA falls onto subject property.
- Spring fed wetland, forming the headwaters of unnamed tributary stream. Ultimately flows into Saanich Inlet.
- Wetland outlet has been realigned in past. Wetland used to drain west across subject property through culvert under driveway, now wetland drains downstream to the east within a dug 'stream' channel to the southeast. Driveway culvert currently non-functional.
- An assessment of this channel revealed that historically there was seasonal surface flow under Shawnigan Lake Road through a culvert that discharged into a man-made channel downstream of Shawnigan lake Road.
- The culvert is perched 1.8 metres above the man-made channel downstream of Shawnigan Lake Road.
- An examination of the culvert revealed that there has been no visual evidence of flow through the culvert in recent years; stream flow has been subsurface through the road base material.

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Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

- At present there is no direct surface connection of flows emanating in the headwater reach with the reach downstream of Shawnigan Lake Road.
- However, it is possible that the pre-subdivision landscape may have had a surface connection linking the spring flows with Van Horne Creek.
- Therefore, we have elected to treat this headwater, spring fed wetland and stream channel as being subject to the RAR Assessment method.
- While there is no present surface connection of the headwater reach with potential fish bearing reaches downstream, we have calculated what a SPEA would be for this reach.
- The presence of the driveway and B.C. Hydro easement along the eastern property boundary, together with the Hydro mandated vegetation management under their power line, effectively precludes a functional SPEA vegetated setback beyond what presently exists.
- It is not possible to realign the driveway, nor the B.C. Hydro power lines, thus, we have elected to recommend that the existing vegetated riparian zone is the SPEA.
- Vegetation in the wetland includes: red-osier dogwood (*Cornus stolonifera*), willows (*Salix spp.*), red alder (*Alnus rubra*), bracken fern (*Pteridium aquilinum*), hardhack (*Spiraea douglasii ssp. douglasii*), western redcedar (*Thuja plicata*), and salmonberry (*Rubus spectabilis*). Species present in the upland area around the wetland includes: western hemlock (*Tsuga heterophylla*), Douglas-fir (*Pseudotsuga menziesii ssp. menziesii*), oceanspray (*Holodiscus discolor*), salal (*Gaultheria shallon*), and sword fern (*Polystichum munitum*).

Adjacent Unnamed Stream

Refer to Chapter 3 of Assessment Methodology

Date: March 15, 2016

Description of Water bodies involved (number, type)

Wetland Reach 1 & Stream Reach 2

Stream	X
Wetland	
Lake	
Ditch	
Number of reaches	2
Reach #	2

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point	1.1		I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that: y) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; z) I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u> ; aa) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and bb) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	1.4	0.5	
	1.2		
	1.0		
	1.1		
downstream	1.6	2	
	1.2		
	1.2		
Total: minus high /low mean	7.2 1.2	1.3	
	R/P C/P S/P		
Channel Type	X		

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

I, Wm. Patrick Lucey R.P.Bio., hereby certify that:
y) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
z) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland
aa) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
bb) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Polygon No:	1
	LC SH TR
SPVT Type	<input type="checkbox"/> <input type="checkbox"/> X

Method employed if other than TR

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	10						
Litter fall and insect drop ZOS (m)	10						
Shade ZOS (m) max	3.6	South bank	Yes	X	No		
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)						
Ditch Fish Bearing	Yes		No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	10.0m	(For ditch use table3-7)					

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	10						
Litter fall and insect drop ZOS (m)	10						
Shade ZOS (m) max	3.6	South bank	Yes		No	X	
SPEA maximum	10.0m	(For ditch use table3-7)					

Segment No:		If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)							
Litter fall and insect drop ZOS (m)							
Shade ZOS (m) max		South bank	Yes		No		
SPEA maximum		(For ditch use table3-7)					

I, Wm. Patrick Lucey R.P.Bio, hereby certify that:

y) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;

z) I am qualified to carry out this part of the assessment of the development proposal made by the developer Rob Strickland;

aa) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and

bb) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Comments

- Located on adjacent property to the east; RAA falls onto subject property.
- Tributary to an unnamed stream that flows into Saanich Inlet, albeit through the road base material of Shawnigan Lake Road, so is not connected by surface flows to the downstream reach.
- Headwaters are a small spring-fed wetland.
- Stream channel has been dug by machine, creating a deeply entrenched channel with near vertical banks and consistent 1.2m channel width.
- Stream flows towards perched culvert on Shawnigan Lake Road (1.8 metre perch). Stream percolates through the road base and resurfaces in a stream channel on the south side of the road.
- Vegetation species present in the riparian area include: red alder (*Alnus rubra*), salal (*Gaultheria shallon*), and sword fern (*Polystichum munitum*), bracken fern (*Pteridium aquilinum*), western hemlock (*Tsuga heterophylla*), Douglas-fir (*Pseudotsuga menziesii ssp. menziesii*), and oceanspray (*Holodiscus discolor*).

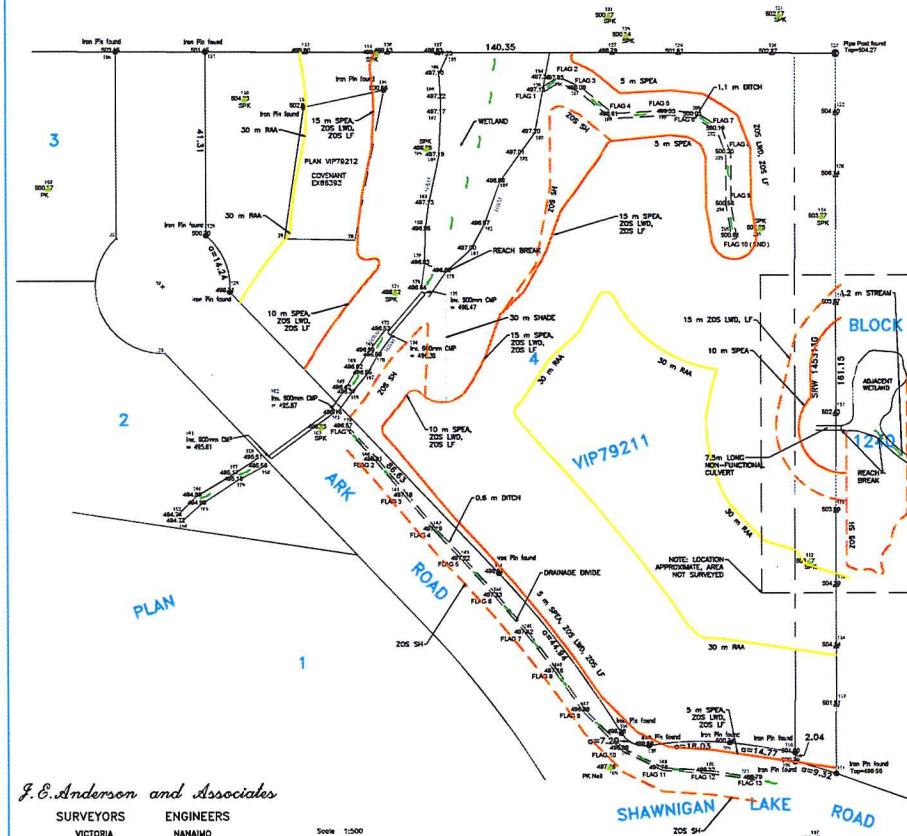
3. Site Plan



RAR PLAN

DISTRICT LOT 94

- RAA = RIPARIAN ASSESSMENT AREA
- SPEA = STREAM SIDE PROTECTION AND ENHANCEMENT AREA
- ZOS = ZONE OF SENSITIVITY
- LWD = LARGE WOODY DEBRIS, BANK AND CHANNEL STABILITY
- LF = LITTER FALL & INSECT GRIP
- SH = SHADE



J. E. Anderson and Associates
SURVEYORS ENGINEERS
 VICTORIA NANAIMO



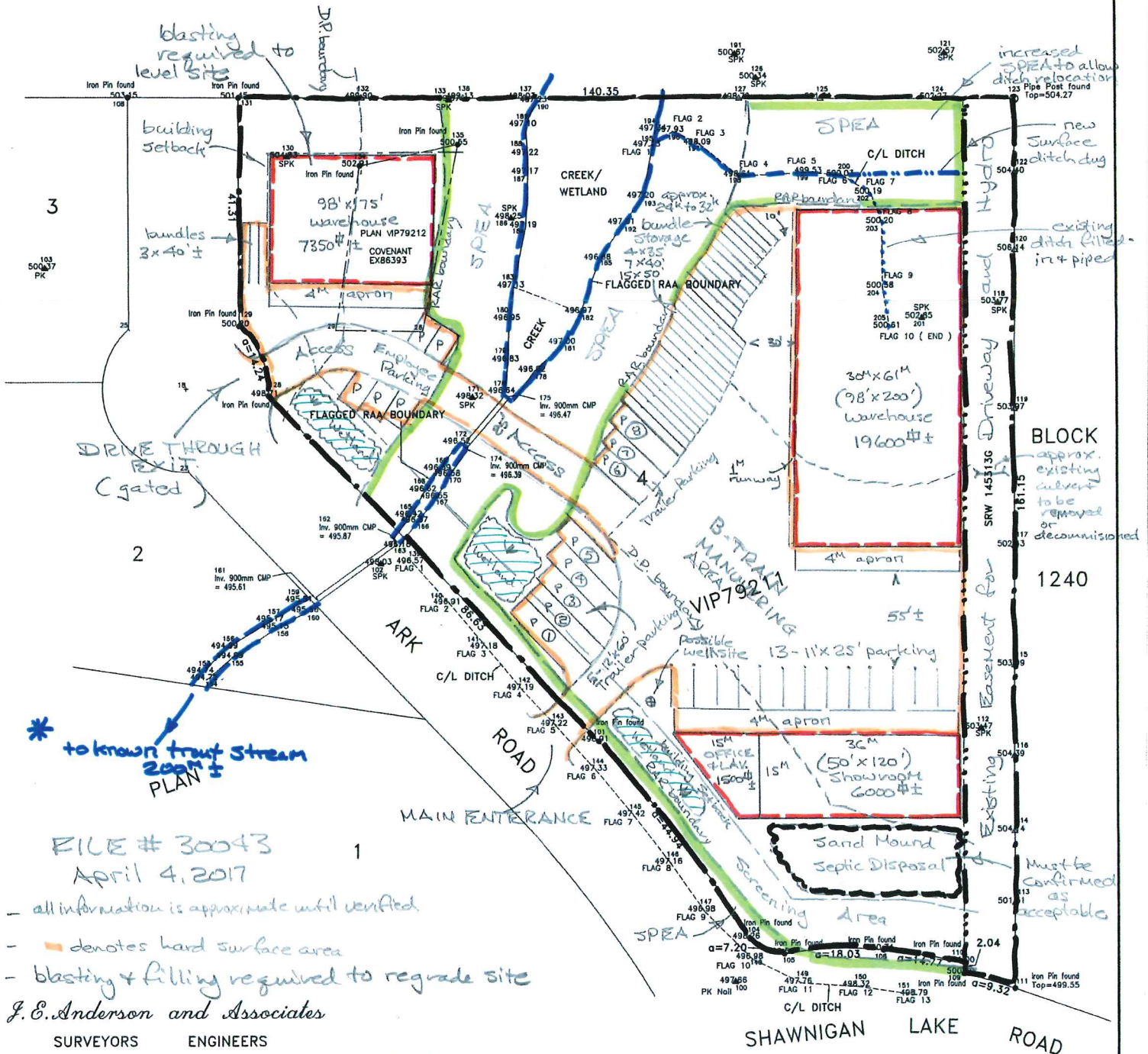
SITE PLAN	
AT ARK ROAD	PID 026-350-041
LEGAL : LOT 4, DISTRICT LOT 132, MALAHAT DISTRICT, PLAN VIP79211	
DESIGN BY : DRL/AM	PROJECT SURVEYOR : D.R. CARRER
SCALE : 1 : 500	DATE : JAN. 17, 2017.
ROOFMART	
OUR FILE : 30043	REVISION :

NOTE :
 ELEVATIONS ARE TO ASSUMED DATUM
 THE DECIMAL POINT OF THE ELEVATION
 DENOTES THE LOCATION OF THE SHOT
 TAKEN UNLESS OTHERWISE NOTED
 PROPERTY LINES HAVE BEEN CALCULATED
 FROM CURRENT SURVEY AND EXISTING SURVEY RECORDS
 ▲ SPK DENOTES TRAVERSE SPIKE
 A DENOTES 1X2 NUMBERED STAKE SET ON PROPERTY LINE



ROOFMART DEVELOPMENT SKETCH ARK ROAD - Victoria

DISTRICT LOT 94



- all information is approximate until verified
- denotes hard surface area
- blasting & filling required to regrade site

J.C. Anderson and Associates
SURVEYORS ENGINEERS
VICTORIA NANAIMO



NOTE :
ELEVATIONS ARE TO ASSUMED DATUM
THE DECIMAL POINT OF THE ELEVATION DENOTES THE LOCATION OF THE SHOT TAKEN UNLESS OTHERWISE NOTED
PROPERTY LINES HAVE BEEN CALCULATED FROM CURRENT SURVEY AND EXISTING SURVEY RECORDS
▲ SPK DENOTES TRAVERSE SPIKE
△ DENOTES 1X2 NUMBERED STAKE SET ON PROPERTY LINE

SITE PLAN	
AT ARK ROAD	PID 026-350-041
LEGAL : LOT 4, DISTRICT LOT 132, MALAHAT DISTRICT, PLAN VIP79211	
DRAWN BY : DBL	PROJECT SURVEYOR : D.R. CARRIER
SCALE : 1 : 500	DATE : JAN. 17, 2017.
CLIENT : ROOFMART	
OUR FILE : 30043	REVISION :

4. Measures to Protect and Maintain the SPEA

This section is required for detailed assessments. Attach text or document files, as need, for each element discussed in chapter 1.1.3 of Assessment Methodology. It is suggested that documents be converted to PDF *before* inserting into the assessment report. Use your "return" button on your keyboard after each line. You must address and sign off each measure. If a specific measure is not being recommended a justification must be provided.

1. Danger Trees	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
2. Windthrow	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
3. Slope Stability	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
4. Protection of Trees	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
5. Encroachment	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
6. Sediment and Erosion Control	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
7. Stormwater Management	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	
8. Floodplain Concerns	
I, <u>Wm. Patrick Lucey R.P.Bio</u> , hereby certify that:	
<ul style="list-style-type: none"> a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>; b. I am qualified to carry out this part of the assessment of the development proposal made by the developer <u>Rob Strickland</u>; c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation 	

Measures – Danger Trees in the SPEA

The trees appear to be in good health within the SPEA area. The proposed development will not encroach into the unnamed wetland. The proposed on-site septic system will incorporate a disposal field adjacent to the conifer copse adjacent to Shawnigan Lake Road.

- The majority of the trees on the site are within the SPEA and will not pose a threat to any of the proposed development
- Majority of the trees are second growth and in good health. Therefore, there isn't a risk of danger trees.

Measures – Windthrow

No measures are required at this time as SPEA trees are protected within the 10m setback and the wetland SPEA.

- The majority of the large trees are within the SPEA and pose no threat to the proposed development.
- There is a cluster of Douglas fir trees immediately adjacent to Shawnigan lake Road that provide a physical buffer between the road and the proposed dwellings on the site.
- This cluster lies outside the SPEA.
- There was no visual evidence of any windthrow on the property.
- The majority of the trees on the property, prior to development, had been removed at least a decade before this site assessment, providing a measure of growth resulting in wind firmness for the trees that remain on the property.
- Once the industrial buildings have been constructed an arborist report on windthrow may be required.
- Decisions regarding danger trees or tree health management can be made at that time.

Measures – Slope Stability

Given the flat, terraced landscape morphology, there were no indicators of slope instability on the subject property. No development is proposed on any slopes, as shown in the site plan diagram.

Measures – Protection of Trees in the SPEA

This RAR is triggered by a proposal for the construction of industrial buildings, with no construction, or subsequent impact, to trees within the SPEA is anticipated at this time.

- The proposed development will be outside the SPEA and there is no anticipated construction or impact planned that can adversely affect trees, or vegetation, within the SPEA.
- The majority of the trees are within the SPEA and there are no plans of any them to be removed.
- There has been a regrowth of primarily red alder within the SPEA, following the historical logging and grading on the site.

- **It is recommended that a short height fence (≤ 1.0 metre) be constructed along the SPEA boundary adjacent to the internal ditch, the wetland, and the stream segment flowing out of the wetland.**
- **A silt fence shall be constructed adjacent to the small wetland on the east side of the panhandle driveway, to protect the small wetland.**
- **Orange snow fencing shall be placed parallel to the silt fence adjacent to the small wetland on the east side of the panhandle driveway, to protect the small wetland. Signage indicating the wetland is a SPEA Management Zone will also be required to be installed on the orange snow fence.**

Measures – Preventing Encroachment in the SPEA

Encroachment refers to the problem of disturbance of the riparian vegetation in the SPEA by trampling, unsanctioned trails and dumping of yard waste, etc.

Since construction will commence immediately following the authorization of a Development Permit, the following measures must be implanted.

- The SPEA **MUST** be marked during construction through the use of temporary orange snow fencing and signage.
- Orange snow fencing demarcating the SPEA **MUST** be implemented prior to ANY works on the site, including tree removal, grubbing, clearing, or the storage of ANY construction related materials, including heavy equipment.
- **It is recommended that a short height fence (≤ 1.0 metre) be constructed along the SPEA boundary adjacent to the internal ditch, the wetland, and the stream segment flowing out of the wetland.**

Measures – Sediment and Erosion Control During Construction

Since construction will commence immediately following the authorization of a Development Permit, the following measures must be implemented.

An Erosion and Sediment Control Plan (E&SCP) to protect the SPEA and stream habitat and water quality MUST be developed by a qualified professional such as a registered biologist, engineer, or landscape architect.

- The design and implementation of the E&SCP **MUST** be completed and implemented prior to ANY works on the site, including tree removal, grubbing, clearing, or the storage of ANY construction related materials, including heavy equipment.
- The E&SCP **MUST** be monitored and records of the monitoring **MUST** be maintained during all phases of the construction and **MUST** form part of the Post-construction Assessment report.
- The main area of concern is the drainage ditch located adjacent to the norther property boundary and the roadside ditch located parallel to Ark road.
- These areas need to be well protected given proximity of soil disturbance associated with site grading, industrial building development and the subsequent erosion and sediment that could enter the aquatic habitat.

