



ELECTORAL AREA SERVICES COMMITTEE MEETING AGENDA

WEDNESDAY, FEBRUARY 7, 2018
BOARD ROOM
175 INGRAM STREET, DUNCAN, BC

1:30 PM

	<u>PAGE</u>
1. <u>APPROVAL OF AGENDA</u>	
2. <u>ADOPTION OF MINUTES</u>	
M1 Regular Electoral Area Services Committee meeting of January 17, 2018	1
Recommendation That the minutes of the regular Electoral Area Services Committee meeting of January 17, 2018, be adopted.	
3. <u>BUSINESS ARISING FROM THE MINUTES</u>	
4. <u>PUBLIC INPUT PERIOD</u>	
5. <u>DELEGATIONS</u>	
D1 Candace Spilsbury, School District 79 (Cowichan Valley), Re: Board of Education's Strategic Plan	7
D2 Dorothea Siegler, Cowichan Valley Citizens for Safe Technology, Re: Microtransmitters: Are they safe?	9
6. <u>CORRESPONDENCE</u>	
C1 Grant-in-Aid Request, Area A - Mill Bay/Malahat, Re: Frances Kelsey Secondary School	11
Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area A - Mill Bay/Malahat, in the amount of \$2,000 be provided to Frances Kelsey Secondary School for four \$500 Bursaries for graduating students residing in Electoral Area A - Mill Bay/Malahat.	
C2 Grant-in-Aid Request, Electoral Area B - Shawnigan Lake - Frances Kelsey	13

Secondary School

- Recommendation** That it be recommended to the Board that a Grant-in-Aid, Electoral Area B - Shawnigan Lake, in the amount of \$1,000 be provided to Frances Kelsey Secondary School for two \$500 Bursaries for graduating students residing in Electoral Area B - Shawnigan Lake.
- C3 Grant-in-Aid Request, Electoral Area B - Shawnigan Lake - Cowichan Secondary School 15
- Recommendation** That it be recommended to the Board that a Grant-in-Aid, Electoral Area B - Shawnigan Lake, in the amount of \$1,000 be provided to Cowichan Secondary School for two \$500 Bursaries for graduating students residing in Electoral Area B - Shawnigan Lake.
- C4 Grant-in-Aid Request, Electoral Area D - Cowichan Bay, Cowichan Bay Improvement Association 17
- Recommendation** That it be recommended to the Board that a Grant-in-Aid, Electoral Area D - Cowichan Bay, in the amount of \$364 be provided to Cowichan Bay Improvement Association (CBIA) to support improvements to the Cowichan Bay village.
- C5 Grant-in-Aid Request, Electoral Area D - Cowichan Bay, Cowichan Land Trust c/o Cowichan Estuary Nature Centre 19
- Recommendation** That it be recommended to the Board that a Grant-in-Aid, Electoral Area D - Cowichan Bay, in the amount of \$3,000 be provided to Cowichan Land Trust to support the Cowichan Estuary Nature Centre.
- C6 Grant-in-Aid Request, Electoral Area F - Cowichan Lake South/Skutz Falls, Cowichan Lake and River Stewardship Society 21
- Recommendation** That it be recommended to the Board that a Grant-in-Aid, Electoral Area F - Cowichan Lake South/Skutz Falls, in the amount of \$488 be provided to Cowichan Lake and River Stewardship Society to assist in the cost of sending a member for training techniques for auditing riparian restoration at the Greenshores Canada Event held on February 20-21, 2018.

7. **INFORMATION**

- IN1 1. Electoral Area E - Cowichan Station/Sahtlam/Glenora Advisory Planning Commission Minutes - January 9, 2018; 23
 2. Electoral Area F - Cowichan Lake South/Skutz Falls Advisory Planning Commission Minutes - January 15, 2018;
 3. South Cowichan Parks Commission Minutes - October 23, 2017;
 4. Electoral Area A - Mill Bay/Malahat Parks Commission Minutes - January 11, 2018;
 5. Electoral Area B - Shawnigan Lake Parks Commission Minutes - October 19, 2017;
 6. Electoral Area B - Shawnigan Lake Parks Commission Minutes - November 16, 2017;
 7. Electoral Area C - Cobble Hill Parks Commission Minutes - December 4, 2017; and
 8. Electoral Area I - Youbou/Meade Creek Parks Commission Minutes - December 12, 2017.

Recommendation For information

8. REPORTS

- R1 Application No. 11-B-17DP (1790 Empress Road) - Report from Development Services Division 37

Recommendation That it be recommended to the Board:
 1. That Development Permit Application No. 11-B-17DP (1790 Empress Road) be approved;
 2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of the development permit guidelines of Official Community Plan Bylaw No.3510; and
 3. That Covenant FB358241 be discharged from the land title of the subject property.

- R2 Application No. 01-G-17DP (3835 Gardner Road West) - Application from Development Services Division 55

Recommendation That it be recommended to the Board:
 1. That Development Permit Application No. 01-G-17DP (3835 Gardner Road West) for a four- lot subdivision be approved; and
 2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 2500.

- R3 Application No. 02-E-17DP (4780/4790 Trans Canada Highway/Tim Horton's) - Report from Development Services Division 83

Recommendation That it be recommended to the Board:

1. That Development Permit Application No. 02-E-17DP (4780/4790 Trans Canada Highway/Tim Horton's) for a commercial building and associated works be approved; and
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 1840.

- R4 Application No. 01-C-16DP/VAR (1357 Ball Road) - Report from Development Services Division 101

Recommendation That it be recommended to the Board that the request to amend Development Permit Application No. 01-C-16DP/VAR be denied, and the applicant be advised that a new Development Permit application is required in order for proposed changes at 1357 Ball Road to be considered.

- R5 Application No. 01-I-16RS (PID: 000-222-348) - Report from Development Services Division 143

Recommendation For direction.

- R6 Requisition Limit Increase - Carlton Water System - Report from Water Management Division 255

Recommendation That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 3627 – Carlton Water System Service Establishment Bylaw, 2012, to increase the maximum annual requisition limit from \$30,000 to \$37,500.

- R7 Requisition Limit Increase - Shellwood Water System - Report from Water Management Division 257

Recommendation That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 3624 – Shellwood Water System Service Establishment Bylaw, 2012, to increase the maximum annual requisition limit from \$24,500 to \$30,625.

- R8 Requisition Limit Increase - Woodley Range Water System - Report from Water 259

Management Division

Recommendation That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 3616–Woodley Range Water System Service Establishment Bylaw, 2012, to increase the maximum annual requisition limit from \$32,000 to \$40,000.

R9 Requisition Limit Increase - Electoral Area A - Mill Bay/Malahat Critical Location Streetlighting Service Establishment Bylaw 2137 - Report from Water Management Division 261

Recommendation That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 2137 – Electoral Area A – Mill Bay/Malahat Critical Location Streetlighting Service Establishment Bylaw, 2001, to increase the maximum annual requisition limit from \$5,000 to \$6,250.

R10 Function 576 - Engineering Services - Utilities - Short Term Borrowing for Two Utility Vehicles - Report from Water Management Division 263

Recommendation That it be recommended to the Board that short term borrowing of up to \$143,400 be approved for the purchase of two utility vehicles to be paid back over five years as per the Liabilities under Agreement Section 175 of the *Community Charter*.

R11 Verbal Report from Director S. Acton, Re: Bylaw Enforcement Resourcing

Recommendation For information.

R12 Verbal Report from Brian Carruthers, Chief Administrative Officer, Re: Proposed Water/Watershed Protection Service 265

Recommendation For information.

9. **UNFINISHED BUSINESS**

10. **NEW BUSINESS**

NB1 Grant-in-Aid Request - Electoral Area D - Cowichan Bay- Cowichan Secondary School 269

Recommendation That it be recommended to the Board that a Grant-in-Aid, Electoral Area D - Cowichan Bay, in the amount of \$1,000 be provided to Cowichan Secondary School for two \$500 Bursaries for graduating students residing in Electoral Area D - Cowichan Bay.

11. QUESTION PERIOD

12. CLOSED SESSION

Motion that the Closed Session Agenda be approved, and that the meeting be closed to the public in accordance with the *Community Charter* Part 4, Division 3, Section 90, subsections as noted in accordance with each agenda item.

CS M1 - Closed Session Electoral Area Services Committee Minutes of December 20, 2017

CS R1 - Verbal Report from the Bylaw Enforcement Officer, Inspection & Enforcement Division, Re: Law Enforcement {Sub (1)(f)}

13. ADJOURNMENT

The next Electoral Area Services Committee Meeting will be held Wednesday, February 21, 2018 at 1:30 PM, in the Board Room, 175 Ingram Street, Duncan, BC.