- Silt fencing along the edges of ditches shall be installed before any work happens around the SPEA.
- Although majority of the vegetation within the SPEA is invasive it provides bank support.
- Therefore, silt fences must be installed along the SPEA adjacent to the SPEA paralleling the unnamed stream and wetland prior to construction or removal of vegetation.
- The use of Repeat Photography MUST be a core component of the E&SC Plan monitoring to document changes to the landscape and that any changes made to the landscape have not resulted in harm to the SPEA or aquatic habitat.
- Monitoring of sediment management practices shall be required during all construction, or land clear and grading, activities.
- It is recommended that a E&SC Monitoring checklist method be used to document compliance with sediment management required under the RAR.

Measures – Stormwater Management

It is essential that care be taken when designing the stormwater management system to ensure there are no deleterious effects to the Unnamed Stream (quality or quantity of water). The creek bed and banks are composed primarily of silty materials that are at risk of erosion and/or headcuts.

- The design of the on-site rainwater (stormwater) management plan shall be part of the Development Permit.
- Stormwater flows off the site must be treated prior to entering the unnamed stream and wetland, or any of the drainage ditches.
- Roof runoff could be discharged directly to the perched, isolated wetland if the roof materials do not contain erodible pollutants, otherwise the runoff MUST be treated prior to its discharge into any receiving environment.
- Direct discharge of roof runoff, not requiring treatment, could be via a piped route designed to ensure that the piping system does not result in any permanent harm to the soils and vegetation within the SPEA.
- A surface channel routing roof runoff can also be used if the channel design ensures there is no permanent harm to the soils and vegetation within the SPEA.
- The design of a piped or overland surface channel route, for roof runoff, shall be reviewed, and absence of permanent harm to the soils and vegetation within the SPEA, shall be verified by a QEP.
- The Stormwater management Plan MUST be designed and implemented/constructed prior to any construction of dwellings and/or buildings, or driveway access alterations from the existing gravel driveway.
- Stormwater management systems can simultaneously deliver benefits to the development and to the function of surrounding ecosystems. If implemented as part of a whole-system approach, these benefits can often be accomplished along with savings in development costs. Recommended principles of stormwater management include:

- Planning the layout of the development in order to maximize vegetated landscapes, to maintain and/or enhance wildlife habitat, and to minimize impervious surfaces and the generation of point source stormwater runoff.
- Increasing infiltration of rainwater into the ground and minimizing stormwater runoff, by limiting impervious surfaces, using permeable hard surfaces such as permeable pavers, pervious concrete, etc., and using technologies such as infiltration trenches, vegetated swales, and cisterns for rainwater collection/reuse.
- Retaining and replanting native vegetation alongside wetlands and streams, in order to simultaneously increase wildlife habitat, prevent erosion, and create greenways.
- Ensuring that no water is discharged or infiltrated such that it would destabilize steep slopes.

Measures – Floodplain Concerns

The site morphology consists of a slightly entrenched stream channel and wetland. There are elevated terraces on either side of the entrenched aquatic habitat. The elevated terraces are well above the entrenched wetland and stream channel (> 2.0 metres), especially the proposed eastern portion of the property (?), which exceeds 3.0 metres above the channel bottom.

There are no floodplain concerns on this property.

Section 4 References

British Columbia Ministry of Environment. 2002. Stormwater Planning: a Guidebook for British Columbia. <http://www.env.gov.bc.ca/epd/epdpa/mpp/stormwater/stormwater.html>

Department of Fisheries and Oceans Canada. 1992. Land Development Guidelines for the Protection of Aquatic Habitat.

United States Environmental Protection Agency (EPA). 1992. Storm water management for industrial activities: developing pollution prevention plans and best management practices. EPA-833-R-92-005.

5. Environmental Monitoring

Environmental monitoring **MUST** be designed and implemented prior to the onset of any construction, tree clearing, site grading, or activity that could result in soil erosion and/or sediment loading/runoff.

According to the U.S. EPA, **“the most environmentally dangerous period of development is the initial construction phase when land is cleared of vegetation and graded to create a proper surface for construction”**.

- Once construction is scheduled to begin (i.e., following the awarding of the Development and Building Permits) an environmental monitoring program **MUST** be established prior to the onset of construction, or any land use alteration, by a qualified professional.
- The site shall be inspected/monitored regularly (weekly or after a rainstorm > 6mm in a 24 hour period) to ensure that no erosion or sedimentation is occurring and that the riparian zone and water quality of the streams are protected.
- The use of **Repeat Photography** **MUST** be a core component of the environmental monitoring assessment to document changes to the landscape and that any such changes to the landscape have not resulted in harm to the SPEA or aquatic habitat.

Post-Development Report

The developer is required under the RAR to have a QEP conduct a site assessment following the completion of land use alterations and/or development, at the developer's expense. This is to ensure that the developer has followed the recommendations and measures to protect the SPEA contained in this report.

- **Ongoing monitoring during construction, as part of the E&SC Plan, MUST form a component of the Post-development report.**

A physical inspection of the site and the SPEA **MUST** be conducted, to ensure that no damage has occurred, or is anticipated, and the required management practices have been carried out.

- The post-development report **MUST** document that **ALL** of the measures and monitoring requirements listed above verify that the aquatic and riparian habitat, within the SPEA, has been protected and that any deficiencies have been addressed, or shall be addressed to the satisfaction of the QEP and CVRD Planning staff.
- The post-development report shall include a summary of the results of the monitoring and repeat photographs.
- The QEP **MUST** then file a post-development report on behalf of the developer, submitted through the Ministry of Environment Notification System, after the development has been completed.

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- The post-development report shall document that the required measures and conditions outlined in this report have been implemented, as per Section 5(a) of the Riparian Area Regulation.

References:

Hall, F.C., 2001. Ground-based photographic monitoring. Gen. Tech. Rep. PNW-GTR-503. Portland, OR: U.S. Department of Agriculture, Forest Service, Pacific Northwest Research Station. 340 p. <http://www.fs.fed.us/pnw/pubs/gtr503/>

6. Photographs

The man-made drainage ditch located in the upper northeast corner of the property was constructed when the site was logged and roughly graded to establish a flat building site. The ditch does not have any headwater sources, is not spring fed, and is not connected by surface channels to any other fisheries habitat. The site assessment noted that the flow in the ditch originates in surface runoff from the adjacent graded land. Given the ditch is a man-made channel under the WSA it is permissible to realign the channel to permit a re-configured development footprint, while retaining the same SPEA setbacks and riparian habitat.

The reconfigured ditch alignment (Site Drawing 2) would require in the following mitigation measures and attendant benefits.

1. The existing ditch to be filled in would be converted into a French drainage channel. The ditch would be filled with blast rock (300 mm) and the blast rock would be covered with geotextile fabric. The blast rock would ensure sub-surface drainage that would be discharged into the realigned drainage channel and then into the downstream wetland. The geotextile fabric would be covered with fill to create a structurally engineered surface for subsequent development.
2. 50 western red cedar plugs would be planted around the edge of the wetland. Plantings would be in clusters of 3-6 trees per cluster and be 10 metres apart.
3. 25 cottonwood whips, at least 1.75 metre long, will be planted in clusters of 3 along the wetland edge. Clusters will be at least 10 metres apart.
4. 25 native willow whips will be planted amongst the cottonwood whips. Willow whips will be planted in clusters of 5.
5. The broom and gorse shrubs within the SPEA management zone will be manually cut and removed. Plants removed will be disposed of in a manner that meets the standard of care for these specific invasive species as prescribed by the CVRD.



Figure 7. Looking upstream at the stream channel segment north of Ark Road; dashed yellow arrow shows the direction of stream flow. Note the entrenched channel and riparian vegetation within the side slopes. The dashed yellow line is the approximate location of the internal access road between the two property segments separated by the

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stream channel (Figure 8). The yellow arrow is the existing pile of debris on the western segment of the property. Photo taken November 21, 2016.



Figure 8. Looking downstream towards Ark Road. Note the thicket of red alder growing within the moist riparian soils. Photo taken January 10, 2017.



Figure 9. Looking downstream from Ark Road (yellow dashed arrow is the direction of flow) at the stream segment on the property to the south of Ark Road. Channel widths and slope were obtained in this short reach. A culvert lies downstream approximately 30 metres. Photo taken November 21, 2016.

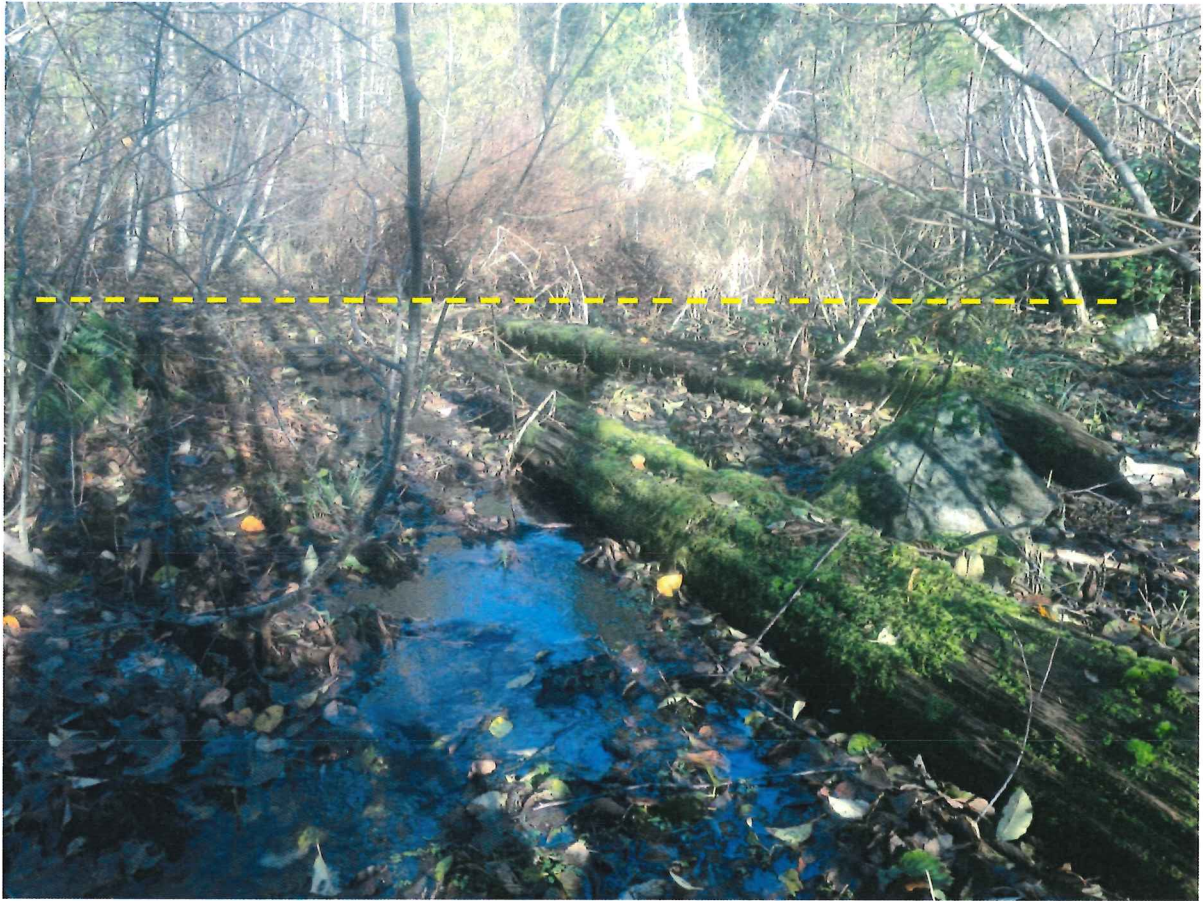


Figure 10. Looking northwest upstream to the wetland (width approximated by dashed yellow arrow). Note the stable, large woody debris covered with moss, shallow surface water, rich organic debris, sediment, and young riparian vegetation developing along the wetland high water mark. Photo taken November 21, 2016.

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Figure 11. Looking northeast across the wetland to the coniferous forest edge on the adjacent property. The yellow arrow indicates the confluence with the short man-made ditch flowing into the wetland from the northeast corner of the property. Photo taken November 21, 2016.

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Figure 12. Looking east along the driveway that parallels the north property boundary. The dashed yellow arrow is the approximate location of the blocked culvert under the driveway. The solid yellow arrow is the alignment of a stream/pond that flows across the driveway, given the blocked culvert. Photo taken November 21, 2016.



Figure 13. Looking east along the drainage ditch adjacent to Ark Road. Shawnigan lake Road lies at the end of Ark Road. Note the broom covering the side slope. The yellow arrow shows the direction of runoff flows. Photo taken January 10, 2017.



Figure 14. Looking west toward the cul-de-sac at the end of Ark Road. The solid yellow arrow is the location of the culvert crossing under Ark Road. The yellow arrow shows the direction of runoff flows. Photo taken January 10, 2017.



Figure 15. Looking west along Shawnigan lake Road. The drainage ditch and direction of flow is shown by the solid yellow arrow. The dashed yellow arrow is the location of the culvert under Ark Road. Photo taken January 10, 2017.

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Figure 16. Looking west across the elevated and terraced side slope. Note the debris and garbage pile (to be removed as part of a regarding plan). The stream reach lies at the far left hand side of the image. The solid yellow arrow is the internal access road that links the two halves of the property. Photo taken January 10, 2017.



Figure 17. Looking upstream toward the wetland. Photo taken January 10, 2017.

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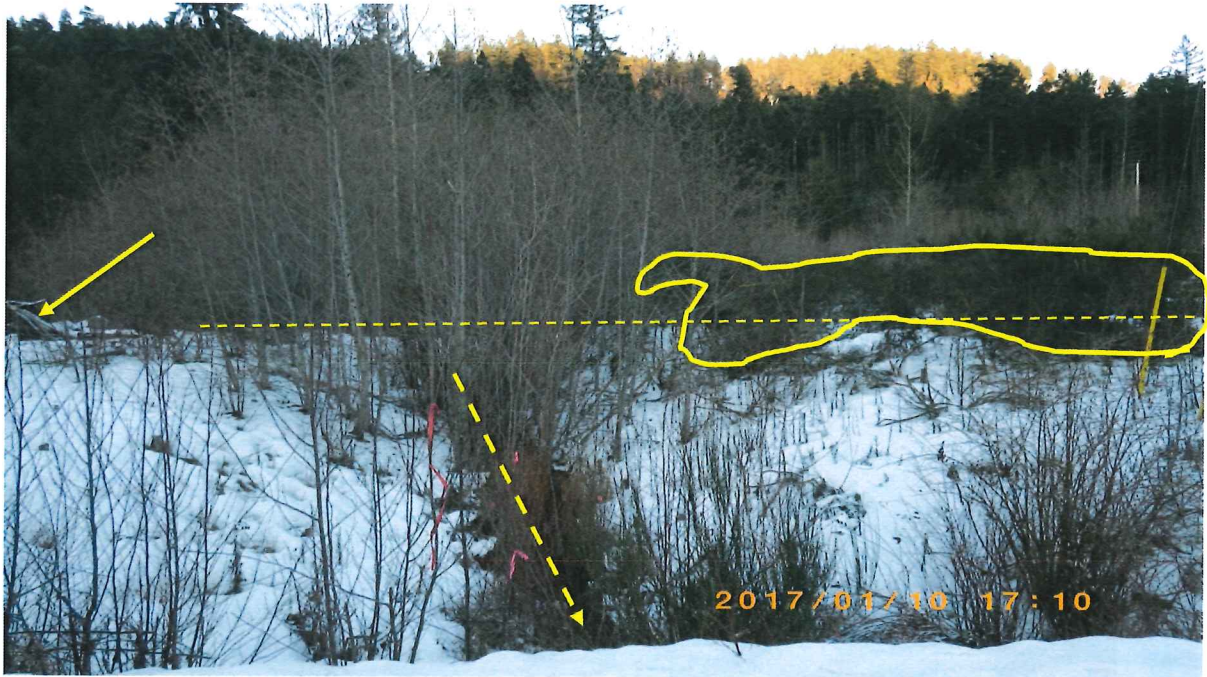


Figure 18. Looking north up the stream reach toward the internal access road (dashed yellow line). Note the debris pile on the left hand side of the image (Figure 16). Dashed yellow arrow is the location and direction of flow in the stream reach. The dashed yellow line is the location of the internal access road; the culvert lies at the head of the stream reach (Figure 7 and Figure 17). Note the dense infestation of gorse (yellow circle). Photo taken January 10, 2017.

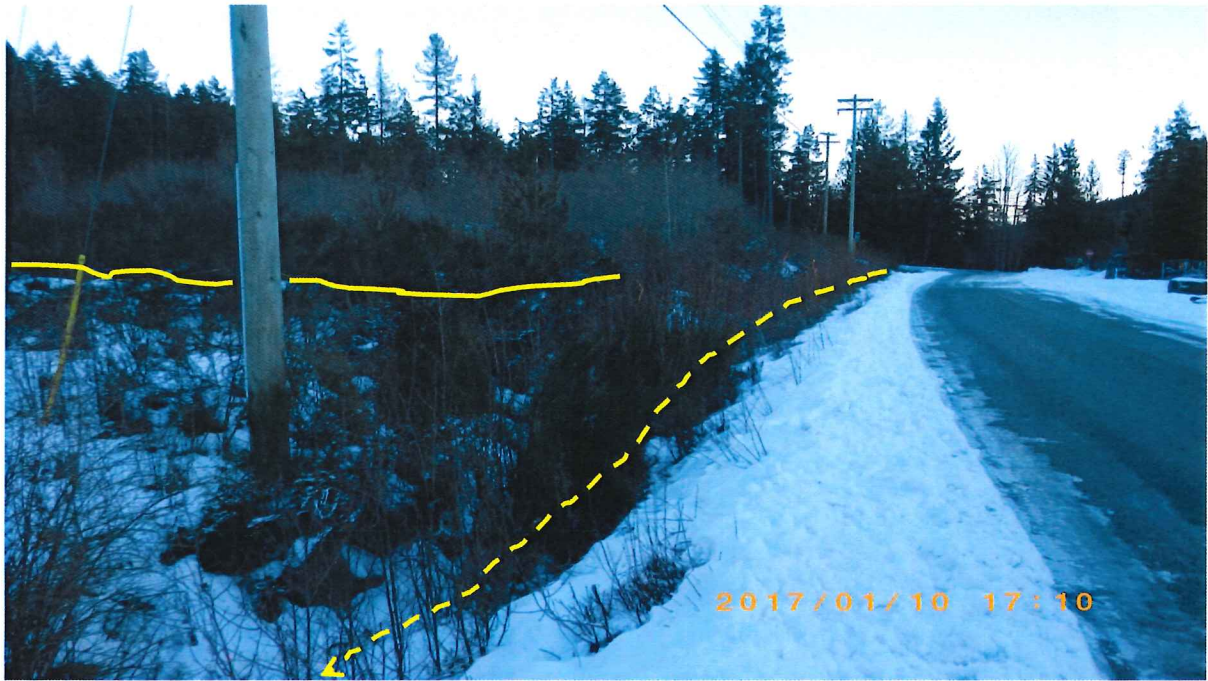


Figure 19. Drainage ditch adjacent to Ark Road (dashed yellow arrow), showing direction of flow. The yellow line indicates the gorse and broom infestation. Photo taken January 10, 2017.



Figure 20. Looking south toward Ark Road showing the stream channel and red alder canopy within the riparian zone. Photo taken January 10, 2017.



Figure 21. looking downstream at the man-made drainage ditch located in the northeast corner of the property. The dashed yellow arrow is the direction of flow. Note the paucity of riparian vegetation and the rock outcrop on the right hand side of the channel. Note the broom dominating the side slope vegetation. The wetland lies at the upper left hand side of the image. Photo taken January 10, 2017.

FORM 1
Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

7. Professional Opinion

Assessment Report Professional Opinion on the Development Proposal's riparian area.

Date

1. I/We Wm. Patrick Lucey R.P. Bio.

Please list name(s) of qualified environmental professional(s) and their professional designation that are involved in assessment.

hereby certify that:

- a) I am/We are qualified environmental professional(s), as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- b) I am/We are qualified to carry out the assessment of the proposal made by the developer Rob Strickland, which proposal is described in section 3 of this Assessment Report (the "development proposal"),
- c) I have/We have carried out an assessment of the development proposal and my/our assessment is set out in this Assessment Report; and
- d) In carrying out my/our assessment of the development proposal, I have/We have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation; AND

2. As qualified environmental professional(s), I/we hereby provide my/our professional opinion that:

- a) if the development is implemented as proposed by the development proposal there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed, **OR**
(Note: include local government flex letter, DFO Letter of Advice, or description of how DFO local variance protocol is being addressed)
- b) if the streamside protection and enhancement areas identified in this Assessment Report are protected from the development proposed by the development proposal and the measures identified in this Assessment Report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed.

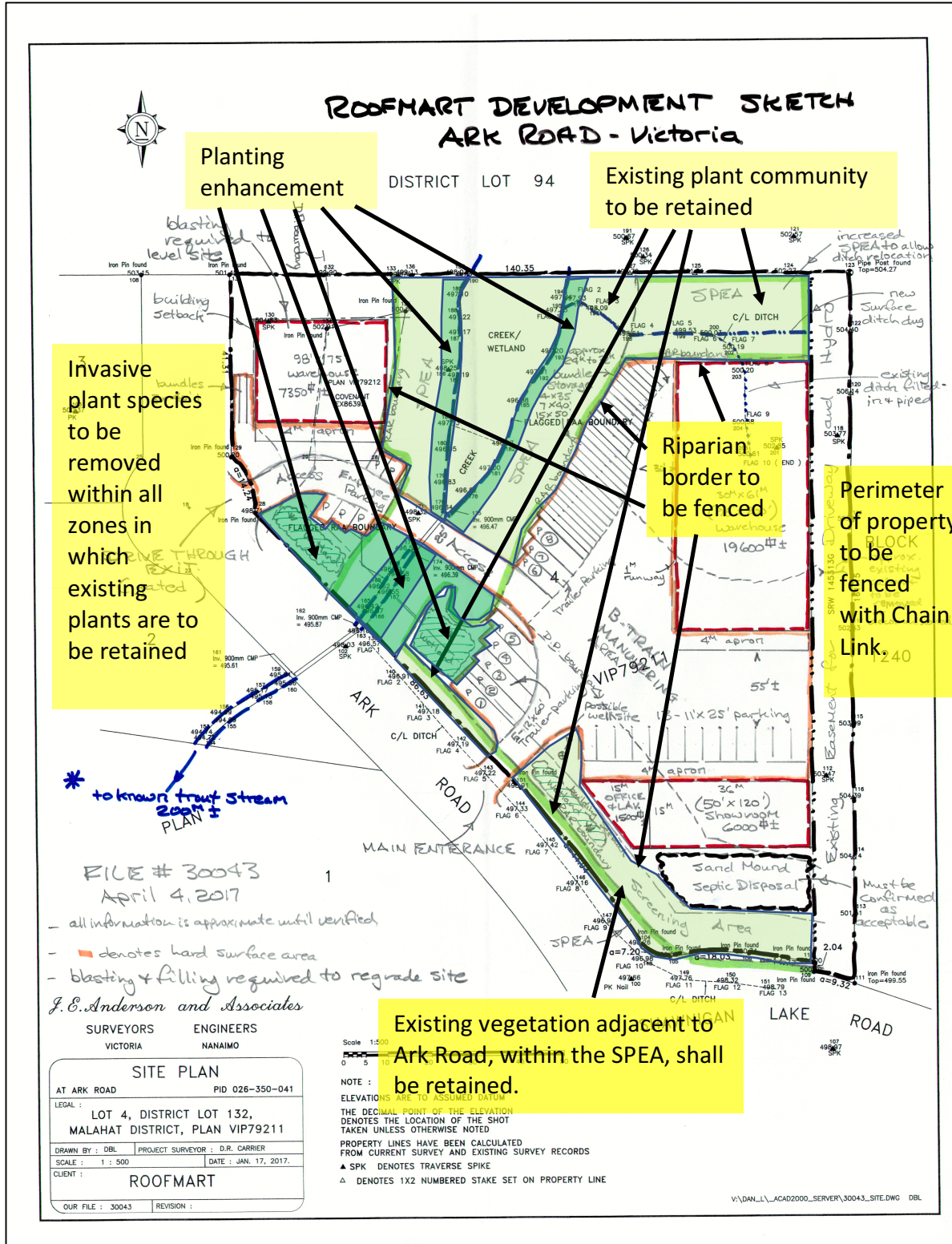
[NOTE: "qualified environmental professional" means an applied scientist or technologist, acting alone or together with another qualified environmental professional, if

(a) the individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association,

(b) the individual's area of expertise is recognized in the assessment methods as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal, and

(c) the individual is acting within that individual's area of expertise.]

Concept Planting Plan



This plan is for planting reference information purposes only

Planting and Fencing Details

It should be noted that under the RAR, riparian plant communities within the SPEA should remain untouched, other than the removal of invasive plant species or ornamental plants.

1. Prior to any construction, the SPEA will be surveyed, staked, and the silt and orange snow fence installed adjacent to the SPEA boundary, on the entire site, to function as a barrier to unintended intrusion into the SPEA.
2. Building A is sited on the SPEA boundary. Care must be taken during construction that no intrusion into the SPEA occurs and that the existing plant community within the SPEA shall be protected.
3. The only intrusion into the SPEA shall occur in the realignment of the small channel in the northeast corner of the property, as authorized by DFO.
4. The vegetative screen along the north property boundary, associated with the SPEA, will be retained in its present form. The mature conifers are associated with the proposed realigned stream channel and the wetland.
5. The vegetative screen adjacent to Shawnigan Lake Road will be retained in its present forested form.
6. The vegetative screen adjacent to Ark Road, associated with the SPEA, will be retained in its present form of riparian shrubs and trees (Red Alder) lying within the roadside drainage channel. These plants have become established within a rocky, poor soil, with a soil moisture profile that is analogous to that of a desert – dry during the prolonged summer months and wet during the winter.
7. All invasive plant species removal shall be monitored by the QEP and removal shall be undertaken in accordance with CVRD and Ministry regulations pertaining to Approved Standards and Guidelines for disposing of invasive plant material. Invasive plant species within the SPEA management zones will be removed manually. If necessary a mini-excavator may be required to remove the larger gorse plants.
8. A Nootka rose shrub hedge will be planted immediately adjacent to the chain link fence, beside Building A.
 - a) Temporary irrigation will be required to insure the hedge grows to a 'free-to-grow' state.
 - b) This portion of the property consists of bedrock as the parent material.
 - c) Soil within planter boxes may be required to provide sufficient soil to promote hedge growth.
 - d) If soil and moisture conditions are too severe to permit a hedge, the QEP shall recommend an alternative that functions to provide a privacy screen adjacent to the chain link fence.
9. Irrigation will not be required given the wetland soil moisture during the summer months is sufficient to ensure against drought conditions requiring supplemental irrigation.
10. Planting along the stream channel may require additional topsoil to be placed within a planting hole. The quantity of topsoil shall be based upon a field-based decision by the QEP, based upon soil quality and proximity to other riparian plants. Planting shall be to a depth that stream flow and near surface water will be adequate to avoid the need for irrigation.
11. Planting shall be conducted in the early spring (2018) when temperatures and soil moisture are appropriate, as specified in the BCSLA Standards and Guidelines. Planting may be postponed if weather forecasts predict freezing temperatures.
12. Mulch shall be placed around each plant for a metre surrounding each plant, to control weeds.
13. Planting guards around each stem may be required to prevent girdling of the bark.
14. The planting plan should consist of the following:
 - The DFO application for Project Review required the planting of 50 trees within the wetland shoreline.
 - Planting shall be amongst the existing red alder, in clusters of 3-5 trees.
 - Siting of the replanting shall be based upon a field-based decision by the QEP, based upon soil quality and proximity to other riparian plants.
 - The majority of the trees shall be planted in clusters primarily along the shoreline of the wetland and stream channel below the wetland.

- Plants may be required to be staked and may require browse guards or other anti-browse methods, as specified by the QEP or other qualified professional.

Plants	Cost per plant	Number of plants	Budget
Cedar (5 Gal pot)	18	25	\$450.00
Nootka Rose (5 Gal pot)	18	60	\$1,080.00
Cottonwood (5 Gal pot)	18	15	\$270.00
Willow (2 Gal pot)	8.5	10	\$85.00
Red Osier Dogwood (5 Gal pot)	18	15	\$270.00
Saskatoon (5 Gal pot)	18	15	\$270.00
Mock Orange (5 Gal pot)	18	10	\$180.00
Red Flowering Currant (5 Gal pot)	22	10	\$220.00
Mulch			\$1,500.00
Topsoil			\$3,000.00
Planting			\$4,000.00
Invasive removal & 5-year maintenance			\$23,000.00
Total estimated budget			\$34,325.00
125% budget			\$42,906.25

- There has been no visual evidence of beaver activity within the catchment area surrounding the property; however, beaver activity is well documented in other catchments within the Shawnigan Lake watershed. Should beavers remove any of the planting recommended a review of the success of a planting program shall be undertaken by the QEP and agency specialists in managing riparian plant communities in the presence of beaver activity.
- The property boundary must be fenced with a black chain link fence to attempt to deter theft and vandalism.

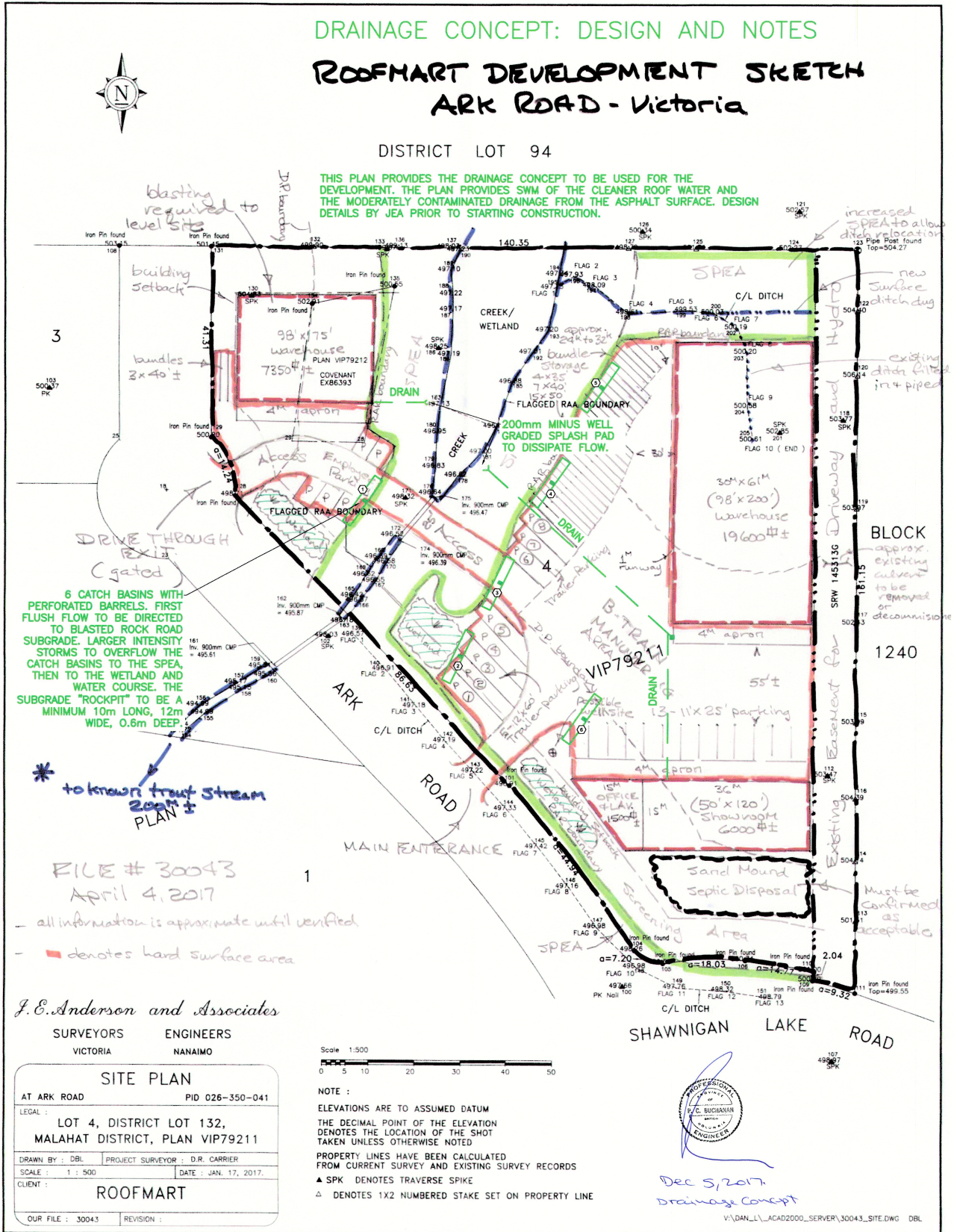
ATTACHMENT G

DRAINAGE CONCEPT: DESIGN AND NOTES

ROOFMART DEVELOPMENT SKETCH ARK ROAD - Victoria

DISTRICT LOT 94

THIS PLAN PROVIDES THE DRAINAGE CONCEPT TO BE USED FOR THE DEVELOPMENT. THE PLAN PROVIDES SWM OF THE CLEANER ROOF WATER AND THE MODERATELY CONTAMINATED DRAINAGE FROM THE ASPHALT SURFACE. DESIGN DETAILS BY JEA PRIOR TO STARTING CONSTRUCTION.



ATTACHMENT H

TimberWest

February 13, 2018

TW File Ref: 17-067

Land Use Services Department
Cowichan Valley Regional District
175 Ingram Street
Duncan, BC V9L 1N8

Attention: Sheila Herrera, RPP, Planner II
Development Services Division

**Re: Your File 04-B-17DP/VAR
Development Permit with Variance
Lot 4 District Lot 132 Malahat District Plan VIP79211 (the "Property")**

We are in receipt of your letter dated February 8, 2018 regarding a development permit application of the Property.

TimberWest Forest Corp. is the registered owner of lands in the vicinity of the Property and in particular, lands immediately to the east of the Property. We note on Attachment C reference to the perimeter of the Property is to be fenced with chain link. Since there is a potential for trespass and dumping on TimberWest's adjacent lands, we ask that the District makes perimeter fencing a requirement of the subject application.

Yours truly,

TIMBERWEST FOREST CORP.



Per: Lee-Ann Anderson
Sr. Property Administrator




/laa



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ATTACHMENT I

South Cowichan Rural Development Permit Area

Development Permit Application No. 04-B-17DP-VAR

DPA guidelines applicable to this application are summarized in the table below with staff comments provided for each set of guidelines.

<p>24.4.1 A General Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Removal of invasive species. ➤ Hazard lands geotechnical assessments for dealing with flooding, erosion, landslide, mud/debris flows, subsidence, etc, may be requested. <p>Comments:</p> <ul style="list-style-type: none"> ➤ Removal of invasive species recommended by QEP. ➤ Geotechnical assessment not requested by staff. <p>Application considered to meet the intent of the DPA guidelines.</p>
<p>24.4.3 A Building Design Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Buildings should demonstrate a range of architectural features with a mix of natural exterior finishes. ➤ Design themes to include use of natural wood/stone, along with generous glazing to take advantage of solar access and views, where applicable. ➤ Design to acknowledge influence of sunlight during day and seasonally, and heritage features. ➤ Buildings sited and oriented to reduce overshadowing effects on surrounding buildings and open spaces. ➤ Buildings should not dominate/overpower neighbourhood, but minimize impacts on residential privacy. ➤ Visual mass of buildings should be reduced by creating variation, monolithic structures and long expanses of blank walls facing a street will be avoided. ➤ New development should reflect, rather than obscure significant natural topographic features. ➤ Green building features should be incorporated into building design. ➤ Building height should not be varied where it would interfere with a view or the solar access of a neighbouring building. ➤ Consider pedestrian activity on site. ➤ Consider Crime Prevention through Environmental Design (CPTED) principles. ➤ Underground wiring is encouraged. <p>Comments:</p> <p><u><i>Dome Structures:</i></u></p> <ul style="list-style-type: none"> ➤ Fabric covered engineered structures generally not in keeping with building design guidelines, however no real opportunity to modify. ➤ Height of both dome structures require variances. These variances would not interfere with views or solar access of any neighbouring building as the building at 690 Ark Road has 2 windows located approximately 70 metres from the closest dome structure, and the buildings located north of the subject property are approximately 70 to 100 metres from the proposed domes. <p><u><i>Showroom:</i></u></p> <ul style="list-style-type: none"> ➤ Showroom building has metal exterior siding and metal roofing. ➤ Shed style roof on one end of the building is a feature that provides visual interest and breaks up the massing of the building. ➤ Numerous windows of varying sizes on 3 sides of the building, provide good solar access.