Committee Members

Director I. Morrison, Chairperson
Director S. Acton, Vice-Chairperson
Director M. Clement

Director K. Davis
Director M. Dorey
Director L. Iannidinardo

Director K. Kuhn
Director A. Nicholson
Director M. Marcotte

Minutes of the Electoral Area Services Committee Meeting held on Wednesday, January 17, 2018 in the Board Room, 175 Ingram Street, Duncan BC at 1:32 PM.

PRESENT: Director I. Morrison, Chair
 Director S. Acton
 Director M. Clement <until 3:20 PM>
 Director K. Davis
 Director M. Dorey
 Director L. Iannidinardo
 Director K. Kuhn
 Director M. Marcotte <after 1:43 PM>
 Director A. Nicholson

ALSO PRESENT: M. Kueber, A/Chief Administrative Officer
 R. Blackwell, General Manager, Land Use Services
 K. Harrison, Deputy Corporate Secretary
 R. Conway, Manager, Development Services
 B. Farquhar, Manager, Parks & Trails
 B. Dennison, Manager, Water Management
 K. Miller, Manager, Environmental Services Division
 I. MacDonald, A/Manager, Inspections & Enforcement
 L. Knodel-Joy, Senior Engineering Technologist
 S. Herrera, Planner II
 R. Harris, Bylaw Enforcement Officer
 J. Hughes, Recording Secretary

APPROVAL OF AGENDA

It was moved and seconded that the agenda be amended with the addition of Item 4. Public Input Period and one New Business Item:

NB1 Verbal Report from Chair Morrison, Re: Catalyst Paper Corporation's 10 Year Water License Application under the *Water Sustainability Act*; and

that the agenda, as amended, be approved.

MOTION CARRIED

ADOPTION OF MINUTES

M1 Regular Electoral Area Services Committee meeting of December 20, 2017

It was moved and seconded that the minutes of the Regular Electoral Area Services Committee meeting of December 20, 2017 be adopted.

MOTION CARRIED

DELEGATIONS

D1 Dorothea Siegler and Dr. Stephen Faulkner, Cowichan Valley Citizens for Safe Technology, Re: Microtransmitters are they Safe

Dr. Stephen Faulkner addressed the Committee providing his concerns regarding cell phone towers, the effects from microwave non-ionizing radiation and the number of cell phone towers that were popping up throughout the City of Duncan.

Dorothea Siegler provided her concerns to the Committee regarding radio frequency microwave radiation, as well as, the microtransmitters that have been placed around the Greater Victoria area, advising that she did not want to see that happen in the Cowichan Valley Regional District.

1:43 PM Director Marcotte entered the meeting at 1:43 PM.

CORRESPONDENCE

C1 Grant-in-Aid Request - Electoral Area B - Shawnigan Lake Re: Shawnigan Residents Association

It was moved and seconded that it be recommended to the Board that a Grant-in-Aid, Electoral Area B - Shawnigan Lake, in the amount of \$5,000 be provided to Shawnigan Residents Association to support watershed protection work.

MOTION CARRIED

C2 Grant-in-Aid Request, Electoral Area C - Cobble Hill Re: 1st Cobble Hill Scouts

It was moved and seconded that it be recommended to the Board that a Grant-in-Aid, Electoral Area C - Cobble Hill, in the amount of \$200 be provided to 1st Cobble Hill Scouts to aid in the removal of broom at Princess Avenue and Fairfield Road.

MOTION CARRIED

C3 Grant-in-Aid Request, Electoral Area C - Cobble Hill Re: Cobble Hill Farmers Market

Amended from original recommendation:

It was moved and seconded that it be recommended to the Board that a Grant-in-Aid, Electoral Area C - Cobble Hill, in the amount of \$2,500 be provided to Cobble Hill Farmers Market to support the creation of a new Farm Market in South Cowichan.

MOTION CARRIED

- C4** Grant-in-Aid Request, Electoral Area D - Cowichan Bay Re: Frances Kelsey Secondary School

It was moved and seconded that it be recommended to the Board that a Grant-in-Aid, Electoral Area D - Cowichan Bay, in the amount of \$1,000 be provided to Frances Kelsey Secondary School for a 2018 Bursary to a graduating student residing in Electoral Area D.

MOTION CARRIED

INFORMATION

IN1

The following Items 1 through 3 were received for information:

1. Electoral Area A - Mill Bay/Malahat Advisory Planning Commission Minutes- January 4, 2018;
2. Electoral Area E - Cowichan Station/Sahtlam/Glenora Advisory Planning Commission Minutes - December 12, 2017; and
3. Electoral Area G - Saltair/Gulf Islands Advisory Planning Commission - December 19, 2017.

REPORTS

R1

Application No. 02-I-17DP/VAR (9172 Meades Creek Road) - Report from Development Services Division

It was moved and seconded that it be recommended to the Board:

1. **That Development Permit with Variance Application No. 02-I-17DP/VAR (9172 Meades Creek Road) be approved;**
2. **That Zoning Bylaw No. 2465 Section 5.12.4 (Setbacks) be varied from 3.0 metres to 1.0 metre for proposed new carport; to 0.83 metres for proposed new stairs; to 0.3 metres for the existing southeast corner of the dwelling; to 1.0 metre for the existing accessory building; and to 1.67 metres for existing roof structural supports; and**
3. **That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of Development Permit guidelines of Official Community Plan Bylaw No. 2650.**

MOTION CARRIED

R2

2017 Inspection & Enforcement Division Year End Building Report – Report from Inspection & Enforcement Division, was received for information.

R3

2017 Year End Bylaw Enforcement Report – Report from Inspection & Enforcement Division, was received for information.

R4 First Floor Renovation - Report from General Manager, Land Use Services Department

It was moved and seconded that it be recommended to the Board:

- 1. That a maximum of \$300,000 in short term borrowing for the purpose of Ingram Street first floor building renovations be approved and that the loan be paid back over five years pursuant to Liabilities under Agreements Section 175 of the *Community Charter*; and**
- 2. That the 2018 Capital Building Improvements budget be amended to \$300,000 and increase the Capital Short Term Borrowing costs to \$300,000.**

MOTION CARRIED

R5 Honeymoon Bay Water System Service Area Exclusion - South Shore Road – Report from Water Management Division

It was moved and seconded that it be recommended to the Board:

- 1. That the Certificates of Sufficiency confirming that a sufficient petition requesting exclusion from the Honeymoon Bay Water System Service Area, the Honeymoon Bay Water System Debt Repayment Service Area (Sutton Creek); and the Honeymoon Bay Well No. 2 Debt Repayment Service Area be received;**
- 2. That CVRD Bylaw No. 1588 cited as "CVRD – Honeymoon Bay Local Service (Community Water Supply and Distribution) Establishment Bylaw No. 10, 1993" be amended to exclude PID 005-186-501, Lot 1, Plan 10260, Section 13, Renfrew District, (Situated in Cowichan Lake District);**
- 3. That "CVRD Bylaw No. 2967 – Honeymoon Bay Water System Debt Repayment Service Establishment Bylaw, 2007" be amended to exclude PID 005-186-501, Lot 1, Plan 10260, Section 13, Renfrew District, (Situated in Cowichan Lake District);**
- 4. That "CVRD Bylaw No. 3980 – Honeymoon Bay Well No. 2 Debt Repayment Service Establishment Bylaw, 2016" be amended to exclude PID 005-186-501, Lot 1, Plan 10260, Section 13, Renfrew District, (Situated in Cowichan Lake District);**
- 5. That amendment bylaws be forwarded to the Board for consideration of three readings and upon registration of a "no-build" covenant on PID 005-186-501, be considered for adoption; and**
- 6. That the request from the owners of PID 005-186-501, Lot 1, Plan 10260, Section 13, Renfrew District, (Situated in Cowichan Lake District), to refund their 2017 parcel taxes (\$576.43 including 5.25% Surveyor of Taxes fee) for the above noted service areas be denied.**

MOTION CARRIED

NEW BUSINESS

NB1 Verbal Report from Chair Morrison, Re: Catalyst Paper Corporation’s 10 Year Water License Application under the *Water Sustainability Act*

It was moved and seconded that it be recommended to the Board that a letter be sent to the Regional Water Manager, Ministry of Forests, Lands and Natural Resource Operations and Rural Development, to advise of the Board’s concerns regarding Catalyst Paper Corporation’s application for a ten year water license under the *Water Sustainability Act*, to divert water out of Cowichan Lake during times of drought and impacts to CVRD Parks infrastructure during a further draw down.

MOTION CARRIED

QUESTION PERIOD

3:20 PM Director Clement left the meeting at 3:20 PM

It was moved and seconded that time allotted for Question Period be extended by five minutes.