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	<ul style="list-style-type: none"> ➤ While metal material dominates the building, the red and grey colour scheme provides another element of visual interest. ➤ Covered roof at front of building contains wooden posts which add a much needed natural material to the building façade. <p>Dome structures not in keeping with the guidelines, however the showroom building considered to meet the intent of the DPA guidelines.</p>
<p>24.4.6 A Landscaping, Rainwater Management and Environmental Protection Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Requires submission of a professional Landscape Plan. ➤ Runoff to be limited to prevent rainwater flows from damaging roads, surrounding properties, and sensitive watershed features. Infiltration of water and tree retention encouraged. ➤ All public areas to be landscaped in a complementary way including entrances, building peripheries, parking and pedestrian areas. ➤ The appearance of large buildings should be enhanced using plants, shrubs, and trees where necessary. Emphasis on native landscape materials and drought resistant plants. ➤ Sites should not be dominated by areas of bark mulch, gravel or other similar materials. ➤ Industrial parcels with a potential for noise, smell or sight impacts should have a minimum landscape buffer width of 20m. <p>Comments:</p> <ul style="list-style-type: none"> ➤ Landscape architect not involved, however trees and native plants to be retained in SPEA and additional plantings proposed by QEP and included on Concept Planting Plan. Estimated budget of additional planting, invasive removal, and on-going maintenance amounts to roughly \$34,000. A landscape bond will be required as prior to issuance of the DP. ➤ Rain water to be dealt with through ground infiltration (rain gardens/ rock pits) and catch basins with oil/water separators to intercept water from pavement before going into rock pits and wetland area. Cleaner water from roofs will drain into wetland. Water will not discharge into creek, rather into the wetland (which has a natural rain water management function). ➤ Additional plantings recommended to enhance SPEA also enhance the site as planting to be located around entrances and buildings. ➤ Limited opportunity for plantings to enhance the large “domes”, rather the SPEA’s themselves are being enhanced and are a feature of the site. The SPEA’s will be protected and delineated by a low, green, chain link fence. ➤ The site will not be dominated by areas of bark mulch or gravel as the riparian areas are being protected and are a major feature of the site. ➤ With regards to 20m landscape buffer in the above guidelines, no concern over noise or smell. However, in terms of sight, the mega dome structures are not visually appealing. The larger dome is 20m from the property line and meets the guidelines. The smaller dome is 9m from the rear property line and while the guidelines suggest being further setback from the property line, the proposed dome will be approximately 70m to 100m away from any building north of the site. Therefore, the intent of this buffer is being met. <p>Application considered to meet the intent of the DPA guidelines.</p>

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<p>24.4.8 A Outdoor Lighting Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Illumination plan to be submitted to deal with how building entrances parking areas and pedestrians areas will be lit. ➤ Lighting to reflect the mass, character, shape and form of buildings and uses. ➤ Low impact lighting to provide safety and security as well as reduce glare and spillage onto adjacent areas. ➤ Fluorescent light of building exteriors prohibited. ➤ Lighting should be directed below the horizontal plan towards the ground. <p>Comments:</p> <ul style="list-style-type: none"> ➤ Illumination details provided on site plan. 4 tall lamp standards are shown on the plan and their illumination radius. ➤ Lamp standard to be as shown in the image on the site plan. <p>Application considered to meet the intent of the DPA guidelines.</p>
<p>24.4.9 A Parking, Vehicular Access, and Pedestrian Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Parking areas should be dust free and should provide oil/water separator. ➤ Convenient, safe, attractive parking, without unnecessary duplication of access points. ➤ Access and egress to major network road should be provided from local road in safe locations. ➤ Parking lots should be heavily landscaped with trees. ➤ Parking lot design will incorporate designated pedestrian walkways for people to exit vehicles an access buildings. All pedestrian areas should be smooth and non-slip for mobility <p>Comments:</p> <ul style="list-style-type: none"> ➤ Site to be paved (and oil/water separators installed), providing a smooth surface for pedestrian safety. ➤ All vehicle access will be from Ark Road, there will be no direct access from Shawnigan Lake Road. ➤ The TimberWest right-of-way along the eastern property line will be fenced off and not utilized by the new development. ➤ Lots of natural vegetation to be retained on site, installation of new rain gardens and some new plantings near entrances. <p>Application considered to meet the intent of the DPA guidelines.</p>
<p>24.4.10 A Riparian Protection (Freshwater) Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ A Riparian Areas Regulation Report is required from a Qualified Environmental Professional (QEP). ➤ Mitigation and restoration measures may be required. ➤ Road crossings must have low impact design. ➤ Sewage tanks and fields should be 30 m from high water mark of a watercourse. <p>Comments:</p> <ul style="list-style-type: none"> ➤ The RAR report provided contains various recommendations for mitigation and restoration of riparian areas. ➤ A culvert was previously installed for crossing over the riparian area. Applicant has been in close communication with federal and provincial ministries regarding this site.

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	<ul style="list-style-type: none"> ➤ The engineer for this development provided a thorough explanation of the proposed septic disposal design and commented that 7.5m is the setback for health regulations and that their system will be further than 7.5m from the road side ditch. Also a sand mound will provide better treatment than a conventional system and the system will be inspected and certified. <p>Application considered to meet the intent of the DPA guidelines.</p>
<p>24.4.13 A Sign Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Use of thematic, painted, hand-crafted wood fascia signs preferred over other types of signs, shall be of natural materials and shall complement the architectural design of buildings/structures on site. ➤ Appropriate scale, for pedestrians, not automobile traffic. ➤ All forms of illuminated signs, roof mounted signs and multiple free standing signs are discouraged. ➤ No more than one free standing sign is permitted per parcel, not to exceed 5 m in height. ➤ Signs with temporary or changeable lettering are not supported. ➤ Third party signs are not permitted. <p>Comments:</p> <ul style="list-style-type: none"> ➤ One free standing sign proposed at corner of the site, visible from Shawnigan Lake Road, will not be higher than 5m. ➤ 1.8m x 0.9m sandblasted wood sign and posts, with direct lighting. ➤ This area along Ark Road and Shawnigan Lake Road is not a pedestrian oriented area and the size of the proposed sign seems to be an appropriate scale for identifying the business on the site. <p>Application considered to meet the intent of the DPA guidelines.</p>
<p>24.4.15 A Wildfire Interface Guidelines</p>	<p>Guidelines:</p> <ul style="list-style-type: none"> ➤ Roof coverings will conform to Class A, B or C fire resistance as defined in BC Building Code. And any material for exterior wall finishes should be fire resistant per BC Building Code. ➤ All eaves, attic and under floor openings should be screened with a minimum 3 mm non-combustible, corrosion resistant wire mesh. ➤ All windows should be double-paned or tempered. ➤ Any coniferous evergreen trees within 10 m of building or structure should have limbs pruned, spaced at least 3 m between crowns, and be at least 3 m from building/structure. ➤ Provision of Fire Smart Measures should be implemented for construction including appropriate firefighting equipment on site. <p>Comments:</p> <ul style="list-style-type: none"> ➤ Not currently within a fire service area. ➤ Showroom building has non-combustible metal siding and roofing. ➤ Dome structures do not conform to these guidelines as fabric covering not fire resistant material. ➤ DP conditions can be added to the permit regarding wire mesh screens and double paned windows. ➤ Some coniferous trees onsite, however those within riparian areas are protected. <p>Dome structures not in keeping with the guidelines, however the showroom building considered to meet the intent of the DPA guidelines.</p>

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<p>24.4.16A Industrial/Business Park Guidelines</p>	<p>Guidelines: <u>Environmental Protection</u></p> <ul style="list-style-type: none">➤ Total site imperviousness figures will be provided and measures to reduce the effective impervious areas will be provided.➤ Must consider the industrial processes that will occur and potential contaminants, if applicable a report from a qualified professional is required.➤ Parking areas with machinery and other equipment parked or installed on it should be surfaced in a way that intercepts potential contaminants and separates them from rainwater. <p><u>Building Form, Character and Signs</u></p> <ul style="list-style-type: none">➤ Building façade articulation is encouraged. Entrances should be illuminated. Large expanses of building façade without windows are discouraged, but where necessary should be oriented to side and rear yards or if facing the front yard, should be given an architectural treatment to achieve visual interest.➤ Buildings and structures which blend into the landscape by virtue of careful colour palette control and appropriate form, materials and scale are preferred.➤ Finishing materials should be appropriate to local climatic conditions and durable, acceptable exterior materials include: wood, brick, stone, stucco, concrete slab or block, and metal, fiberglass, cementitious and composite panels.➤ Using landscape strategies to reduce the need for heating and cooling.➤ Signage for individual industrial development sites should be either integrated with the building architecture or freestanding within the front yard landscape. <p><u>Landscape and Parking Area Standards</u></p> <ul style="list-style-type: none">➤ Professional Landscape plan should be submitted with variety of plantings consisting of appropriate species for the climate.➤ Fences should be constructed of wood, stone, brick, black coloured chain-link, ornamental metal work, or suitable alternative or similar appearance.➤ Garbage, recycling, utility boxes, fans, vents and outdoor storage areas should be screened from viewers in the adjacent public realm.➤ End of trip facilities for cyclists, including bike lockers or racks should be provided.
	<p>Comments: <u>Environmental Protection:</u></p> <ul style="list-style-type: none">➤ The site plan indicates that 58% of the site is impervious surfaces and 41% of the site is landscaped area, including riparian areas. Building footprints make up 21% of the coverage, which is well under the building coverage within the zone.➤ Contaminants report not requested as the use is for storage of “dry” roofing materials.➤ As noted, oil/water separators will be installed for all parking areas. <p><u>Building Form, Character and Signs:</u></p> <ul style="list-style-type: none">➤ Showroom building articulation adequate for proposed development. Metal finishing materials good for extreme fire hazard area, colour schemes provides interest, and cedar posts provide natural element.➤ Large expansive dome structures have no architectural interest, but also no opportunity to modify, functional purpose only. Domes have been recessed to the rear of the site as much as possible.

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	<ul style="list-style-type: none">➤ Free standing sign proposed at corner of Ark Road and Shawnigan Lake Road. <p><u><i>Landscape and Parking Area Standards:</i></u></p> <ul style="list-style-type: none">➤ Black chain-link fence proposed for perimeter of site. Green chain link fence to delineate protected riparian areas.➤ Garbage and recycling located at rear of larger dome generally away from public areas.➤ No bike facilities proposed, however this is not an 'industrial park' and this is not a location where bike facilities would be expected by customers or staff, as it is a relatively isolated location. <p>Application considered to meet the intent of the DPA guidelines, with the exception of the dome structures.</p>
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COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT WITH VARIANCE

FILE NO: 04-B-17DP-VAR

DATE: _____

REGISTERED PROPERTY OWNER(S):

GOSPORT INVESTMENTS LTD.

1. This Development Permit with Variance is issued and is subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit with Variance applies to and only to those lands within the Regional District described below:

***LOT 4, DISTRICT LOT 132, MALAHAT DISTRICT, PLAN VIP79211
(PID: 026-350-041)***

3. Authorization is hereby given for **the development of the subject property as a roofing and siding supply business** in accordance with the following requirements:
 - Development shall occur in accordance with the attached Schedules;
 - Section 11.4 (b) (2) of Zoning Bylaw No.985 is varied from 10 metres to 12.95 metres;
 - Section 11.4 (b) (5) of Zoning Bylaw No.985 is varied to remove the screening requirements along all property boundaries;
 - Chain link perimeter fencing to be black in colour.
 - Chain link SPEA fencing to be green in colour.
 - Vehicle access directly from Ark Road only.
 - Double paned or tempered windows required to meet Wildfire Interface Guidelines.
 - All eaves, attic and under floor openings to be screened with a minimum 3mm non-combustible , corrosion resistant wire mesh to meet Wildfire Interface Guidelines.
 - **Prior to ANY works on the site**, including tree removal, grubbing, clearing, or the storage of ANY construction related materials, **temporary orange silt fencing demarcating and protecting the SPEA MUST be installed**. This silt fencing must be maintained in place during construction until the permanent SPEA fencing is installed.

- **ALL QEP RECOMMENDATIONS TO PROTECT AND MAINTAIN THE SPEA ARE TO BE STRICTLY FOLLOWED** (see information starting on page 39 of the attached RAR report).
 - Post construction, a report will be prepared to document how well the construction complied with the SPEA protection measures and recommend any remedial measures that may be necessary. The Land Use Services Department will require the submission of a post construction report prior to building occupancy being issued.
4. The following plans and specifications are attached to and form a part of this permit.

- Schedule A – Location Plan**
- Schedule B – Site Plan**
- Schedule C – Building Elevations**
- Schedule D – Concept Planting Plan**
- Schedule E – Rain Water Management Plan**
- Schedule F – Riparian Areas Regulations Report**
- Schedule G – Invasive Species Management Plan**

5. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.
6. **This Permit is not a Building Permit.** No certificate of final completion shall be issued until all items of this Development Permit with Variance have been complied with to the satisfaction of the Land Use Services Department.

AUTHORIZING RESOLUTION XXXX PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE XX DAY OF MONTH, 2018.

Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

I HEREBY CERTIFY that I have read the terms of the Development Permit with Variance contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with PATRICK LUCEY (agent) on behalf of GOSPORT INVESTMENTS LTD (owners) other than those contained in this Permit.

Owner/Agent (signature)

Witness (signature)

Print Name

Print Name

Date

Date



STAFF REPORT TO COMMITTEE

DATE OF REPORT March 12, 2018
MEETING TYPE & DATE Electoral Area Services Committee Meeting of March 21, 2018
FROM: Development Services Division
Land Use Services Department
SUBJECT: Development Permit with Variance Application No. 03-C-17DP/VAR
(1480 Heigh Street)
FILE: 03-C-17DP/VAR

PURPOSE/INTRODUCTION

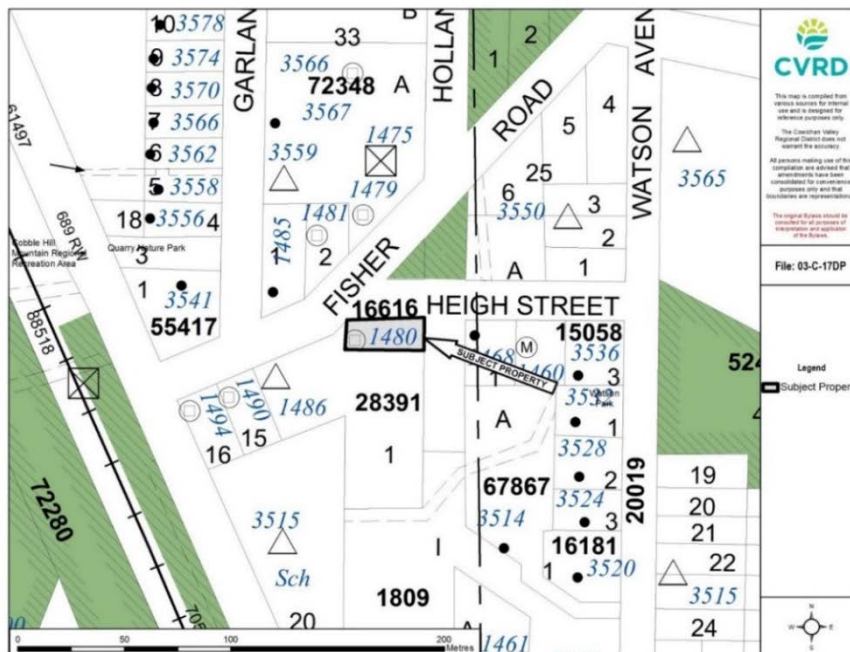
The purpose of this report is to set out a Development Permit Application with Variance for a roof extension and a new front canopy at 1480 Heigh Street. A Development Permit is required pursuant to the Cobble Hill Village Development Permit Area (OCP Bylaw No. 3510). Two variances to the South Cowichan Zoning Bylaw No. 3520 are requested and relate to the west parcel line setback and a canopy projection into the front setback.

RECOMMENDED RESOLUTION

That it be recommended to the Board:

1. That Zoning Bylaw No. 3520 Section 12.7.4 (Setbacks) be varied for the west parcel line from 6 m to 0.3 m; and that Section 5.3.1.c.ii (Setback Exceptions) be varied to allow a canopy projection from 1 m to 1.91 m;
2. That Development Permit with Variance Application No. 03-C-17DP/VAR (1480 Heigh Street) be approved; and
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No.3510.

LOCATION MAP



BACKGROUND

<u>Location:</u>	1480 Heigh Street, Cobble Hill
<u>Legal Description:</u>	Lot 1, Section 12, Range 5, Shawnigan Lake District, Plan 16616 (PID: 004-001-907)
<u>Owner:</u>	Keith Barry
<u>Applicant:</u>	Ian Tait
<u>Size of Parcel:</u>	0.05 ha (0.13 ac)
<u>Existing Use of Property:</u>	Automobile Service Shop
<u>Use of Surrounding Properties:</u>	<u>North:</u> Park & commercial buildings (across the street) <u>East:</u> Treed unbuilt road right-of-way <u>South:</u> Treed area of vet clinic and office <u>West:</u> Parking area of vet clinic and office
<u>Road Access:</u>	Heigh Street
<u>Existing Water:</u>	Community System - Cobble Hill Water System
<u>Existing Sewage Disposal:</u>	Private – Septic system
<u>Existing Drainage:</u>	Private – Responsibility of owner
<u>Environmentally Sensitive Areas:</u>	None identified
<u>Archaeological Site:</u>	None identified
<u>Official Community Plan Designation:</u>	Village Commercial (C)
<u>Zoning:</u>	Village Service Commercial (C-7)

Site and Surrounding Properties

The subject property is approximately 0.05 hectares (0.13 acres) and is located on Heigh Street in Cobble Hill. The site is occupied by 'Ian Tait Mechanical Service'. Although the site is designated Village Commercial (C), it is zoned Village Service Commercial (C-7) in order to recognize the existing automobile service use. Most of the surrounding properties are zoned Village Commercial (C-5), with the exception of the Ministry of Transportation and Infrastructure road right-of-way land that abuts the subject property to the east, which is unbuilt and currently treed. Park land is also located across the street from the property. The one lot abutting the subject property is an irregular-shaped parcel containing a parking lot, a large treed area, and a commercial building that is occupied by a veterinary clinic and accountant office.

- **See Attachment A – Site Photos**

APPLICATION SUMMARY

There are two parts to the application: a roof extension and the replacement of the front canopy.

Roof Extension

The applicant proposes to extend the roof of the building towards the west parcel boundary to allow for a covered outdoor service bay. The existing building was recently renovated and the roof extension is proposed to match the new material and colour scheme, which includes red and white fascia and new red steel posts. A concrete slab will also be poured for the outdoor service bay. The proposed roof overhang will be setback 0.3 m (1 ft.) from the west parcel boundary, which requires a setback variance.

Front Canopy

The building currently has a canopy off the front façade of the building measuring 4.9 m x 5.2 m (16 ft. x 17 ft.). The applicant proposes to replace this canopy with a longer one of the same depth. The proposed canopy is 4.9 m x 12.7 m (16 ft. x 41.6 ft.), which covers the majority of the front building façade, including the two service bay doors and office door. The canopy will match the rest of the building with red and white fascia trim details and red steel posts. Canopies are permitted to project 1 m into the required building setback. Since the proposed canopy will project 1.91 m into the setback, a variance is required.

- **See Attachment B - Site Plan**
- **See Attachment C - Elevations**

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

Advisory Planning Commission (APC)

The Electoral Area “C” Advisory Planning Commission (APC) did not review the application and is forwarded directly to the EASC at the request of the Area C Director, M.Clement.

Surrounding Property Owner Notification and Response:

Letters to adjacent property owners were mailed or hand delivered, and a development application sign posted along the subject property’s road frontage, in accordance with Development Application and Procedures Bylaw No. 3275. The purpose was to notify the surrounding community of the application for variance. To date, 2 letters from the public have been received regarding the application.

- **See Attachment D – Public Submissions**

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

Official Community Plan (OCP)

The Cobble Hill Village Plan (OCP Bylaw No. 3510) designates the subject property as “Village Commercial”. This designation applies to the core retail commercial area of the village. Policy 6.1.6 specifically acknowledges the subject property as being designated Village Commercial, yet zoned for service commercial to accommodate the existing service station. The subject property also falls within the Cobble Hill Village Development Permit Area (DPA) of the OCP.

Cobble Hill Village Development Permit Area (DPA):

As the subject property is within the Cobble Hill Village DPA, a Development Permit is required prior to any construction of commercial buildings and structures. The DPA Guidelines considered with this application are listed below. Full details can be found in the attached guidelines.

- **See Attachment E – DPA Guidelines**

10.4.1A – General Guidelines

- These guidelines are not considered to apply to the proposed development as they include issues around invasive plants and geotechnical hazards not relevant to this application.

10.4.3A – Building Design Guidelines

- The proposed changes to the building are limited to the roof extension and front canopy.
- The guidelines mention garbage/recycling storage. Currently, the bins for the mechanical shop are located on the adjacent property, which the neighbour allows. However, as the location is essentially on the street edge, the bins will be relocated towards the rear of the subject property, which is shown on the site plan. The applicant will roll the bins out on pick up days.
- The proposal is considered to meet the intent of the guidelines.

10.4.5A – Landscaping, Rainwater Management and Environmental Protection Guidelines

- A professional landscape plan was provided and includes several site improvements meant to bring the site more in-line with the guidelines.
- Improvements include:
 - Garden stone curb along a portion of the site frontage, helping to define the existing property lines.
 - Planting within new curb garden bed to include 3 dogwood trees and low shrubs, helps provide separation and some screening to parking area.
 - Removal of existing maple tree along eastern property line and installation of a new boulder retaining wall.
 - Defined and organized parking area for temporary storage/parking of vehicles.
 - Removal of old patchy asphalt surface.
 - New concrete under proposed roof and canopy and extending to the front property line, also helps define the edge of the front property.
 - New gravel in parking area and around existing telephone pole.
 - Oil/water separator drain to tie into existing down spouts.
- **See Attachment F – Landscape Plan**

10.4.6A – Outdoor Lighting Guidelines

- New lighting under the proposed canopy and roof will be installed, but is required more for operational purposes to light the areas underneath the structures and will not create any light pollution.
- Existing lighting shines on the business sign, which is located on the side of the building.
- The proposal is considered to meet the intent of the guidelines.

10.4.7A – Parking, Vehicular Access, and Pedestrian Guidelines

- While parking tends to dominate the site currently, the proposed site improvements will help to address the site organization and provide for a more orderly arrangement of vehicles, as well as provide some screening of the area from the street.
- As mentioned above, an oil/water separator will be installed as encouraged in the guidelines.
- A total of 9 vehicles can be accommodated in the main parking area.
- The proposal is considered to meet the intent of the guidelines.

Zoning Bylaw

South Cowichan Zoning Bylaw No. 3520 provides the zoning and land use regulations for Electoral Area C – Cobble Hill. The subject property is zoned Village Service Commercial (C-7), which contains the specific regulations that apply to the property, such as permitted uses, impervious surfaces and parcel coverage, height, and setbacks. The proposed development will increase the parcel coverage on the property from 21.5% to 34%, which is within the permitted 50% limit of the C-7 zone. The zone requires a minimum building setback of 6 m from all property lines. The rear (south) property line was previously varied from 6 m to 0.2 m, which had also been an existing legal non-conforming situation. For the current DP application, in order to construct the roof extension the side parcel line requires a setback variance, as the proposed roof would be 0.3 m (1 ft) from the west parcel line.

Within Section 5.3 (Setback Exceptions) there are regulations that allow for some parts of buildings and structures to project into the required setbacks, including canopies. A canopy is allowed to project 1 m into a front or side setback. The proposed canopy will project beyond 1 m, therefore a variance is required.

- **See Attachment G – Bylaw Regulations**

Proposed Variances

As noted above, variances are needed for the proposed roof extension and new canopy. The following variances to Zoning Bylaw No. 3520 are requested:

Section 12.7.4 - Setbacks

Roof Extension – to vary the minimum setback for the west parcel line from 6 m to 0.3 m

Section 5.3.1.c.ii – Setback Exceptions

Front Canopy – to vary the projection allowance for the front parcel line from 1 m to 1.91 m

The applicant has submitted a rationale for the proposed variances.

- **See Attachment H – Applicant Rationale**

PLANNING ANALYSIS

The Cobble Hill Village Development Permit Area contains a wide variety of guidelines to help provide for good site planning and building design, which are applied to all new applications. This can be challenging for a site like an existing mechanic shop which is not typically a desirable use in a village core where the focus is more on small scale, pedestrian oriented, commercial uses and public spaces. However, the mechanic shop has been part of the community for decades and the use is fully entrenched within the existing zoning which allows for a variety of vehicle oriented uses. At the encouragement of staff, the applicant provided a landscape plan that attempts to deal with some of the DPA guidelines around landscaping, parking, and environment. While the site will continue to be used as a mechanic shop, the applicant has agreed to various site improvements that help to meet the basic intent of the guidelines.

The main building was recently renovated by raising the roof of the shop to increase the height of the building. This subsequent DP essentially addresses the remainder of the building (roof extension and front canopy), and as mentioned above, addresses other applicable guidelines by including several site improvements.

The proposed roof extension will allow for an outdoor vehicle bay on the east side of the building. The space is already utilized by the business for vehicle storage and for triage/servicing vehicles (weather permitting). Formalizing the space and providing a sheltered vehicle bay will accommodate more customers, which is positive from a community economic perspective. Any increase in noise disturbance due to outdoor activity should be minimal as the mechanic shop has been in existence in the community for many years and typically has their garage doors open, and already uses outdoor areas for various triage/servicing of vehicles. All of the commercial buildings within close proximity to the shop are at least 30 m away, and the neighbouring vet/office building also benefits from having a treed buffer on their site. The nearest residential dwelling is located over 50 m from the proposed outdoor service bay. The proposed roof extension will match the existing building and will be a relatively seamless transition with the existing roof.

The new canopy along the front of the building will replace an existing canopy that is smaller and aging. The proposed canopy is longer and will provide for cover over the existing vehicle bay doorways. The underside of the canopy will be less visible as the new canopy will be attached to the building in a less angled fashion than the current canopy. This will ensure light projects downward and will not interfere with the new look of the raised roof. The canopy will also have a fascia trim detailing to match the roof and will tie-in well with the existing building.

The site improvements and landscaping will help to provide more site organization and definition along the property frontage, improving the curb appeal of the site. Currently, vehicles are parked all over and there are no visual clues as to where the property edge lies with respect to the road right-of-way. The new curb and planting of trees and shrubs will provide for partial screening and will indicate the edge of the property along the western corner/frontage. The proposed trees are dogwood trees which should have a positive impact on the visual aesthetic of the site.

The new concrete and gravel will also help delineate the actual property edge and provide a fresh surface compared to the patchy failing asphalt currently in some areas of the site frontage. The telephone pole out front of this site is actually on the subject property and creates an additional challenge for organizing and installing landscaping or edge treatments in the eastern corner of the lot frontage. The proposed plan includes adding new gravel around the base of the pole.

The boulder retaining wall to be installed along the western property line will help to extend a level area needed for parking, which is currently an underutilized space. With the curb and trees to be planted along the frontage acting like a barrier, the parking area will be more defined and should result in cars being parked in a more orderly fashion. Having a more defined edge will help people to park cars on the road in a more organized way as well. A new oil/water separator will serve the parking area to the west and the service area to the east for cleaner rain water run-off from the site. Currently, there is no oil/water separator on the subject property.

Currently, the applicant has an arrangement with the neighbour to locate their garbage/recycle bin on the adjacent property, which is in a location abutting the street edge and very noticeable to passersby. However, the applicant has agreed to relocate the bin onto the subject property at the rear of the proposed outdoor service bay, which is a more appropriate location away from pedestrians and cyclists, and less visible from the street.

The building and site improvements help to create a more functional, orderly, and “fresh” appearance for the existing mechanic shop. While further improvements could be undertaken, a balance was needed between the scale of the proposed project and the extent to which site improvements were necessary and impactful. Together the proposed roof extension, new canopy and the site improvements and landscaping are considered to meet the intent of the DPA guidelines. In addition, the variances are supported on the basis of the existing mechanic shop being part of the community for several decades, outdoor service work already occurring at the site, and the closest buildings being 30-50 metres away from the new outdoor bay. Any noise due to the outdoor service bay should be minimal when compared to the existing situation. The existing zoning allows for the mechanic shop and the ability to further serve local residents in the area should contribute to the economic vibrancy of the community. Once this renovation is complete it not likely that further expansion of the mechanic shop could be achieved as the lot seems to have reached its threshold for accommodating the use on the site. Lastly, while the front canopy will project into the front setback, a separation of 4 metres will be maintained between the edge of the canopy and the property line.

A copy of the draft Development Permit (DP) is attached.

- **See Attachment I – Draft DP with Variances**

Option 1 is recommended.

OPTIONS

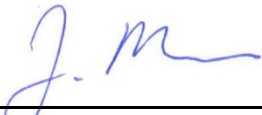
Option 1:

That it be recommended to the Board:

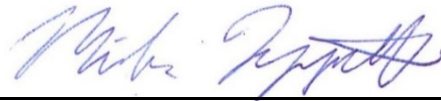
1. That Zoning Bylaw No. 3520 Section 12.7.4 (Setbacks) be varied for the west parcel line from 6 m to 0.3 m; and that Section 5.3.1.c.ii (Setback Exceptions) be varied to allow a canopy projection from 1 m to 1.91 m.;
2. That Development Permit with Variance Application No. 03-C-17DP/VAR (1480 Heigh Street) be approved; and
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No.3510.

Option 2:

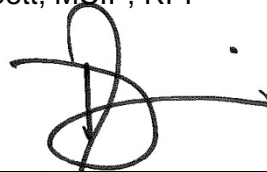
That it be recommended to the Board that Development Permit No. 03-C-17DP/VAR (1480 Heigh Street) be denied.



Jon Munn, MCIP, RPP
Planner II



Mike Tippett, MCIP, RPP
Manager



Ross Blackwell, MCIP, RPP, A.Ag.
General Manager

ATTACHMENTS:

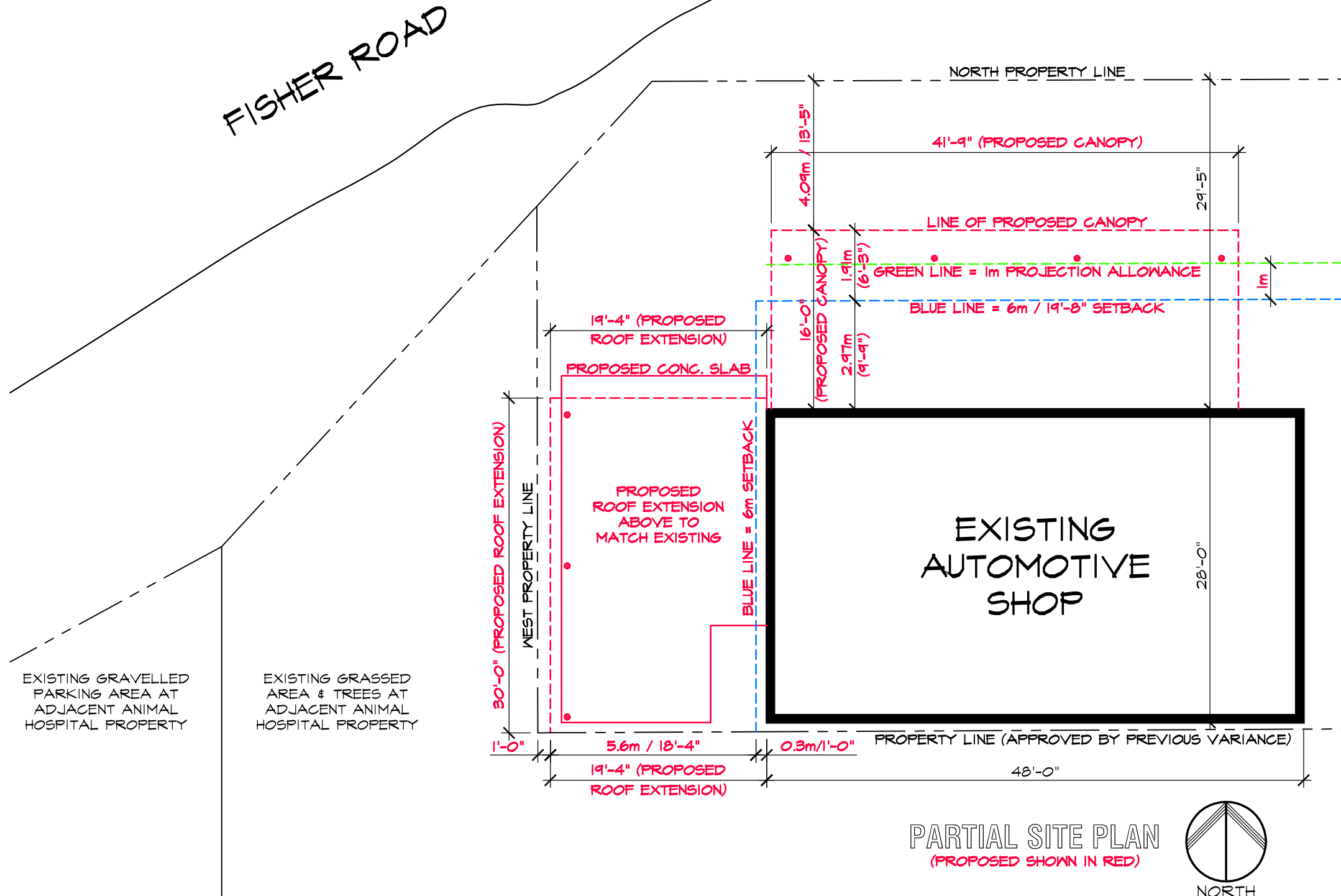
- Attachment A – Site Photos
- Attachment B – Site Plan
- Attachment C – Elevations
- Attachment D – Public Submissions
- Attachment E – DPA Guidelines
- Attachment F – Landscape Plan
- Attachment G – Bylaw Regulations
- Attachment H – Applicant Rationale
- Attachment I – Draft DP with Variances

ATTACHMENT A





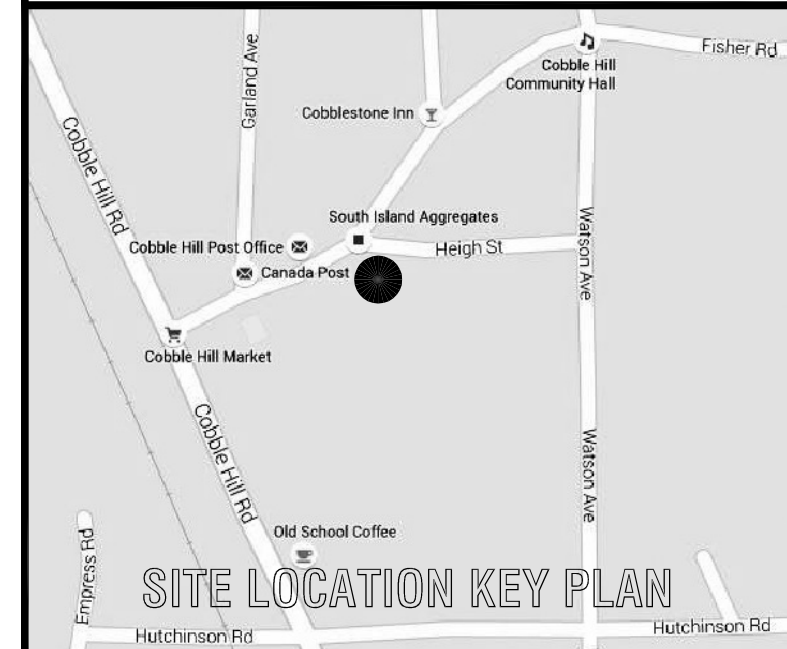
ATTACHMENT B



EXTERIOR COLOR SCHEME:

(COLOR SWATCHES ARE APPROXIMATE: SEE PICTURES)

- MASONRY WALLS: FOREST GREEN
- PLYWOOD PONY WALLS: OFF-WHITE
- 1X6 TRIM: RED
- VINYL SOFFITS: CREAM
- METAL FLASHING: RED
- METAL FASCIAS: OFF-WHITE
- STEEL COLUMNS: RED
- EXTERIOR WOOD BEAMS: OFF-WHITE



SITE COVERAGE:

SITE AREA: 6,913 SQ.FT. / 642 m²
 ALLOWABLE SITE COVERAGE: 50%
 EXISTING SITE COVERAGE: 21.4%
 PROPOSED SITE COVERAGE: 33.9%

PROPOSED VARIANCES:

NORTH CANOPY: TO VARY THE PROJECTION ALLOWANCE FROM 1m / 3'-3" TO 1.91m / 6'-3"
WEST ROOF EXTENSION: TO VARY THE MINIMUM SETBACK FROM 6m / 19'-8" TO 0.3m / 1'-0"