MOTION DEFEATED

ADJOURNMENT

4:59 PM **It was moved and seconded that the meeting be adjourned.**

MOTION CARRIED

The meeting adjourned at 3:25 PM.

Chair

Recording Secretary

Dated: _____

Jennifer Hughes

From: noreply@civicplus.com
Sent: January 23, 2018 2:17 PM
To: Jennifer Hughes; Kylie Madge; Mary Anne McAdam
Subject: Online Form Submittal: Electoral Area Services Committee

Electoral Area Services Committee

Request to Appear as a Delegation at the Electoral Area Services Committee

Electoral Area Services Committee meetings are held on the first and third Wednesdays of the month at 1:30 p.m.

Please Note: Contact information supplied by you and submitted with this form will become part of the public record and will be published in a meeting agenda that is posted online when this matter is before the Electoral Area Services Committee. If you do not wish this contact information disclosed, please contact the FOI Coordinator at 250.746.2507 or 1.800.665.3955 to advise.

Meeting Date 2/7/2018

Contact Information

Contact Name Candace Spilsbury

Representing School District 79 (Cowichan Valley)

Number Attending 2

Address 2557 Beverly Street

City Duncan

Province BC

Postal Code V9L 2X3

Telephone Number 250-748-0321

Reply Email gkueber@sd79.bc.ca

Presentation Topic and Nature of Request Candace Spilsbury, Board Chair, would like to present the Board of Education's Strategic Plan to the Electoral Area Services Committee Members. While she has already presented to the Town of Lake Cowichan and City of Duncan, it is the Board of Education's wish to reach all area directors. Trustee Rob Hutchins has recommended a presentation to the Electoral Area Services Committee. If you would like to discuss

further, please contact Gina Kueber at 250-748-0321, ext. 201.
Thank you for your consideration.

Do you have a No
PowerPoint presentation?

Email not displaying correctly? [View it in your browser.](#)

Jennifer Hughes

From: noreply@civicplus.com
Sent: January 24, 2018 8:05 AM
To: Jennifer Hughes; Kylie Madge; Mary Anne McAdam
Subject: Online Form Submittal: Electoral Area Services Committee

Electoral Area Services Committee

Request to Appear as a Delegation at the Electoral Area Services Committee

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Please Note: Contact information supplied by you and submitted with this form will become part of the public record and will be published in a meeting agenda that is posted online when this matter is before the Electoral Area Services Committee. If you do not wish this contact information disclosed, please contact the FOI Coordinator at 250.746.2507 or 1.800.665.3955 to advise.

Meeting Date	2/7/2018
Contact Information	
Contact Name	Dorothea Siegler
Representing	Cowichan Citizens for Safe Technology
Number Attending	2
Address	2391 First Ave.
City	Cowichan Station
Province	BC
Postal Code	V9L 6M5
Telephone Number	250 748 7124
Reply Email	drotheasiegler@gmail.com
Presentation Topic and Nature of Request	Microtransmitters: Are they safe?
Do you have a PowerPoint presentation?	No

Email not displaying correctly? [View it in your browser.](#)



CVRD RECEIVED
JAN 23 2018

Finance Division

COWICHAN VALLEY REGIONAL DISTRICT

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director Kerry Davis Area A

Grantee: _____ Grant Amount \$ 2,000.00

NAME: Frances Kelsey Secondary School

ADDRESS: PO BOX 279, Mill Bay, BC V0R 2P0

Contact Phone No: Norma Wheeler 250-743-6916 Ext. 230

PURPOSE OF GRANT: Four \$500 bursaries for graduating students residing in Area A.

REQUESTED BY: [Signature]
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0103 - 111</u>	<u>2,000.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL A

Approval at Regional Board Meeting of _____

Finance Authorization _____



FRANCES
K E L S E Y
 S E C O N D A R Y S C H O O L

P.O. BOX 279 MILL BAY, BRITISH COLUMBIA, V0R 2P0 TEL (250) 743-6916 • FAX (250) 743-6915
 SCHOOL DISTRICT 79 (COWICHAN VALLEY)

October 27, 2017

Cowichan Valley Regional District Electoral Area A Mill Bay-Malahat
 Mr. Kerry Davis
 696 Frayne Rd
 Mill Bay, BC V0R 2P4

Dear Mr. Kerry Davis

At this time, our attention is once again focused on scholarships and bursaries, which are awarded annually to our graduating students.

We take this opportunity to thank you for the steadfast support shown our students in the past. The importance of these awards increases as the cost of further education escalates. There is no doubt that this help often makes a significant difference to many individual students.

Please let us know if your organization will be able to donate to the program again this year. All information for each bursary is listed on our website fkss.sd79.bc.ca. If you wish to review your criteria and/or application, please go the Frances Kelsey website and click on the **Grad** tab and then the **Local Bursary** tab, from the drop down menu, to review. Please confirm with me at nwheeler@sd79.bc.ca or by phone at 250-743-6916 ext. 230 if you are able to donate this school year by Friday, January 19, 2018. If you require any changes to your criteria, please email me the changes you wish and the bursary website will be amended.

Thank you so much for your support of our graduating students.

Sincerely,

K. van der Linden
 Vice Principal
 Bursary Chairperson

K vdl/njw



COWICHAN VALLEY REGIONAL DISTRICT Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director Acton Area B

Grantee: _____ Grant Amount \$ 1000-

NAME: Frances Kelcey Secondary School

ADDRESS: PO Box 279 Mill Bay Rd.
British Columbia, V0R 2P0

Contact Phone No: 250 - 743 6916

PURPOSE OF GRANT: 2 Bursaries valued at \$500 each

- Awarded to a student
- who reside within the Shawnigan Lake Boundary
- has worked hard, dedicated, demonstrated helpfulness, contributed to school community.

REQUESTED BY: [Signature]
Director's Signature

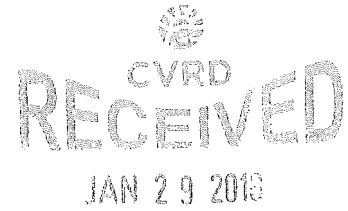
ACCOUNT NO.	AMOUNT
<u>01-2-1950-0103-112</u>	<u>\$1000</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____



COWICHAN VALLEY REGIONAL DISTRICT

Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director Acton Area B

Grantee: _____ Grant Amount \$ 1000

NAME: Cowichan Secondary School

ADDRESS: 2652 James St.
Duncan BC
V9L 2X2

Contact Phone No: 250 746 4435

PURPOSE OF GRANT: two Bursaries - \$500 each

- to a student living in Area B
- Contributing to the school community
- Proceeding to post secondary

REQUESTED BY: [Signature]
 Director's Signature

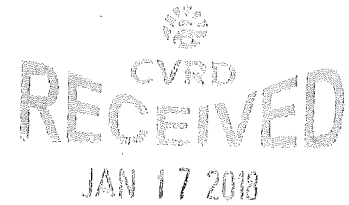
ACCOUNT NO.	AMOUNT
<u>01-2-1950-0205-112</u>	<u>\$ 1000</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____



COWICHAN VALLEY REGIONAL DISTRICT

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Finance Division

Submitted by Director IANNIDINARDO. Area D.

Grantee: _____ Grant Amount \$ 364⁰⁰/₁₀₀

NAME: COWICHAN BAY IMPROVEMENT ASSCO. CBIA.

ADDRESS: PO. BOX 2326.
COWICHAN BAY
BC.

Contact Phone No: 250-710-7329

PURPOSE OF GRANT: IMPROVEMENTS TO THE
VILLAGE.

REQUESTED BY: Lou L. IannidinarDO
 Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0108-114</u>	<u>364.⁰⁰</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL D

Approval at Regional Board Meeting of _____

Finance Authorization _____

From: CBIA (Cowichan Bay Improvement Association)

Representing: Colleen Underwood

Re: Grant-in-aid request for painting and repairing Cowichan Bay highway signs.

Dear Lori,

On behalf of the CBIA I would like to apply for an Area D (Cowichan Bay) grant-in-aid of \$364 (\$325 + GST) to have the highway signs at the north and south pointing to Cowichan Bay fixed and painted so that they are more visible. Right now they are so old and faded that no one even notices them. Anthony Cain, who did a great job on fixing and repositioning the similar sign coming into the village recently has agreed to do this job for this cost and clean up the brush around them as well (when we get some dry weather!)

We feel that the poor appearance of these signs reflects badly on our village. Also if they are noticeable more people will be tempted to turn off the highway to visit us!