PROPOSED CANOPIES AT EXISTING AUTOMOTIVE SHOP

FOR IAN TAIT MECHANICAL SERVICES, 1480 HEIGH STREET, COBBLE HILL, BC

ATTACHMENT C



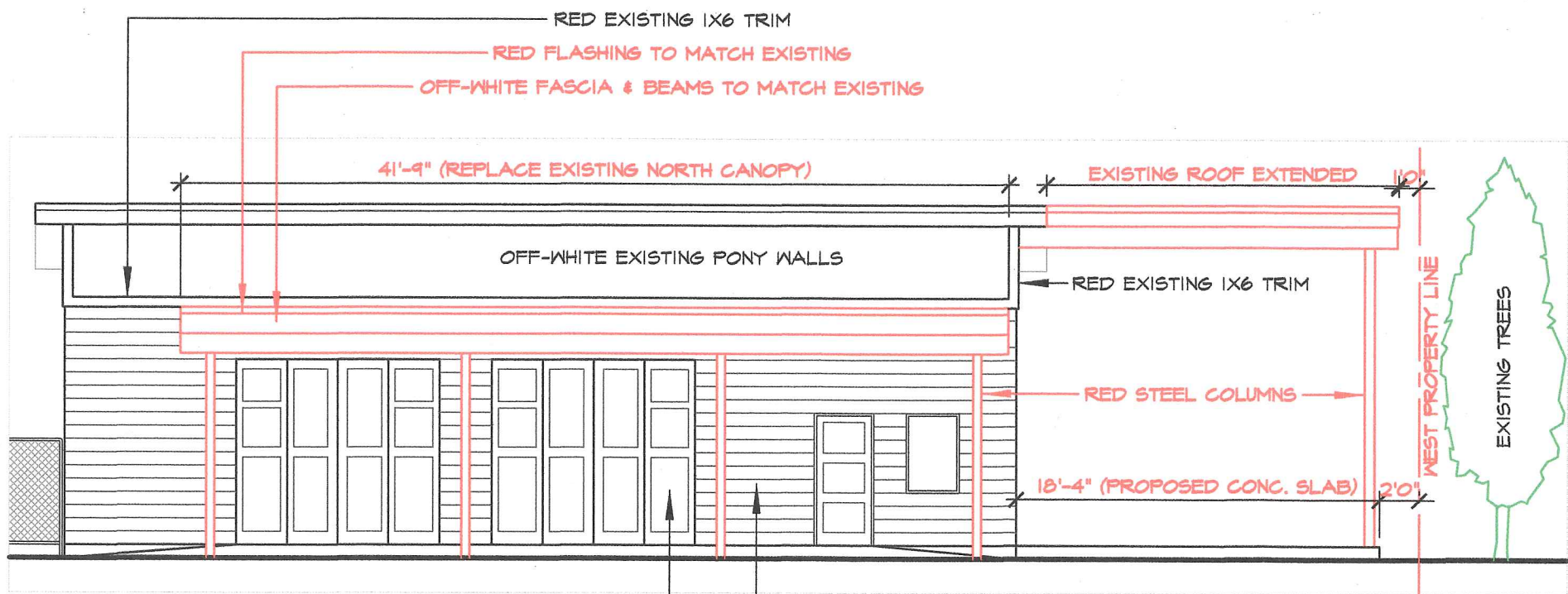
PRE-2016 RENOVATION
(LOOKING SOUTHWEST)



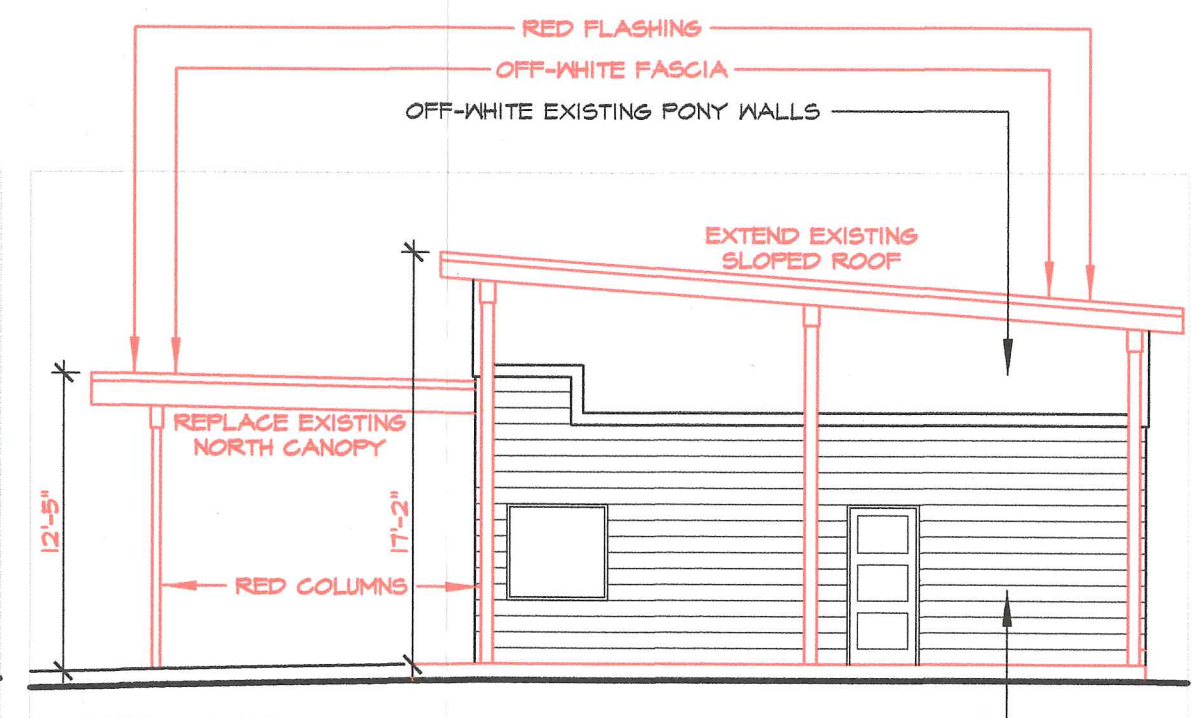
DURING 2016 RENOVATION
(LOOKING SOUTHWEST)



COMPLETED 2016 RENOVATION
(LOOKING SOUTH, SHOWING PROPOSED WEST BAY AREA)



PROPOSED NORTH ELEVATION
(PROPOSED MATERIALS SHOWN IN RED)



PROPOSED WEST ELEVATION
(PROPOSED MATERIALS SHOWN IN RED)

FOREST GREEN EXISTING MASONRY WALLS
FOREST GREEN EXISTING DOORS, RED TRIM

FOREST GREEN EXISTING MASONRY WALLS

PROPOSED CANOPIES AT EXISTING AUTOMOTIVE SHOP

FOR IAN TAIT MECHANICAL SERVICES, 1480 HEIGH STREET, COBBLE HILL, BC

ATTACHMENT D



Shawnigan Cobble Hill Farmers Institute & Agricultural Society
PO Box 148
Cobble Hill, BC V0R 1L0

April 27, 2017

Cowichan Valley Regional District
175 Ingram Street
Duncan, B. C.
V9L 1N8

Via Email to: ds@cvrld.bc.ca

File No. 03-C-17DP-VAR

Re: Lot 1, Section 12, Range 5, Shawnigan District, Plan 16616 (PID: 004-001-907).

Please be advised the Board of Directors of the Shawnigan Cobble Hill Farmers Institute and Agricultural Society have no objection to the above noted Development Permit with Variance application being issued for 1480 Heigh Street.

Yours truly,

Gerry Giles, Secretary

cc SCHFIAS Board

May 3, 2017

TO: CVRD, File 03-C-17DP-VAR,
175 Ingram Street,
Duncan, B.C.
V9L 1N8

FROM: David Darvill,
P.O. Box 236,
Cobble Hill, B.C.,
VOR ILO



MAY - 4 2017

Re: 1468 Heigh Street

Dear Ms Herrera:

Thank you for your letter of April 20, 2017, inviting my comments about a Development with Variance application concerning 1480 Heigh Street (site of Ian Tait's automobile repair shop). As you can see from your enclosed "Subject Property Map", my residential property at 1468 Heigh Street (Lot 1 of Plan 15058) lies adjacently East of an unused right-of-way, being the southerly extension of Holland Road, which terminates some 90 meters south of my northerly boundary (Heigh St.). The northerly portion of this unused right-of-way lies exactly between my property and Mr. Tait's (a distance of some 75 ft.).

At present, my property is screened from Mr. Tait's automobile repair shop by a thick and tall group of trees, which has been growing for many years on the northerly portion of the unused right-of-way. These trees afford my residence some protection from the noise of activities associated with repair and parking of many vehicles.

During past communication with the CVRD about the use of the Holland Road right-of-way, I was informed that it would have to remain a right-of-way in order to afford access to other lots South of my residential lot. Thus, when the right-of-way is inevitably developed, the present screen of trees will have to be cut down and my residence (and others) will have become completely open to activities from the adjacent industrial area, including the automobile repair shop. Therefore, without firm assurance that the right-of-way will not be developed, I am unable to support Mr. Tait's present application for variance as well as for any further variance or development at 1480 Heigh Street.

. 2

It is obvious that any improvements to the repair shop will result in an expansion of vehicle business, thus further increasing the necessity for retaining a protective screen. While I greatly sympathize with Mr. Tait's desire to improve the situation of his repair business, I must insist on the importance of protecting my own, and other residential properties, from further industrial encroachment.

Recently, I have invested a considerable amount of money in improvements to my property, including a new septic system and a new roof. I have done so in the expectation that quiet enjoyment of this residence will not be compromised by adjacent industrial activity.

Thank you. I would appreciate receiving a written reply shortly.

Yours sincerely,


David Darvill



10.4 COBBLE HILL VILLAGE DEVELOPMENT PERMIT AREA: GUIDELINES AND EXEMPTIONS

Prior to commencing any development, including subdivision, construction or land clearing, on lands within the Cobble Hill Village Development Permit Area, the owner will submit information that demonstrates how the proposed development meets the guidelines in the following sections.

10.4.1A General Guidelines

1. In all cases where a development permit is required, the eradication of invasive weeds, such as English Ivy, Scotch Broom, Gorse, Himalayan Blackberry, Morning Glory and Purple Loosestrife, and other non-native invasive weeds listed by the Coastal Invasive Plant Committee and the BC Landscape and Nursery Association, will be a requirement of the development permit.
2. In all cases where a development permit is required, the best management practices within the Ministry of Environment's *Develop with Care: Environmental Guidelines for Urban and Rural Land Development in British Columbia* will be encouraged.
3. Where the Regional District considers that construction would be on land that is subject to or is likely to be subject to flooding, mud flows, debris flows, debris torrent, erosion, landslide, rock falls, subsidence or avalanche, the applicant may be required to provide a report certified by a professional engineer with experience in geo-technical engineering indicating that the development will not result in property damage or the loss of life on the site or in the surrounding area.

10.4.1B General Guideline Exemptions

The General Guidelines do not apply to development that does not require a develop permit under Sections 10.4.2 through 10.4.11.

10.4.3 A Building Design Guidelines

The Building Design Guidelines apply to commercial, industrial, mixed use and multiple family residential development and their accessory buildings and structures.



1. Commercial, industrial, mixed use and multiple family residential buildings should demonstrate a range of architectural features and designs that reflect the unique heritage of Cobble Hill Village. These features may include bay windows; corner accents such as turrets or protruding balconies, gabled rooflines, canopies and overhangs; masonry treatments such as ceramic tile inlays, paving stones, brick patterns; artwork, trellises or arbours.
2. A mix of natural exterior finish materials will be required. Examples are board and battens, clapboard, shingles, shakes, stonework and wood finishes. Buildings will be designed in keeping with the west coast climate with particular attention given to rain related design with overhangs to protect walls and windows.
3. The design of buildings should acknowledge the influence of sunlight during the day and seasonally, and take advantage of natural light as well as acknowledging architectural, design and heritage features.
4. Buildings should be sited and oriented to reduce overshadowing effects on surrounding buildings and open spaces.
5. Buildings should not dominate or overpower a neighbourhood but should be located on parcels in such a way as to minimize impacts upon the privacy of any adjacent residential areas.
6. The visual mass of large buildings should be reduced by creating variation, for example by separation into smaller groups or clusters of units. Monolithic structures and long expanses of blank walls, or bare walls facing a street, will be avoided.
7. Commercial and mixed use buildings should be located as close to the street line as possible to take advantage of the street frontage making the use and the street an active and dynamic place.
8. Shop fronts should have prominent entrances, narrow frontages, and largely transparent store fronts, where internal uses are visible from the street. These shops may, where appropriate, extend onto a terrace or public area.
9. Residential uses located in commercial buildings will only be permitted on the upper floors of the building.



10. Where both residential uses and commercial uses are permitted, entrances should be differentiated architecturally, with residential entrances being less prominent. Side access should primarily be for residential uses above commercial, except where a lot is situated on a corner, where residential access will be encouraged to be from the rear.

11. Multiple family residential and mixed use developments should be sited and oriented for residential units to overlook public streets, parks, walkways and green spaces while ensuring the security and privacy of building residents.



12. Where new construction of industrial, multiple family, mixed use or commercial development could potentially block an attractive view from an existing development, proposed buildings should be oriented and of such a scale that some view around or over the proposed buildings would exist. Further, the portions of buildings visible from roads or neighbouring properties must be designed in a similar manner to the main façade. Building height should not be varied upward from the zoning regulation, where it would interfere with a view or the solar access of a neighbouring building.



13. Green building features should be incorporated into the building design, to minimize environmental impacts and promote sustainability. This should include energy efficiency and water conservation measures.

14. New buildings and the sites they are built on should be arranged in such a way as to prioritize pedestrian activity over motor vehicles.

15. Streetscape design should be a top priority, with the buildings being oriented towards streets rather than inwardly. Architectural and landscaping treatments should enhance the pedestrian experience and enhance community identity.



16. All plans and building designs should promote personal and public safety, consistent with the principles of Crime Prevention through Environmental Design (CPTED), and be accessible for disabled persons.

17. Commercial, mixed use, industrial, and multiple family residential developments must provide space to store and transfer solid waste, recyclables and compostable materials. This space must be screened from neighbouring properties and roads, and animal-proofed.

18. Underground wiring on development sites is very strongly encouraged.

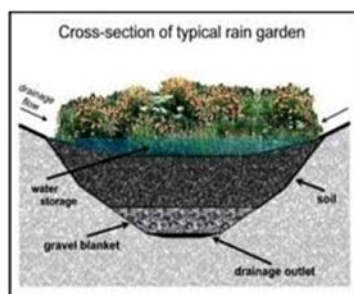
10.4.3 B Building Design Guideline Exemptions

The Building Design Guidelines do not apply to:

- a. Interior renovations to existing buildings;
- b. Minor exterior alterations to existing buildings;
- c. Single family dwellings.

10.4.5A Landscaping, Rainwater Management, and Environmental Protection Guidelines

The Landscaping/Rainwater Management/Environmental Protection Guidelines apply to the subdivision of land, and to commercial, industrial, multiple family and intensive residential development and their accessory uses.



1. Preparation of a landscaping plan by a British Columbia Society of Landscape Architects (BCSLA) or BC Landscape and Nursery Association (BCNTA)-certified landscape architect is preferred. Any landscaping plan submitted with an application for a development permit, whether professionally prepared or not, will be assessed by the CVRD according to BCSLA/BCNTA guidelines.
2. All required landscaping plans should be integrated with a rainwater management plan, which should favour natural solutions to drainage such as rain gardens and bio-swales, and should contain measures to limit impervious surfaces. The rainwater management plan must be prepared by a professional engineer with experience in drainage and submitted with the application for any commercial, industrial, mixed use or multiple family residential development proposal. The aim of the plan is to eliminate the potential for runoff into adjacent areas and encourage replenishment of the aquifer.
3. Runoff from the development must be strictly limited to prevent rainwater flows from damaging roads and surrounding properties. Pervious surfaces should predominate, to encourage infiltration of water. The removal of trees should only be allowed where necessary and where alternate vegetation and water retention measures can be achieved.
4. All public areas should be landscaped, including entrances, building peripheries, parking and pedestrian areas, and open space areas, in a way that is complementary to both the site and surrounding lands.
5. Streetscape design should incorporate treatments that enhance the pedestrian experience and create a sense of local identity. Public streetscape amenities including benches, planters, and bike racks should have a high quality of design.
6. The appearance of large buildings should be enhanced using plants, shrubs and trees, and where necessary, hard landscaping treatments such as terraced retaining walls, planters, gardens, courtyards or fountains, outdoor seating and decorative paving and lighting.
7. Where appropriate, trees should be planted along street frontages to create a mature treed "boulevard" streetscape. Tree species that provide high quality bird habitat and do not



grow to a size that would detract from the architecture are preferred.

8. Developments should incorporate and emphasize native landscape materials, and use drought resistant plants to reduce irrigation needs.
9. The provision of public meeting rooms, open space areas, pedestrian oriented street furniture and, for multiple family developments, the allocation of space for residents to garden and grow edible plants is encouraged, where feasible.
10. Industrial, commercial and multiple family developments visible from the Trans Canada Highway or major network roads should be screened and landscaped, including entrances, building peripheries, parking and pedestrian areas, and open space areas. The landscaping should consist of a mix of coniferous and deciduous vegetation, with low plantings and taller tree species at intervals.
11. Sites should not be dominated by areas of bark mulch, gravel or other similar materials.
12. Walkways or trails must be developed to encourage walking and cycling and to connect the development with surrounding commercial, mixed use, industrial and residential areas.
13. A landscape buffer should be provided on industrial lands that adjoin a parcel within a residential land use designation. For industrial parcels with a potential for noise, smell or sight impacts, the minimum width of the landscape buffer should be 20 metres.

10.4.5 B Landscaping, Rainwater Management, and Environmental Protection Guideline Exemptions

The Landscaping, Rainwater Management, and Environmental Protection Guidelines do not apply to the construction of single family residential dwellings, or to single family residential subdivision where it is located within a drainage control area.

10.4.6 A Outdoor Lighting Guidelines

The Outdoor Lighting Guidelines apply to commercial, industrial, multiple family, and intensive residential development.



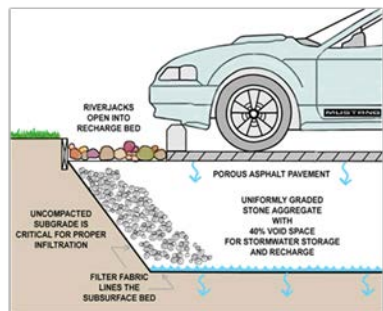
1. An illumination plan will be submitted with the application, indicating how building entrances, parking areas and pedestrian routes on a site will be lit. This will preferably be accomplished with lighting that is designed to illuminate the surface of the site, for pedestrian comfort and safety, without glare spill-over to adjacent parcels or roads.
2. Lighting must reflect the mass, character, shape and form of existing buildings and uses within the village. Attention shall be given to the historic, architectural and design features of the development.
3. All development must use low-impact lighting to provide for safety and security as well as to reduce glare and spillage onto adjacent areas.
4. Fluorescent lighting of building exteriors will be prohibited.
5. To minimize light pollution and impacts on motorists, outdoor lighting should be shielded so that all light is directed below the horizontal plane towards the ground.

10.4.6 B Outdoor Lighting Guideline Exemptions

The Outdoor Lighting Guidelines do not apply for interior renovations and minor exterior alterations to existing buildings.

10.4.7 A: Parking, Vehicular Access, and Pedestrian Guidelines

The Parking, Vehicular Access and Pedestrian Guidelines apply to commercial, industrial, multiple family and intensive residential development.



1. Parking areas should not be covered only with hard impervious surfacing such as asphalt or poured-in-place concrete, or gravel and dirt. Rather, dust free forms of pervious surfacing that allow for groundwater infiltration of water are preferred. Where impervious surfaces are necessary, the separation of oil and water will be encouraged.
2. Convenient, safe and attractive parking entrances should be provided, without unnecessary duplication of access points, and without parking access points or parking facilities dominating a site.
3. Access and egress to major network roads should be provided from local roads in locations which are safe and approved by the Ministry of Transportation and Infrastructure. Direct access from a major network road should be avoided, where possible.
4. Rain gardens, bioswales, and permeable materials are strongly encouraged to absorb runoff.
5. Parking lots should be heavily landscaped with trees that will not damage paint finishes, for comfort, shade and visual interest and to minimize heat gain caused by large contiguous paved surfaces.
6. Parking lot design will incorporate designated pedestrian walkways for people to exit their automobiles and access buildings and surrounding areas safely, and these will be separated from the parking area by raised or landscaped features. Physical separation between well-marked pedestrian and vehicular traffic is required, and where the two share space, design features will clearly indicate that pedestrians have priority. All pedestrian areas should be level, smooth, and non-slip surfaced so as to accommodate people with accessibility challenges such as mobility, sensory, or cognitive disabilities.
7. Where outdoor café tables are provided near pathways within commercial areas, safe passage for pedestrians and emergency access must be maintained. To maintain the unique character of the development, parking standards may be modified where development has regard for alternative transportation modes or other amenities.
8. Where appropriate, aesthetically appealing and distinctive bus shelters and pullouts may be incorporated into the site

design to facilitate pedestrian traffic and provide space for landscaping, seating and public art.



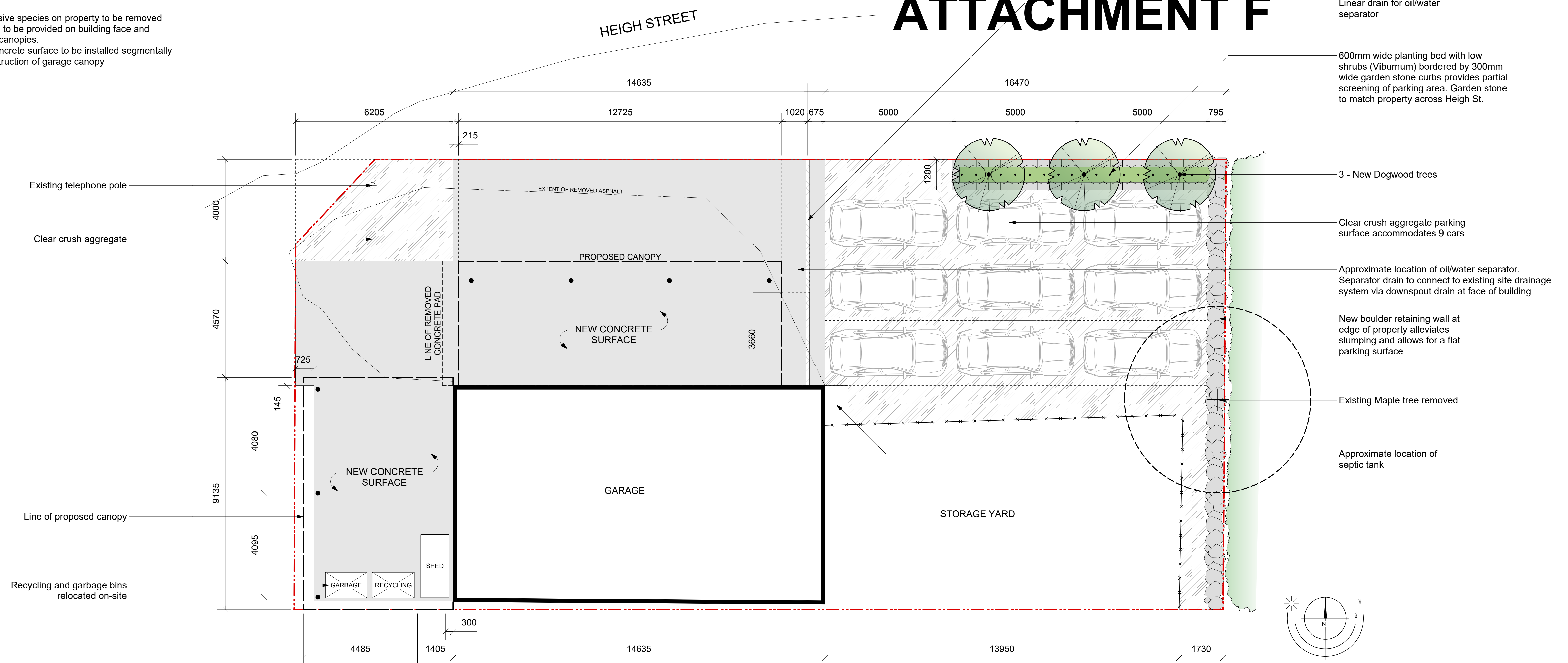
9. Parking and loading areas are to be screened with adequate landscaping. The use of ramps are preferred over stairs and steps, to provide for barrier-free access.
10. Parking requirements within the implementing Zoning Bylaw may be varied where provisions are made for alternative transportation amenities.

10.4.7 B Parking, Vehicular Access and Pedestrian Guideline Exemptions

The Parking, Vehicular Access and Pedestrian Guidelines do not apply to parking areas designed for less than 5 vehicles.

ATTACHMENT F

- Notes:**
1. All invasive species on property to be removed
 2. Lighting to be provided on building face and proposed canopies.
 3. New concrete surface to be installed segmentally after construction of garage canopy

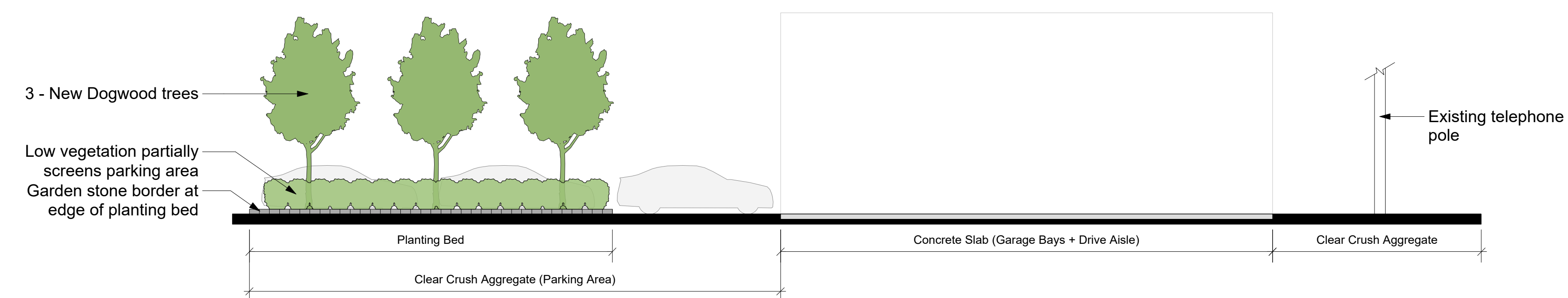


1 Landscape Concept Plan
L1 1:75

Recommended Nursery Stock

Trees				
ID	Quantity	Botanical Name	Common Name	Size
CoEWW	3	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6cm cal.
Medium Shrubs				
ID	Quantity	Botanical Name	Common Name	Size
ViDa	16	Viburnum davidii	Davidii Viburnum	#5 pot

- Notes:**
1. All work to be completed to current BCSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system



2 View from Heigh Street - Elevation
L1 1:100

1480 Heigh Street | Landscape Concept Plan

12.7 C-7 VILLAGE SERVICE COMMERCIAL 7 ZONE

Subject to compliance with the general regulations set out in Parts 4, 5, 6 and 7 of this Bylaw, the following regulations apply in the C-7 Zone:

1. Permitted Uses

The following principal uses and no others are permitted in the C-7 Zone:

- a. Automobile service shop, auto parts and accessories sales;
- b. Car wash;
- c. Laundromat;
- d. Motor vehicle sales;
- e. Parking lot, bus depot;
- f. Restaurant, café, catering;
- g. Retail sales of building, camping and gardening supplies;
- h. Service station;
- i. Office use;
- j. Personal services use;

The following accessory uses are permitted in the C-7 Zone:

- k. Single family dwelling;
- l. Wholesaling and warehousing.

2. Impervious Surfaces and Parcel Coverage Limit

Impervious surface coverage of a parcel in the C-7 Zone shall not exceed 65%, of which not more than 50% may be parcel coverage.

3. Height

The height of all buildings and structures in the C-7 Zone shall not exceed 10 metres, except for accessory buildings and structures which shall not exceed a height of 7.5 metres.

4. Setbacks

The minimum setback for all buildings and structures in the C-7 Zone is 6 metres.

5. Minimum Parcel Size

The minimum parcel size in the C-7 zone is:

- a. 1000 m² for parcels serviced by a community water system and a community sewer system;
- b. 3000 m² for parcels serviced by a community water system;
- c. 1 hectare for parcels serviced by neither a community water system nor a community sewer system.

6. The use of barbed wire for fencing within a residential, institutional and commercial zone is prohibited, except along a parcel boundary that is within or adjoins land in the ALR.
7. The use of barbed wire for fencing is permitted in zones within which agriculture is listed as a principal permitted use.

5.3 Setback Exceptions

1. Except as otherwise provided in particular zones, the setback requirements of this Bylaw do not apply to:
 - a. A pump house;
 - b. Bay windows; chimneys; exterior building finishes; heating, ventilation and air conditioning equipment, sills; sunlight control projections including sunshades; unenclosed stairwells, if the projections do not exceed 1 m measured horizontally into the setback area and are not within 1 metre of a parcel boundary;
 - c. Eaves, canopies, cornices, gutters, sunshades, and unenclosed stairwells and above-ground stairways if the projections, measured horizontally, do not exceed:
 - i. 2 m in the case of a setback from a rear parcel line;
 - ii. 1 m in the case of a setback from a front or side parcel line;
 - d. Signs;
 - e. Open fences; and
 - f. Closed fences and landscape screens that are less than 2 metres in height.
2. Notwithstanding any other provision of this Bylaw, the consent of the Ministry of Transportation and Infrastructure is required to place any building or structure closer than 4.5 m to a property line adjacent to a highway.
3. Features not specifically mentioned in Section 5.3.1 shall not project into a required setback area.

5.4 Setbacks from a Watercourse – Flood Protection and Environmental Protection

1. Notwithstanding any other provision of this Bylaw, and except where a larger setback may be specified in an Assessment Report prepared under the *Riparian Areas Regulation*, no building or structure shall be located:
 - a. within 30 metres of the natural boundary of the Koksilah River;
 - b. within 15 metres of the natural boundary of any watercourse, lake or the sea;

And further, all buildings and structures shall be elevated at least:

- a. 3 metres above the natural boundary of the Koksilah River;
- b. 1.5 metres above the natural boundary of any watercourse, lake or the sea.

5.5 Natural Hazard Management Requirements

In addition to compliance with Section 5.4 above, all buildings and structures shall conform to a Floodplain Management Bylaw, if one is in effect, and any potential natural hazards that the Building Official believes may be present shall be dealt with in accordance with Section 56 of the *Community Charter*.

Variance Rationale

Sheila Herrera, RPP, Planner II
Development Services Division
Planning and Development Department
Cowichan Valley Regional District
175 Ingram Street, Duncan BC

The long history of my automotive shop began in 1921 when Pat Barry built a wooden structure. In 1962, it was destroyed by fire; but it was quickly replaced with a masonry building. It remained as such until 2015 when I made the decision to obtain a variance in order to renovate the structure in which I, and my staff of five automotive mechanics, could better serve the community.

When the building was built, it was situated rather close to the south property line so a variance was proposed and obtained in 2015 for the renovation. Servicing vehicles larger than a pickup truck implied taller hoists which, in turn, implied raising the existing roof 4 ft. As shown in the middle picture, this was achieved – in large part – via the expertise of a local, experienced building moving company.

The aesthetic aspects of the existing small canopy (see pictures 1 and 2) became the subject of discussion and concern, since it does not visually match or relate that well to the building's red-forest green-white color scheme. Nor does its awkward form.

The reasons for pursuing the replacement of the north canopy, however, are more than aesthetic: they are functional. In recent years, the need for a local registered vehicle inspection facility became very evident, so in 2014 I applied for, and obtained registered status for such a service.

A second reason for the canopy's replacement is that, in order to perform "automotive triage" on vehicles along the exterior of the north wall, and in order to protect my automotive staff from rain and snow during this process, a longer canopy is vital.


The reasons for pursuing the west extension of the building's roof is similarly functional. In recent years, I have had to turn down numerous automotive assignments simply because – even with the newly raised roof – the building does not physically accommodate larger vehicles (eg. motorhomes and delivery trucks).

The 21 ft. wide graveled area to the west of my building has always been used for vehicular storage and automotive triage; the line of large trees along the property line provides a physical, aesthetic, and acoustic barrier from the adjacent property – the *Cobble Hill Animal Hospital* (see picture 3). The Animal Hospital building itself is approximately 105 ft. from my automotive shop. Complaints of noise and other concerns have never been received.

Late in 2016, I obtained verbal assurance from Darren McCormack, owner of the adjacent *Cobble Hill Animal Hospital* that he has no objection to the construction of the proposed roof extension as detailed on the attached DPVAR drawings.

My goal is to provide the widest range of automotive services possible – and necessary – to the community.

To achieve this, I hereby request, and apply for, a variance, as described under 03-C-17DP-VAR, file no. 03-C-17DP.

Ian Tait  Dated: April 3/17

- **Ian Tait**, owner of *Ian Tait Mechanical Services* (and authorized agent for the Owners, see Keith and Donna Barry, below)
- **Keith and Donna Barry**, owners of the property



COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT WITH VARIANCE

FILE NO: 03-C-17DP/VAR

DATE: _____

REGISTERED PROPERTY OWNER(S):

KEITH & DONNA BARRY

1. This Development Permit with Variance is issued and is subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit with Variance applies to and only to those lands within the Regional District described below:

*LOT 1, SECTION 12, RANGE 5, SHAWNIGAN DISTRICT, PLAN 16616
(PID: 004-001-907)*

3. **Authorization is hereby given for the extension of the roof, a new front canopy, and site improvements in accordance with the following requirements:**

- Development shall occur in accordance with the attached Schedules;
- Section 12.7.4 (Setbacks) of Zoning Bylaw No. 3520 is varied for the west parcel line from 6 m to 0.3 m.
- Section 5.3.1.c.ii (Setback Exceptions) of Zoning Bylaw No. 3520 is varied to allow a canopy projection from 1 m to 1.91 m within the front setback.

4. **The following plans and specifications are attached to and form a part of this permit.**

Schedule A – Location Plan
Schedule B – Site Plan
Schedule C – Elevations
Schedule D – Landscape Plan

5. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.
6. This Permit is not a Building Permit. No certificate of final completion shall be issued until all items of this Development Permit with Variance have been complied with to the satisfaction of the Land Use Services Department.

AUTHORIZING RESOLUTION XXXX PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE XX DAY OF MONTH, 2017.

Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

I HEREBY CERTIFY that I have read the terms of the Development Permit with Variance contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with IAN TAIT (agent) on behalf of KEITH & DONNA BARRY (owners) other than those contained in this Permit.

Owner/Agent (signature)

Witness (signature)

Print Name

Print Name

Date

Date

DRAFT



MEMORANDUM

DATE: March 8, 2018


TO: Ross Blackwell, General Manager, Land Use Services Department

FROM: Ian MacDonald, RBO, Chief Building Inspector, Inspections & Enforcement Division

SUBJECT: BUILDING REPORT FOR THE MONTH OF FEBRUARY, 2018

There were 35 Building Permits and 2 Demolition Permit(s) issued for a total of **37** Permits during the month of February at a total value of \$6,279,631.