With thanks,
Colleen Underwood
Cowichan Bay Improvement Association
PO Box 2326
Cowichan Bay, BC
V0R 1N0
250-710-7329



COWICHAN VALLEY REGIONAL DISTRICT

Finance Division

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director IANNIDINARDO

Area D

Grantee: COWICHAN LAND TRUST Grant Amount \$ 3,000.00

NAME: COWICHAN ESTUARY NATURE CENTRE

ADDRESS: #6-55 STATION ST. DUNCAN
V9L 1M2 746-0227

Contact Phone No: JANE KILTHEI
KERRIE TALBOT 746-5500

PURPOSE OF GRANT: SUPPORT FOR NATURE CENTRE

REQUESTED BY: *Lou L. Iannidinaldo*
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0394 114</u>	<u>3,000.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL *A*

Approval at Regional Board Meeting of _____

Finance Authorization _____



Cowichan Estuary Nature Centre

1845 Cowichan Bay Road, Cowichan Bay, BC

www.cowichanestuary.ca admin@cowichanestuary.ca

a project of the Cowichan Land Trust, #6-55 Station Street, Duncan, BC, V9L 1M2 phone: 250-746-0227

January 15, 2018

To: Director Lori Iannidinardo, Area D - Cowichan Bay

From: Kerrie Talbot,
for the Cowichan Estuary Nature Centre, a project of the Cowichan Land Trust

Re: Grant-in-aid request for \$3,000.

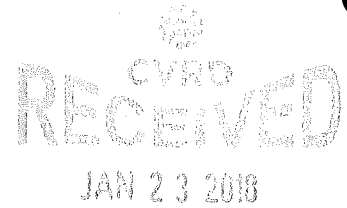
Dear Lori,

On behalf of the Cowichan Estuary Nature Centre and the Cowichan Land Trust, I would like to apply for an Area D-Cowichan Bay grant-in-aid of \$3,000.00 to help cover costs for:

Items	Estimated costs
Pre-school parent-tot programs and supporting materials:	\$500.00
4 roadway signs to direct visitors coming in to Cowichan Bay to the Nature Centre.	\$1,500.00
CENC outdoor sign facing traffic leaving the village.	\$500.00
Office organizational upgrades	\$500.00
Total	\$3,000.00
Grant-in-Aid Requested	\$3,000.00

If you have any questions, please don't hesitate to contact me or our Operations Committee Chair, Jane Kilthei.

With thanks,
Kerrie Talbot
kerrietalbot@shaw.ca
250-746-5500



Finance Division

COWICHAN VALLEY REGIONAL DISTRICT

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director MOREISON Area "F"

Grantee: _____ Grant Amount \$ 488⁰⁰

NAME: COWICHAN LAKE + RIVER STEWARDSHIP SOCIETY (CLRSS)

ADDRESS: P.O. BOX 1700, 225 JOHEL RD.
LAKE COWICHAN, B.C. V0R 2G0

Contact Phone No: KEW TRAYNOR 250-932-9324

PURPOSE OF GRANT: - TO ASSIST CLRSS IN REFRAYING THE COST OF SENDING A MEMBER FOR TRAINING TECHNIQUES FOR AUDITING RIPARIAN RESTORATION AT THE GREENSHORES CANADA EVENT FEB. 20-21/18

REQUESTED BY: [Signature]
Director's Signature

ACCOUNT NO.	AMOUNT
<u>01-2-1950-0378-116</u>	<u>488.00</u>

FOR FINANCE USE ONLY

BUDGET APPROVAL [Signature]

Approval at Regional Board Meeting of _____

Finance Authorization _____

From: Ken Traynor ken.traynor@gmail.com
Subject: Request for CVRD assistance for CLRSS workshop attendance
Date: Jan 15, 2018, 11:53:23 AM
To: Ian Morrison imorrison@cvrd.bc.ca

Dear Ian - This email is to request assistance from the CVRD to help cover the costs for a representative from the CLRSS to attend a workshop on shoreline restoration techniques sponsored by Greenshores Canada in Vancouver at BCIT on Feb 20-21, 2018. Our organization feels that having someone trained in their audit techniques will greatly assist the implementation of our ongoing Riparian Restoration program carried out in partnership with BCCF.

We estimate that the costs to attend the two day workshop will be \$900 made up of Course fees of \$488 and travel and accommodation costs of \$412.

Detailed information on the Workshop can be accessed at
http://stewardshipcentrebc.ca/Green_shores/training/.

I look forward to hearing from you about the possible support for these activities.

Sincerely

Ken Traynor
Treasurer
Cowichan Lake and River Stewardship Society
ken.traynor@gmail.com
225 Johel Road
PO Box 1700
Lake Cowichan, BC V0R 2G0
[250-932-9324](tel:250-932-9324)



DATE: Tuesday, January 9, 2018
 TIME: 19:00-21:00

MINUTES of the Electoral Area E Advisory Planning Commission held on the above noted date and time at 175 Ingram Street, Duncan, B.C., CVRD Boardroom.

PRESENT:

Chairperson: Susan Kaufmann
 Secretary: Justin Straker
 Members: David Coulson
 Celina Gold
 Patrick Jackson
 Parker Jefferson
 Julia Rylands
 Ken Smith
 Marianna Terauds

ALSO present:

Director: Alison Nicholson
 Staff: Bev Suderman, Larissa Barry-Thibodeau, CVRD

ABSENT:

Sarah Davies-Long
 John Salmen

APPROVAL OF AGENDA

It was moved and seconded that the agenda be approved.

MOTION CARRIED

ADOPTION OF MINUTES

It was moved and seconded that the minutes of Dec. 12, 2017 be accepted.

MOTION CARRIED

BUSINESS ARISING FROM MINUTES

None.

REPORTS

Chair's report:

Discussion of a possible hydrocarbon-contaminated drainage water in a proposed development and whether bioswales are an appropriate method for treating such, particularly when the downstream receiving environment contains

fish habitat. Report from Rob Conway is that the civil engineer for the proponent states that the bioswale approach is effective and acceptable, but that the proponent will connect the drive-thru drainage to the parking-lot oil-water separator.

Several applications are pending. Snow conditions prevent a site visit for the most current application. A date will be scheduled for a site visit when conditions permit.

Director's report:

None.

Planner's report:

- Discussion on changing meeting structure to hold specific meetings dedicated to completion of the OCP, subsequent to or additional to the regular APC meetings.
- Proposed first draft of the OCP by February 9, 2018.

ADJOURNMENT

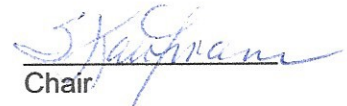
It was moved that the meeting be adjourned at 7:35 pm.

MOTION CARRIED

NEXT MEETING: Next APC meeting is Tuesday, February 13, 2018.



Secretary



Chair



Area F APC Minutes

Date: 15 Jan 2018

Time 7 PM

MINUTES of the Electoral Area F Advisory Planning Commission held on the above noted date and time in the Lower Meeting Room of the Centennial Hall in Lake Cowichan

PRESENT:

Chairperson -	Sharon Devana
Vice Chairperson -	Joe Allan
Secretary -	Peter Devana
Members -	Jim Fielding, Mary Lowther

ALSO present:

Director -	Ian Morrison
Guests -	Applicant Paul Cooper

Absent -	Thor Repstock APC Member
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The Chair, Sharon Devana called the Meeting to order at 7 PM

ACCEPTANCE OF MINUTES:

Motion 1

It was Moved and Seconded that the minutes of the Area F APC meeting 11 Sept 2017 be accepted.

Motion 1 Carried

ORDER OF BUSINESS:

Item 1 – Election of Area F APC officers for 2018.

Director Ian Morrison took over the Chair for the process of this election.

Sharon Devana was nominated for position of Chair. There were no further nominations and Sharon Devana was acclaimed Chair for 2018.

Joe Allan was nominated for position of Assistant Chair. There were no further nominations and Joe Allen was acclaimed Assistant Chair for 2018.

Peter Devana was nominated for position of Secretary. There were no further nominations and Peter Devana was acclaimed Secretary for 2018.

Director Morrison then turned the Meeting over to the Chair Sharon Devana

Item 2 – CVRD File No.02-F-17RS-Rezoning application.

The Chair asked the applicant to explain his Rezoning Proposal to the APC and to explain why he wanted the Zoning to be changed to R2 .

Discussion

Following his presentation the Members discussed all aspects in great detail taking the CVRD's Staff recommendations into consideration. When all their concerns had been satisfactorily addressed, the following motion was made:

Motion 2 – It was Moved and Seconded that “ Subject Rezoning be Approved to R2 in accordance with Area F Zoning Bylaw 5.11 with the following considerations:

1. That current Forest stock be retained as much as possible;
2. That public access from the road, through the park to the Hydro Right of Way be guaranteed and maintained; and
3. That the Applicant should not have to adhere to the Area E OCP policies outlined in 7.1.1, 7.1.6, and 7.3.1.”