Electoral Area	Commercial	Institutional	Industrial	New SFD	Residential	Agricultural	Permits this Month	Permits this Year	Value this Month	Value this Year
"A"				892,481	155,000		5	13	1,047,481	2,494,886
"B"	400,000			1,894,730	335,070		16	30	2,629,800	5,119,120
"C"				461,000	249,840		4	7	710,840	986,513
"D"							0	1		348,530
"E"	150,000			343,380	35,000		3	6	528,380	1,019,010
"F"				99,370			1	4	99,370	318,570
"G"				145,420			1	1	145,420	145,420
"H"				606,540	5,000		3	4	611,540	888,556
"I"		170,000		301,280	35,520		4	6	506,800	812,030
Total	\$ 550,000	\$ 170,000	\$ -	4,744,201	815,430	0	37	72	6,279,631	12,132,635



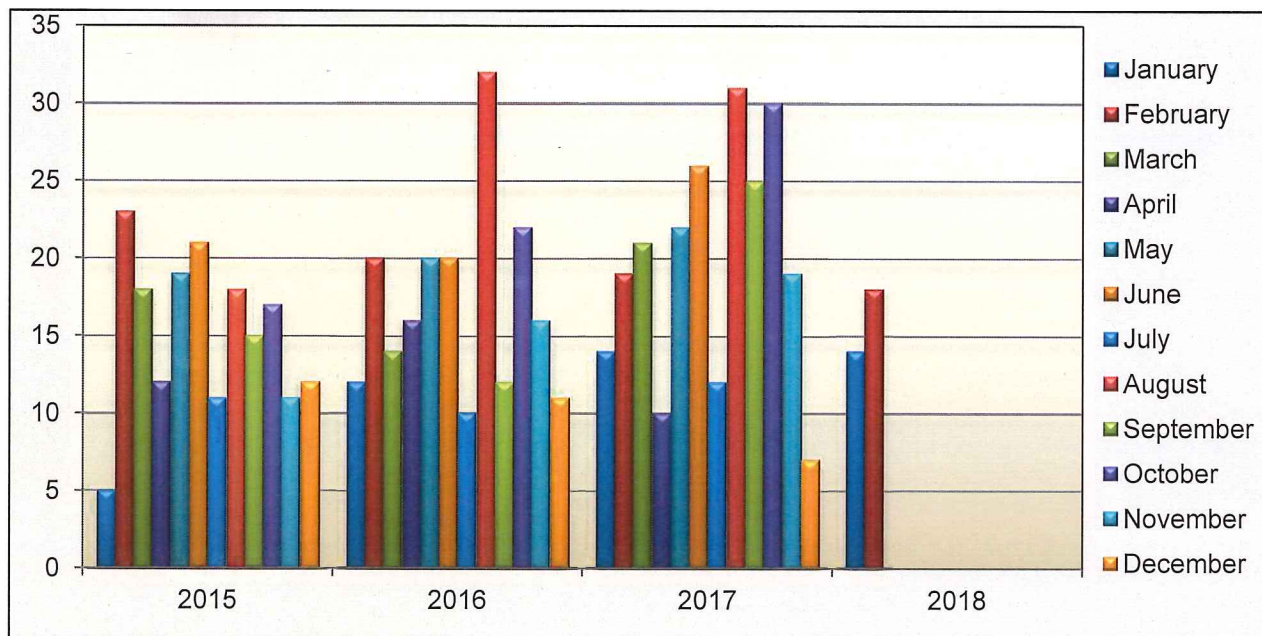
 I. MacDonald, RBO
 Chief Building Inspector, Inspections & Enforcement Division
 Land Use Services Department
 IM/Iar

NOTE: For a comparison of New Housing Starts from 2015 to 2018, see page 2
 For a comparison of Total Number of Building Permits from 2015 to 2018, see page 3



TOTAL OF NEW HOUSING STARTS

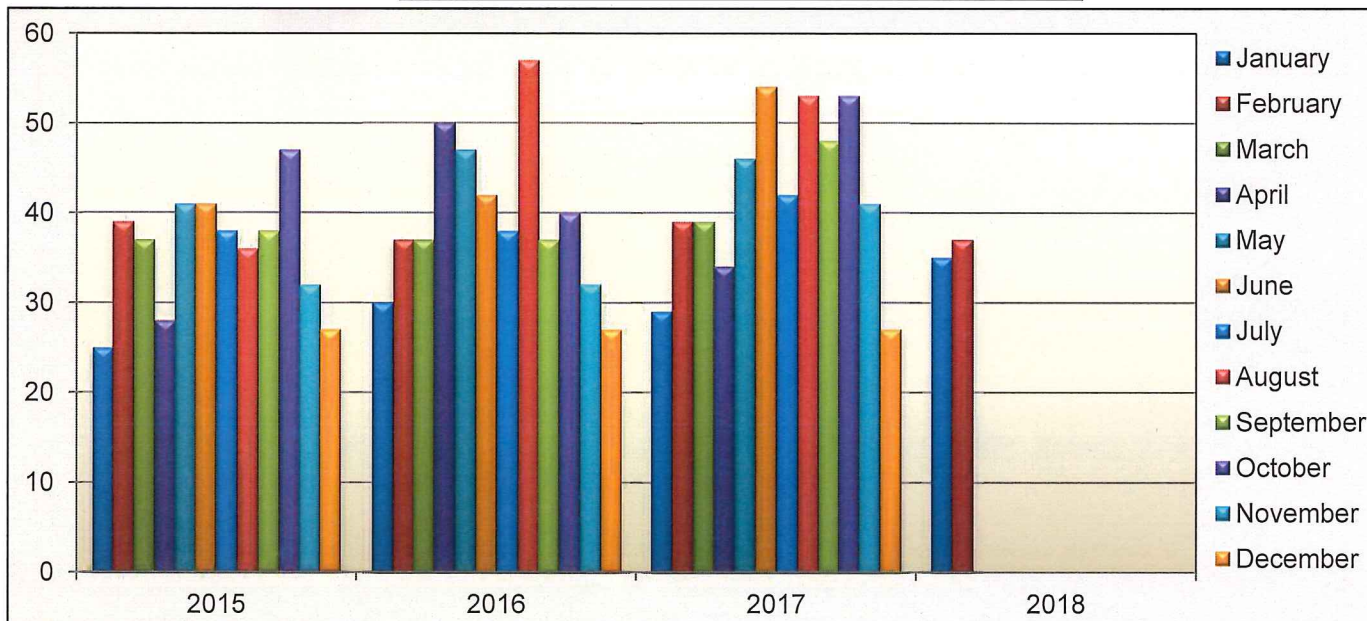
	2015	2016	2017	2018
January	5	12	14	14
February	23	20	19	18
March	18	14	21	
April	12	16	10	
May	19	20	22	
June	21	20	26	
July	11	10	12	
August	18	32	31	
September	15	12	25	
October	17	22	30	
November	11	16	19	
December	12	11	7	
YTD Totals	182	205	236	





TOTAL BUILDING PERMITS ISSUED

	2015	2016	2017	2018
January	25	30	29	35
February	39	37	39	37
March	37	37	39	
April	28	50	34	
May	41	47	46	
June	41	42	54	
July	38	38	42	
August	36	57	53	
September	38	37	48	
October	47	40	53	
November	32	32	41	
December	27	27	27	
YTD Totals	429	474	505	

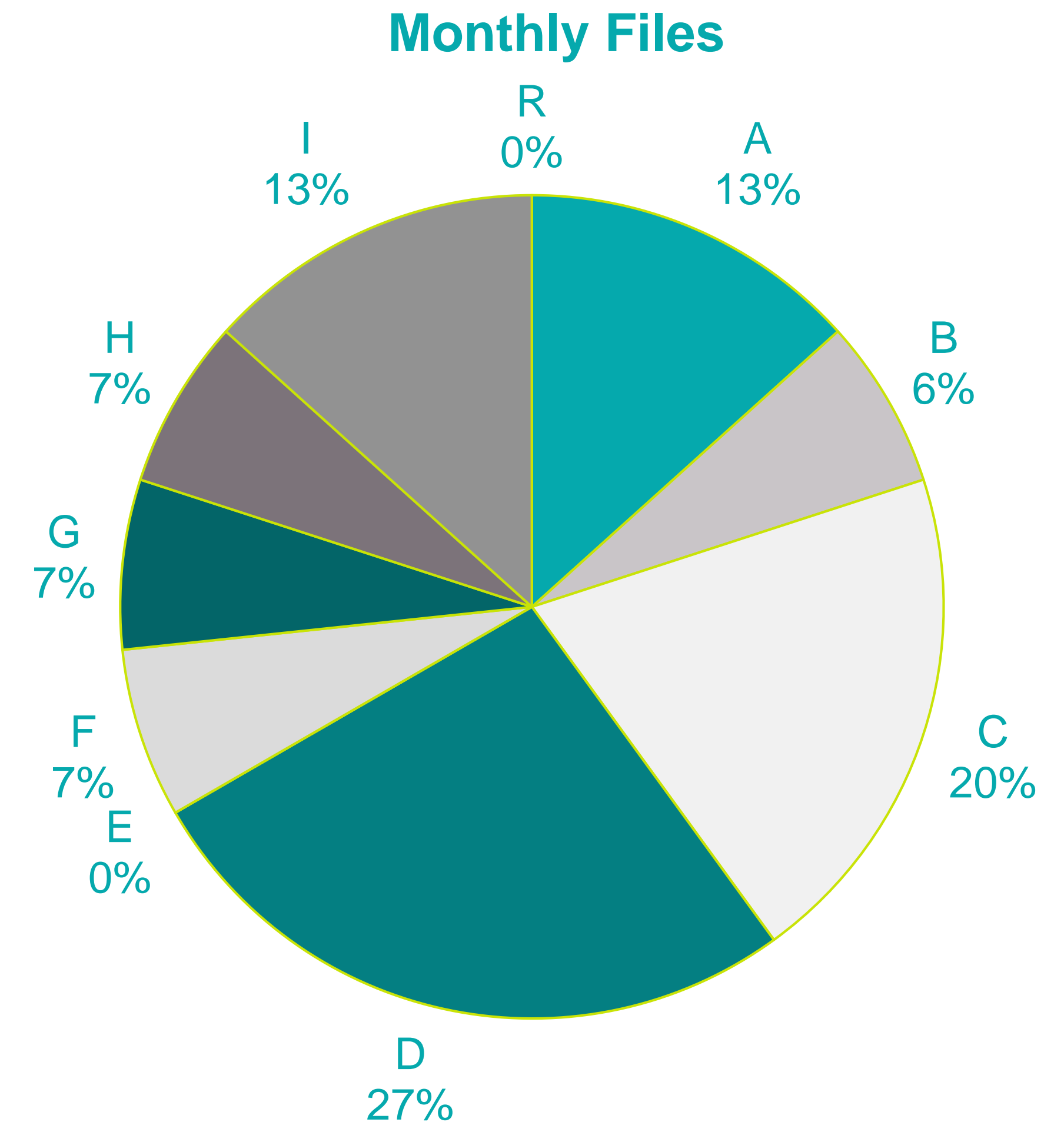


320 – Bylaw Enforcement Report – February 2018

Participating Areas – All electoral areas

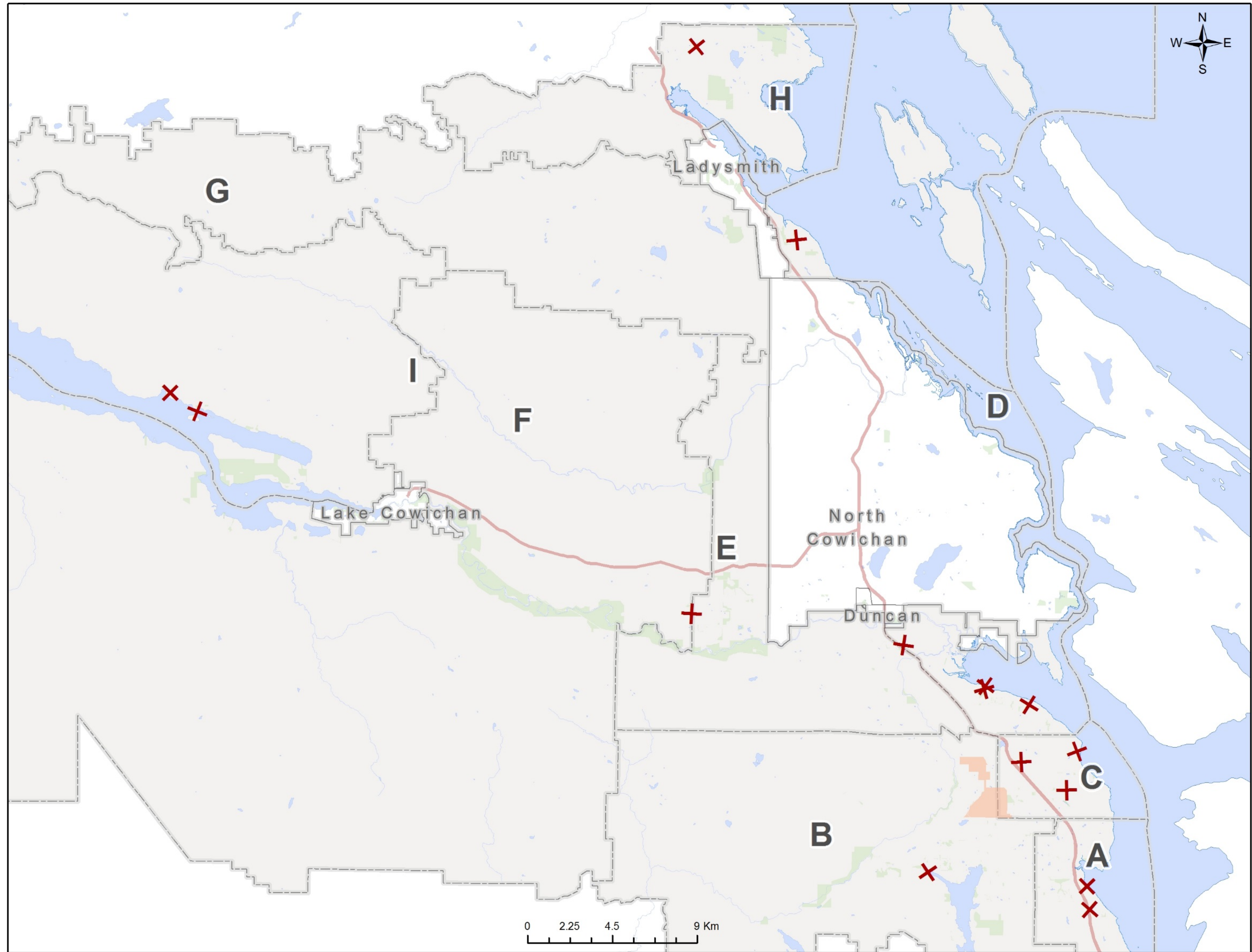
Purpose – Monthly review of Bylaw Enforcement files

Electoral Area	Monthly Files	Percentage of month	Year Total
A	2	13%	6
B	1	7%	7
C	3	20%	4
D	4	27%	7
E	0	0%	3
F	1	7%	3
G	1	7%	4
H	1	7%	1
I	2	13%	4
Regional	0	0%	0



February 2018

EA	Offence Type	Offence Subtype
A	Other - See Notes	Activity - Moorage
A	Development Permit Area	DPA - RAR
B	Zoning Allowance	Zoning - Dock
C	Environment Complaint	Enviro - Unsightly
C	Environment Complaint	Enviro - LCD Burn
D	Zoning Allowance	Zoning - Other
D	Zoning Allowance	Zoning - Other
C	Animal Complaint	Animal - Declared Dangerous Dog
D	Illegal Activity Complaint	Activity - Other
D	Illegal Activity Complaint	Activity - MV
F	Animal Complaint	Animal - Aggressive dog
G	Development Permit Area	DPA - Other
H	Zoning Allowance	Zoning - Business/Commercial Activities
I	Zoning Allowance	Zoning - Business/Commercial Activities
I	Environment Complaint	Enviro - Unsightly



Analysis

Total number of enquires (calls, emails, front desk): 350

Total new cases opened in February 2018: 15

Total files opened 2018 (January & February): 39

Total files ongoing/open: 43

Day to Day Bylaw Enforcement Activities

- 2 officers: one dedicated to Land Use Services and Regulatory Bylaws and one dedicated to Parks and Engineering – Waste Management.
- Approximately 50% office responsibilities such as: report & letter writing, meetings, data entry, front counter queries, consultation with legal staff, background investigations, complaint screening...
- Approximately 50% outside office responsibilities such as: investigating new complaints, monitor ongoing files, parks/trails patrols, meetings with other agencies, coordinated enforcement, notice delivery, approximately 1,000 kms/month driven on each vehicle...

Highlights

- Increase in burning issues.
- Increase in notice delivery for Land Use Services.
- Dog Control: preparing for contractor change, high license sales.
- Heavy rainfall events resulting in monitoring siltation mainly in South Shownigan & coordinated with other agencies.



STAFF REPORT TO COMMITTEE

DATE OF REPORT March 1, 2018
MEETING TYPE & DATE Electoral Area Services Committee Meeting of March 21, 2018
FROM: Engineering Services Department
SUBJECT: 2018 Budget Amendment for Function 469 – Cowichan Station Association - Area E
FILE: 0520-20-EAS/05

PURPOSE/INTRODUCTION

The purpose of this report is to request approval for an amendment to Function 469 – Cowichan Station Association - Area E 2018 budget.

RECOMMENDED RESOLUTION

That it be recommended to the Board:

1. That the 2018 Budget for Function 469 – Cowichan Station Association – Area E be amended to:
 1. Increase Grant to Organization by \$15,000; and
 2. Increase Transfer from Gas Tax Reserve by \$15,000.
2. That Function 469 – Cowichan Station Association – Area E 2018 Budget amendment be authorized to proceed prior to adoption of the 2018 Budget Amendment.

BACKGROUND

The Cowichan Station Area Association's Koksilah Watershed Ecosystem Based Analysis Project aims to understand the condition of the Koksilah watershed and to provide a scientific rationale for addressing issues related to water flow, water quality and habitat protection. This project was approved by the Board on February 22, 2017 with contributions from Area B (\$15,000) and Area E (\$10,000). Area E's contribution of \$10,000, has already been included in the 2018 Budget for Function 469. Area B's contribution of \$15,000 has not yet been included.

ANALYSIS

This project has received Board approval and the Cowichan Station Area Association has entered into a Funding Agreement with the Cowichan Valley Regional District (CVRD).

FINANCIAL CONSIDERATIONS

These Community Works Funds were allocated by Electoral Area Directors to community organizations. The community organizations are responsible for any additional costs and for managing the projects. Upon completion of the project a final report will be sent to the CVRD.

COMMUNICATION CONSIDERATIONS

The Cowichan Station Area Association has already been informed by staff that they will be receiving the funds.

STRATEGIC/BUSINESS PLAN CONSIDERATIONS

Not applicable.

Referred to (upon completion):

2018 Budget Amendment for Function 469 – Cowichan Station Association - Area E
March 21, 2018

- Community Services (*Island Savings Centre, Cowichan Lake Recreation, South Cowichan Recreation, Arts & Culture, Public Safety, Facilities & Transit*)
- Corporate Services (*Finance, Human Resources, Legislative Services, Information Technology, Procurement*)
- Engineering Services (*Environmental Services, Recycling & Waste Management, Water Management*)
- Land Use Services (*Community Planning, Development Services, Inspection & Enforcement, Economic Development, Parks & Trails*)
- Strategic Services

Prepared by:



Austin Tokarek, B. Sc., CEA
Asset Coordinator

Reviewed by:

Not Applicable
Not Applicable



Hamid Hatami, P. Eng.
General Manager



DIRECTORS REPORT

DATE OF MEMORANDUM: March 16, 2018

TO: Electoral Area Services Committee
of March 21, 2018

FROM: Klaus Kuhn, Director, Electoral Area I, Youbou / Meade Creek

SUBJECT: Picnic Shelter Donation to Mile 77 Park

At the August 9, 2017, Board meeting the Board resolved to accept a donation from Laketown Ranch of materials and labour to construct an approximately 20 x 20 ft picnic shelter in Mile 77 Park in Electoral Area I (Board Resolution #17-347).

The approximate value of the donation is estimated at \$28,000 based on actual costs of constructing similar sized picnic shelters at other CVRD parks. Work on the shelter has not yet commenced and, in the interim, Board direction was undertaken on the 2018 Electoral Area I Community Parks budget to close Mile 77 Park.

In light of the decision to close Mile 77 Park, and discussions I have had with Laketown Ranch representatives, I propose that a financial contribution to Electoral Area I Community Parks, equivalent to the shelter construction costs, would be more appropriate at this time. This option allows for some flexibility as to where best to invest the funds on park improvements in Electoral Area I that would have overall benefits to the community. Therefore, the following is recommended for consideration by the Committee and Board:

That it be recommended to the Board that a financial donation contribution equivalent to the cost of materials and labour for a 20 x 20 ft picnic shelter be accepted from Laketown Ranch, with the donation applied to the Electoral Area I Community Parks for capital improvement investment at a park site in the community.