Motion Seconded

Motion 2 Carried

Item 3 - Proposed Dates for Next Working Group Meeting for the re-write of Area F OCP.

After a short discussion it was decided that our next Working Group Meeting would be held Tues 23 Jan 2018 and /or Tues 30 Jan 2018.

These dates would be forwarded to Mike Tippet for his approval and arrangements for the meeting or meetings would be arranged depending on his approval of these dates.

Item 4- Joe Allan, our representative on the Sahtlam Local Area Plan (Slap) committee gave us an update and written report concerning progress being made on this Local Area Plan. He said things were going well and his only concern was that the plan, when adopted, could be overlaid with ideas contained in the Area E updated OCP.

New Business - No New Business

Adjournment

There being no further business, a motion was made for adjournment and seconded.

Carried

Meeting adjourned at 0832 hrs 15 Jan 2018

Signed (Certified Authentic),

Peter N Devana

Secretary

Copies to:
Area F APC members
Electoral Area Services committee ds@cvrd.bc.ca

cc to CVRD Planner Sheila Herrera
cc to Area F Director Ian Morrison
cc to Alternate Director Dave Darling



MEETING MINUTES

South Cowichan Parks Commission Meeting

October 23, 2017

Arbutus Ridge Board Room

6:30 p.m. – 8:30 p.m.

Present: Electoral Area A – April Tilson; Electoral Area B – Matthuw Ronald-Jones, Director Sierra Acton; Electoral Area C – Lynn Wilson-Chair, Director Matteus Clement; Electoral Area D – Kerrie Talbot, Director Lori Iannidinardo; Electoral Area E – Director Alison Nicholson; CVRD – Graham Gidden, Brian Farquhar.

Regrets: Electoral Area A – Director Kerry Davis; Electoral Area C – John Krug; Electoral Area E – Frank McCorkell

Meeting started at 6:30 p.m.

1. Approval of the agenda - APPROVED
2. Adoption of the 9/11/17 meeting minutes - ADOPTED
3. Business arising from the minutes
 - a. Quarry Nature Park Visitor Survey – FOR INFORMATION

Graham Gidden presented the results from 51 collected surveys. The park receives approximately 75,000 vehicle visits a year or 115,000 person visits yearly. This translates into about 300 persons and 80 dogs a day. Approximately 51% of park visitors are from Electoral Areas A, B, and C. The main parking area occasionally reaches peak capacity, resulting in overflow parking along the road. Given the complexity of the park, additional information and consultation is necessary prior to undertaking potential parking area improvements.

- b. Bright Angel Park Presentation of Draft Management Plan – FOR INFORMATION

Graham Gidden presented the draft Bright Angel Park Management Plan for review and comments. Graham would like any written comments back by mid-November. The final draft management plan will be available for public review in early 2018 and should be ready for CVRD Board approval in spring 2018.

- c. South Cowichan Parks Function Annual Requisition – MOTION PASSED

Brian Farquhar recounted the history of the 2001 establishment of the South Cowichan Parks function. Although the function was established by the CVRD BOD, it operates without a policy framework which complicates decision-making. The function currently operates at its maximum requisition limit (\$62,500),

which is considered inadequate for actual park needs. The tax requisition could be increased 24.99% once in five years (to \$78,500), but the function still needs to be defined. Discussion ensued about the function and whether it should continue as is, take some other form, or be dissolved. Staff offered to develop a draft policy framework for the South Cowichan Parks function in 2018.

MOTION: Recommend to the CVRD Board of Directors that CVRD staff define the South Cowichan Parks function in 2018 with SCPC member input.

MOTION UNANIMOUSLY APPROVED

4. New Business - NONE
5. Directors Reports - NONE
6. Upcoming Events – Shawnigan Lake is hosting a trails work party November 3rd from 10 a.m. to 2 p.m. at Baldy Mountain. Cowichan Bay is hosting a “community conversations” event at Bench School on November 16th at 7 p.m.
7. Adjournment at 8:35 p.m.
8. Next Meeting—at call of Chair, Lynn Wilson



Minutes: Area A Parks Commission Meeting
January 11, 2018

Present: April Tilson, Brook Adams, Sharon Arnold, David Keir, Director Kerry Davis, Bonnie Mills, Libby Connor and Nancy Crichton

The meeting was called to order at 7 PM by April Tilson

Review of Directors report: The Director has presented his recommendations to the board for the establishment of a Parks and Trails Services Select Committee for review. The Regional Recreation Select Committee is in place and the results of their study have revealed the numbers of people using the various parks and trails and from which communities/areas they come. The funding and governance appear to be mismatched. The Director also suggested that in the spring, we visit the parks in our area to see where maintenance could potentially be minimized by allowing for native plant species to naturalize these parks, replacing lawns where it makes sense.

The Ministry of Transportation and Infrastructure is working on a means for roadside pathways to be built in Electoral Areas. The director noted that the 2018 budgets were passed and that \$25,000 was added to Area A Parks capital reserves in anticipation of roadside pathways.

Discussion of Bright Angel Park Draft Management Plan:

It was noted that this is a 2017 to 2032 lease from the provincial parks and the park is in need of significant capital improvements. This park will continue to provide recreational use for our communities. It was noted BAP will not be sold to private group for development. Current budget for BAP maintenance is \$65,800.00, Area A contributes \$13,650.00 of that in 2018.

Review of the Volunteer Policy memo was reviewed and liability issues were well covered. There was a brief discussion on who volunteers for parks activities, clean-ups, improvements, etc. The policy seems to cover all potential volunteers, their activities, and what supervision is needed. It appeared to be comprehensive and allows for flexibility.

"Volunteer Appreciation Dinner". February date is yet to be announced.

It was moved that the Meeting be concluded at 8:00 PM.

Bonnie Mills



Minutes of Area B Parks Commission Meeting held on 19/10/2017 at 7.00 p.m. in the Shawnigan Lake Community Centre in Shawnigan Lake, BC.

PRESENT Matthuw Ronald-Jones, Glenn White, Sierra Acton, Lisa Large, Bruce Stevens
Scribe David Procter
Guests
Absent Sarah Mallerby, Catherine Whittome, Jeff Patterson
CVRD Staff Brian Farquhar

APPROVAL OF AGENDA Moved and seconded, agenda approved.

MOTION CARRIED

M1 - ADOPTION OF MINUTES Moved and seconded, minutes approved.

**ORDER OF BUISSNESS
NEW BUSINESS**

All members are to review CVRD restructure Parks Commission plan and provide feedback next meeeting

Tabled

ADJOURNMENT Moved and seconded, meeting adjourned at 8.50pm

MOTION CARRIED

Next Meeting 16/11/2017

Chair

Scribe



Minutes of Area B Parks Commission Meeting held on 16/11/2017 at 7.00 p.m. in the Shawnigan Lake Community Centre in Shawnigan Lake, BC.

PRESENT Matthu Ronald-Jones, Glenn White, Sierra Acton, Lisa Large, Bruce Stevens, Jeff Patterson
Scribe David Procter Guests
Absent Catherine Whittome CVRD Staff

APPROVAL OF AGENDA Moved and seconded, agenda approved.

MOTION CARRIED

MI-ADOPTION OF MINUTES Moved and seconded, minutes approved.

**ORDER OF BUISSNESS
NEW BUSINESS**

1 All members are to review CVRD restructure Parks Commision plan and provide feedback next meeeting
Tabled

2 Request for CVRD staff to inquire with Shawnigan Lake School regarding the purchase of Shawnigan Hills Park. Proceeds of the sale to be used for purchase of lakefront land for parks. Please advise commission as to the protocol and feasibility for the sale of a Park.
MOTION CARRIED

ADJOURNMENT Moved and seconded, meeting adjourned at 8.10pm
MOTION CARRIED

Next Meeting 18/01/2018

Chair

Scribe



Cobble Hill Parks Commission Meeting
December 4th, 2017
Youth Hall - 3665 Watson Avenue, Cobble Hill, B.C.
Minutes

Present: John Krug – Chair, Bill Turner, Gord Dickenson, Dennis Cage, Ruth Koehn, Lynn Wilson, Jennifer Symons, Annie Ingraham

Regrets: Allan Seal, Matteus Cement – Area “C” Regional director

Guest: Brenda Donn

Moved/seconded *that the agenda is approved as circulated.* Carried

Moved/seconded *that the minutes of the November 6th, 2017 are adopted as circulated.*

Carried

Volunteer hours: 2

Correspondence: Staff report on volunteer activities:

- Questions were asked as to the reason for a Staff member only to supervise volunteer activities when formerly it was the Regional Director or Alternate Director?
- Another question was: How was the mandated number of 7 commission members arrived at when formerly the number of members on Parks Commissions and Advisory Planning Commissions was at the discretion of the Regional Director?
- Also, the mechanics of selecting a Parks Commissioner are unclear. Obviously the Regional Board appoints these members, but that is a rubber stamp procedure only. Each Electoral Area is unique, and the number of Parks Commissioners varies greatly amongst them. The Area Director is aware of who in the community would be valuable commission member; the same holds true for APCs. These commissions are advisory groups and not overarching such as Economic Development and Environmental that encompass the entire CVRD. The rationale given for an uneven number of commission members was to prevent ties in voting. This is simply unnecessary, as in our 10 year experience, we have never had a tie, and it is unknown how many commissioners will be in attendance at a given meeting.

Further information and discussion is required.

Business Arising From the Minutes:

Cobble Hill Common:

- Motion – Moved/seconded *that gas tax funding should be used to complete the Common Project and not funds from the Cobble Hill Parks budget.* Carried.
- Band shell – A low cost, temporary band shell option was discussed as a trial, with the objective of determining the feasibility of a permanent structure.

Quarry Nature Park Traffic Study:

- The study provided some valuable information with the 51 respondents, however, to be statistically significant considering the number of visitors, 500 responses would be required. The picture of parked vehicles at the yellow gate up Empress Avenue is a separate issue from parking at QNP. These visitors are entering the Regional Recreation Area and would not park at the base of Cobble Hill Mountain if there was a parking lot the size of Costco's. If these vehicles are illegally parked, it is an enforcement issue. If they are legally parked, there is no issue.

South Cowichan Parks Meeting of October 23rd, 2017 Report:

- Lynn Wilson, SCPC Chair, reported on key items discussed at the meeting, including Graham Gidden's presentation of the Quarry Nature Park Visitor Survey and the Bright Angel Park Draft Management Plan, and a motion to ask CVRD staff to review the South Cowichan Parks Commission function in 2018.

Unfinished Business:

- Motion – *that Staff approach MoTI to determine if the right-of-way on the north side of the Common could be purchased, and further that the information be given to the Area Director.*

New Business:

- John Krug will be taking a sabbatical from the Cobble Hill Parks Commission while he assists the Heritage Museum Project. He requested that Lynn Wilson assume the Chair in his absence. Lynn agreed, providing that she stands for election at the January meeting. An election will be held on January 8th for the positions of Chair, Alternate Chair and Secretary.
- The project on William Shearing Park has been largely completed, although there is some grass planting and other minor items to be finished as the weather allows in the spring.

The next regular meeting of the Cobble Hill Parks Commission will be held Monday, January 8th, 2018 at 7:00 pm in the Youth Hall on 3665 Watson Avenue

Adjournment: 8:30 pm

Submitted by John Krug



Minutes of the regular meeting of the Area I (Youbou/Meades Creek) Parks Commission

Held in the Upper Community Hall, 8550 Hemlock St. Youbou BC on Tuesday, Dec. 12, 2017

at 7:00 PM.

Present: Chairperson Marcia Stewart

Vice Chair Rob Somers

Don Macdonald

Area Director – Klaus Kuhn

Regrets: Duncan Hume

Approval of Agenda:

It was moved and seconded that the agenda be approved.

Motion carried.

Adoption of Minutes:

It was moved and seconded that the minutes of the regular Area I (Youbou/Meades Creek) Parks Commission meeting held on Oct, 10 2017 be adopted.

Motion carried.

Business Arising from Minutes: It was noted that a split rail section of fence was installed at Little League Park to bar the gap where 4x4 vehicles had accessed the grassy area near the children's play equipment. Thank you to CVRD staff.

The budget presentation by Mr. Farquhar was not as comprehensive as in past years. Why doesn't the commission get a more detailed account as has been the case previously?

REPORTS

Area I Director: - Area director Klaus Kuhn gave his report. In it, Klaus reports that the Area I budget has increased by 7%. The parks maintenance budget has increased by 14%.

- Mile 77 Park is to be closed for 2018 which will save approx. \$12,000.00.

Motion – The Parks Commission requests information as to why the parks budget has increased by 14%.

Motion seconded. Motion carried.

Cowichan Lake Rec: No report.

Chair Report: No report.

CVRD Report: No report.

Old Business:

-Arbutus Park – Work has started on the revitalization. The wooden surround for the Porta Potties has been removed. We'd like to ensure that it gets returned upon completion of the revitalization.

- The Carley Cove subdivision is still in negotiations.

New Business:

- Mile 77 Park will be closed for 2018. It's future is unknown at the moment.
- Maintenance will not be reduced at Little League Park. The cost is justified by it's use.

Adjournment

It was moved and seconded that the regular meeting of Area I Parks Commission be adjourned.

Motion Carried

Meeting adjourned at 8:20 PM

The next regular meeting is scheduled for Tuesday, Jan. 9th, 2018



STAFF REPORT TO COMMITTEE

DATE OF REPORT January 26, 2018
MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018
FROM: Development Services Division
 Land Use Services Department
SUBJECT: Development Permit Application No.11-B-17DP (1790 Empress Road)
FILE: 11-B-17DP

PURPOSE/INTRODUCTION

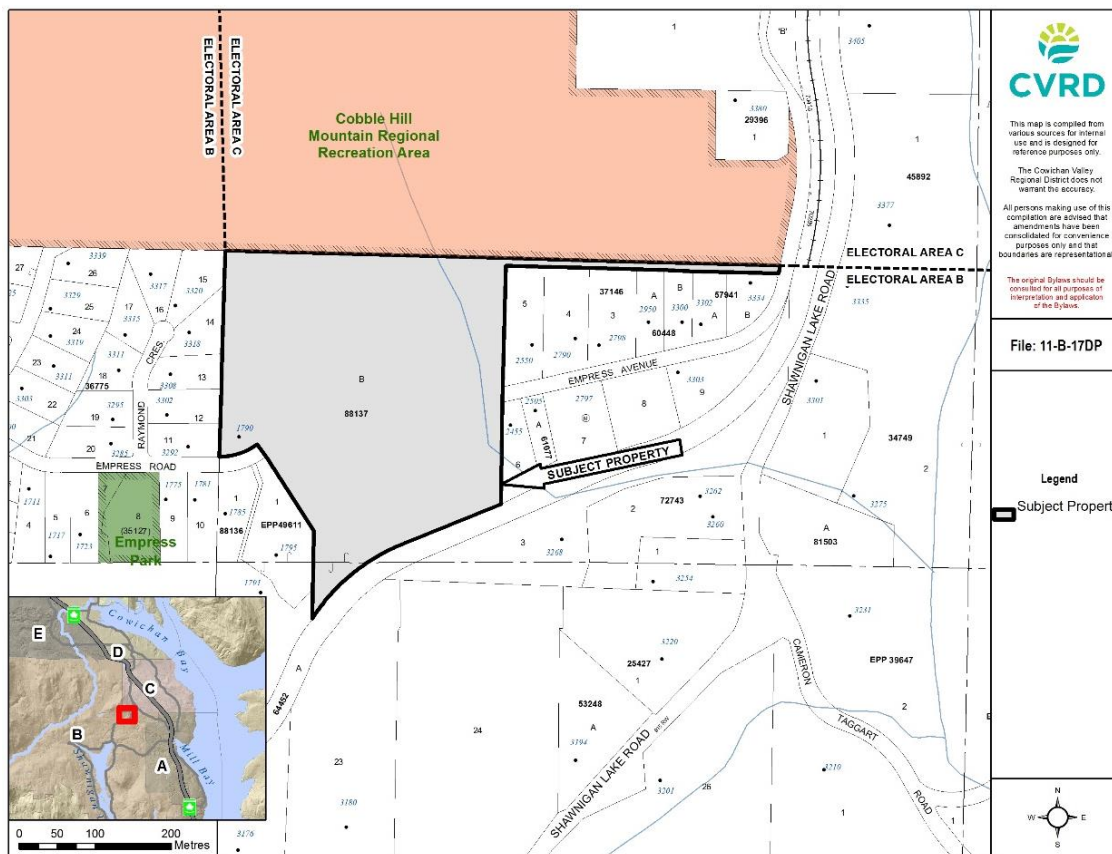
The purpose of this report is to present a Development Permit Application for subdivision of 1790 Empress Road.

RECOMMENDED RESOLUTION

That it be recommended to the Board:

1. That Development Permit Application No. 11-B-17DP (1790 Empress Road) be approved;
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of the development permit guidelines of Official Community Plan Bylaw No.3510; and
3. That Covenant FB358241 be discharged from the land title of the subject property.

LOCATION MAP



BACKGROUND

<u>Address:</u>	1790 Empress Road, Cobble Hill
<u>Legal Description:</u>	Lot B, Sections 8 and 9, Range 5, Shawnigan District, Plan VIP88137 (PID: 028-274-121)
<u>Applicant / Owners:</u>	Jason Whitehead (agent)
<u>Size of Parcel:</u>	13.56 ha (33.50 ac)
<u>Existing Use of Property:</u>	Single residential dwelling
<u>Use of Surrounding Properties:</u>	<u>North:</u> Cobble Hill Mountain Regional Recreation Area <u>East:</u> R-2 single dwelling subdivision <u>South:</u> R-2 larger lots <u>West:</u> R-2 single dwelling subdivision
<u>Existing Water:</u>	Community system – Burnum Water System
<u>Existing Sewage Disposal:</u>	On-site sewerage system
<u>Existing Drainage:</u>	On-site drainage / owner's responsibility
<u>Archaeological Site:</u>	None identified
<u>Official Community Plan Designation:</u>	Rural Residential (RR)
<u>Zoning:</u>	Suburban Residential (R-2)
<u>Development Permit Area (DPA):</u>	South Cowichan Rural DPA

Site and Surrounding Properties

The subject property is a large lot of 13.56 hectares (33.50 acres). The main driveway into the subject property is at the end of Empress Road. The property also has road frontage on Empress Avenue to the east. A single residential dwelling currently occupies the property, and the majority of the lot is treed.

- **See Attachment A – Aerial Photo**

APPLICATION SUMMARY

The applicant proposes to subdivide the property by creating one new lot. The proposed new lot is 0.4 hectares and will be connected to the Burnum Water System. The remainder lot will be 13.16 hectares. The property currently has a connection to the Burnum Water System, however this existing connection will be retained for exclusive use by the new 0.4 ha parcel. The remainder lot will be serviced by an existing well.

- **See Attachment B – Proposed Subdivision Plan**

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

In accordance with the CVRD Development Application Procedures and Fees Bylaw No. 3275 this application was not referred to the Electoral Area B – Shawnigan Lake Advisory Planning Commission (APC).

The Water Management Division has commented on this subdivision. While the applicant is able to utilize their existing connection to provide water to the new lot, there is no further capacity in the Burnum Water System for any new connections.

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONSSouth Cowichan OCP No.3510

A Development Permit is required due to the subject property falling within the South Cowichan Rural Development Permit Area (DPA) of the OCP. The DPA contains a set of site planning guidelines that apply to subdivisions; therefore, the application for a Development Permit (DP) is required, and must be issued prior to final approval of the subdivision. The Development Permit application must address the following guidelines:

- 24.4.1 General Guidelines
- 24.4.6 Landscaping, Rainwater Management and Environmental Protection Guidelines
- 24.4.14 Subdivision Guidelines

- **See Attachment C – DPA Guidelines**

Shawnigan Lake Zoning Bylaw No.985

The subject property is located within the Suburban Residential (R-2) Zone of the Shawnigan Lake Zoning Bylaw. *Part Fourteen – Area, Shape and Dimensions of Parcels* provides the regulations that apply to new subdivisions. The minimum parcel size for the R-2 Zone is 0.4 ha when connected to a community water system; and 1.0 ha when not served by either community water or sewer.

Discharge Existing Covenant

There is an existing covenant on title that was registered as part of a previous subdivision (subdivision for a relative). The covenant was required for a period of 5 years from the date the subdivision occurred, which was July 7, 2010. As the covenant has now been satisfied the applicant has requested that the covenant be discharged, which requires a Board Resolution. Staff recommends that the Board approve the request to discharge the existing covenant (FB358241) as the covenant serves no further purpose.

- **See Attachment D – Covenant FB358241**

PLANNING ANALYSIS

Despite the Burnum Water System not having any further capacity for new connections, the applicant is able to use the existing community water connection at 1790 Empress Road for the new lot. This existing connection will be exclusively utilized by the new lot, as the large remainder lot will connect to an existing well. As such, one new lot can be created as it will be connected to a community water system and meets the minimum lot size of the R-2 zone.

For subdivision, the applicable DPA guidelines generally seek to ensure that invasive species are removed, that there are no geotechnical or hazardous issues, and that rainwater is adequately managed on-site. DPA sections are attached for referencing the complete list of guidelines.

A geotechnical report was not requested, as there was no known hazards on the property. The applicant has a background in landscape architecture and horticulture, and has stated that there are no invasive species on the proposed new ^{1-*}39. In addition, percolation tests were performed

that indicate excellent water absorption capability. The applicant intends to construct rock pits to assist with drainage from the roof and foundation perimeter drains (of the future dwelling), and has stated that should construction occur in the wet season, hay bales and filter fabrics can be located in areas of rain water flow to contain any silt flow. These conditions are reflected on the attached draft DP.

The applicant intends to further subdivide the remainder parcel in the future when water connections are available, and further study of the remainder parcel would be required at that time. The current layout of the proposed new lot has taken into consideration the future development potential of the site and future road networking (Empress Road and Empress Avenue will eventually connect).

As the proposed subdivision meets the intent of the DPA guidelines, Staff recommends Option 1. A copy of the draft DP is attached.

- **See Attachment E – Draft Development Permit**

OPTIONS

Option 1

That it be recommended to the Board:

1. That Development Permit Application No. 11-B-17DP (1790 Empress Road) be approved;
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of the development permit guidelines of Official Community Plan Bylaw No.3510; and
3. That Covenant FB358241 be discharged from the land title of the subject property.

Option 2

That it be recommended to the Board that Development Permit No. 11-B-17DP (1790 Empress Road) be denied based on stated inconsistency with specific guidelines.

Prepared by:

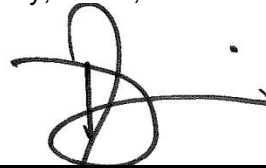


Sheila Herrera, MCIP, RPP
Planner II

Reviewed by:



Rob Conway, MCIP, RPP
Manager



Ross Blackwell, MCIP, RPP, A. Ag.
General Manager

ATTACHMENTS:

- Attachment A – Aerial Photo
- Attachment B – Proposed Subdivision Plan
- Attachment C – DPA Guidelines
- Attachment D – Covenant FB358241
- Attachment E – Draft Development Permit



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

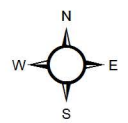
File: 11-B-17DP

TRIM Orthophoto (2014)



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SUBJECT PROPERTY

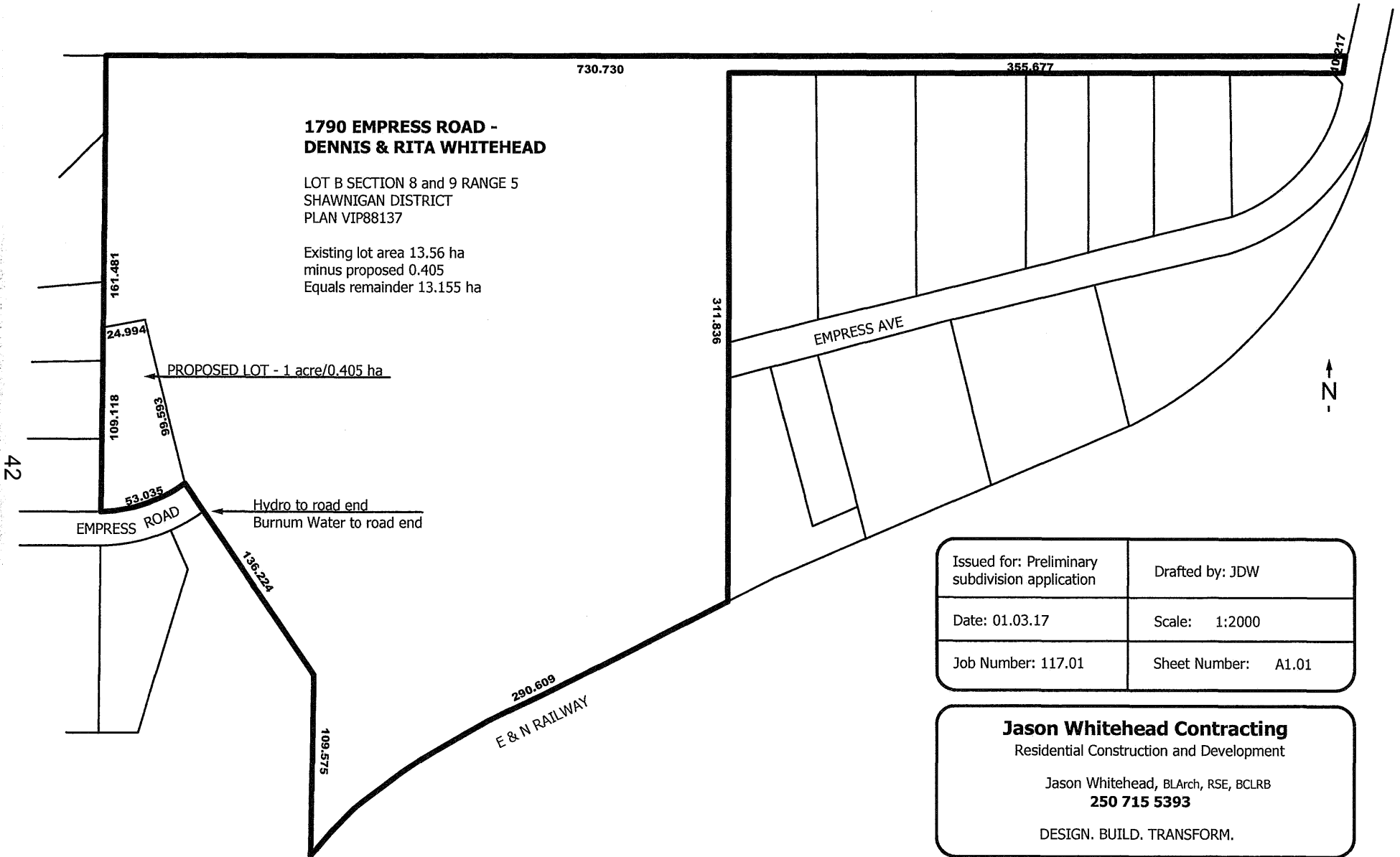


R1

**1790 EMPRESS ROAD -
DENNIS & RITA WHITEHEAD**

LOT B SECTION 8 and 9 RANGE 5
SHAWNIGAN DISTRICT
PLAN VIP88137

Existing lot area 13.56 ha
minus proposed 0.405
Equals remainder 13.155 ha



Issued for: Preliminary subdivision application	Drafted by: JDW
Date: 01.03.17	Scale: 1:2000
Job Number: 117.01	Sheet Number: A1.01

Jason Whitehead Contracting
Residential Construction and Development

Jason Whitehead, BLArch, RSE, BCLRB
250 715 5393

DESIGN. BUILD. TRANSFORM.

24.4 Rural Development Permit Area: GUIDELINES and EXEMPTIONS

Prior to commencing any development, including subdivision, construction or land clearing, on lands within the South Cowichan Rural Development Permit Area, unless exempted below, the owner will submit information that demonstrates how the proposed development meets the guidelines in the following Sections:

24.4.1A General Guidelines

1. In all cases where a development permit is required, the eradication of invasive weeds, such as English Ivy, Scotch Broom, Gorse, Himalayan Blackberry, Morning Glory and Purple Loosestrife, and other non-native invasive weeds listed by the Coastal Invasive Plant Committee and the BC Landscape and Nursery Association, will be a requirement of the development permit.
2. In all cases where a development permit is required, the best management practices within the Ministry of Environment *Develop with Care: Environmental Guidelines for Urban and Rural Land Development in British Columbia* will be encouraged.
3. Where the Regional District considers that construction would be on land that is subject to or is likely to be subject to flooding, mud flows, debris flows, debris torrent, erosion, landslide, rock falls, subsidence or avalanche, the applicant may be required to provide a report certified by a professional engineer with experience in geo-technical engineering indicating that the development will not result in property damage or the loss of life on the site or in the surrounding area.

24.4.1B General Guideline Exemptions

The General Guidelines do not apply to development that does not require a development permit under Sections 24.4.2 through 24.4.15.

24.4.6 A: Landscaping, Rainwater Management and Environmental Protection Guidelines

The Landscaping/Rainwater Management/Environmental Protection Guidelines apply to the subdivision of land, and to commercial, industrial, multiple family and intensive residential development and their accessory uses.



1. Preparation of a landscaping plan by a British Columbia Society of Landscape Architects (BCSLA) or BC Landscape and Nursery Association (BCNTA)-certified landscape architect is preferred. Any landscaping plan submitted with an application for a development permit, whether professionally prepared or not, will be assessed by the CVRD according to BCSLA/BCNTA guidelines.
2. All required landscaping plans should be integrated with a rainwater management plan, which should favour natural solutions to drainage such as rain gardens and bio-swales, and should contain measures to limit impervious surfaces. The rainwater management plan must be prepared by a professional engineer with experience in drainage and submitted with the application for any commercial, mixed use or multiple family residential development proposal.
3. Runoff from the development must be strictly limited to prevent rainwater flows from damaging roads, surrounding properties and sensitive watershed features. Pervious surfaces should predominate, to encourage infiltration of water. The removal of trees should only be allowed where necessary and where alternate vegetation and water retention measures can be achieved.
4. For subdivision, where appropriate, lands should remain in a natural state, with landscaping measures used to provide rainwater infiltration.
5. All public areas should be landscaped, including entrances, building peripheries, parking and pedestrian areas, and open space areas, in a way that is complementary to both the site and surrounding lands.
6. Streetscape design should incorporate treatments that enhance the pedestrian experience and create a sense of local identity. Public streetscape amenities including walkways, benches, planters, and bike racks should have a high quality of design.
7. The appearance of large buildings should be enhanced using plants, shrubs and trees, and where necessary, hard landscaping treatments such as terraced retaining walls,



planters, gardens, special features such as a courtyards or fountains, outdoor seating and decorative paving or lighting.

8. Developments should incorporate and emphasize native landscape materials, and use drought resistant plants to reduce irrigation needs.
9. Industrial and commercial development visible from the Trans Canada Highway or major network roads should be screened and landscaped, including entrances, building peripheries, parking and pedestrian areas, and open space areas. The landscaping should consist of a mix of coniferous and deciduous vegetation, with low plantings and taller tree species at intervals.
10. Sites should not be dominated by areas of bark mulch, gravel or other similar materials.
11. Walkways or trails must be developed to encourage walking and cycling and to connect the development with surrounding areas. Public ocean views and access are encouraged.
12. A landscape buffer should be provided on industrial lands that adjoin a parcel within a residential land use designation. For industrial parcels with a potential for noise, smell or sight impacts, the minimum width of the landscape buffer should be 20 metres.

24.4.6 B Landscaping, Rainwater Management and Environmental Protection Guideline Exemptions

The Landscaping, Rainwater Management, and Environmental Protection Guidelines do not apply to:

- a. single family residential subdivision if the subject property is located within a CVRD Drainage Control Area;
- b. Construction of single family dwellings.

24.4.14 A Subdivision Guidelines

The Subdivision Guidelines apply to the subdivision of land, regardless of the land designation.

1. A trail system should link neighbourhoods to amenities and, where possible, provide corridors of native vegetation that can provide for groundwater infiltration.
2. The removal of trees should only be allowed where necessary and where alternate vegetation and water retention measures can be achieved.
3. If a subdivision proposal is received in an area identified for major road network connection or improvement in the Transportation section of this OCP, any development permit issued should accommodate major road network and intersection improvements that have been identified.

24.4.14 B Subdivision Guideline Exemptions

The Subdivision Guidelines do not apply to proposed boundary adjustments between two or more parcels of land.

FB358242

-7 JUL 2010 14 41

FB358241

LAND TITLE ACT
FORM C
(Section 219.9)
Province of British Columbia
GENERAL DOCUMENT - PART 1

Page 1 of 5 pages

3/5

1. APPLICATION:

Hugh Armstrong Law Corporation, 157 Trunk Road, Duncan, B.C. V9L 2P1

746-4354 G-

Signature:

DYE & DURHAM (Agent)

2C

2. (a) PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

PID

Legal Description

Lot 2, Sections 8 and 9, Range 5, Shawnigan District, Plan VIP 88136

3. NATURE OF INTEREST
description

document reference

person entitled to interest

219 Covenant

entire document

Transferee

Priority Agreement giving priority over Mortgage No. EM63086 as Modified under No. EV139850, Assignment of Rents No. EM63087 and Mortgage No. CA153585 as Extended under No. ~~CA~~ FB358238

Page 4

Transferee

as 7/7/2010 2:41:34 PM 2 1
Charge 2 \$145.80

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) Filed Standard Charge Terms

D.F. NO.

(b) Express Charge Terms

XX

Annexed as Part 2

(c) Release

There is no part 2 of this instrument.

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

5. TRANSFEROR(S) / COVENANTOR(S):

DENNIS HAROLD WHITEHEAD and RITA ANN WHITEHEAD, AS JOINT TENANTS and both of 1795 Empress Road, Cobble Hill, BC, V0R 1L6 and ISLAND SAVINGS CREDIT UNION

6. TRANSFEREE(S) / COVENANTEE(S):


COWICHAN VALLEY REGIONAL DISTRICT, 175 Ingram Street, Duncan, British Columbia, V9L 1N8

7. ADDITIONAL OR MODIFIED TERMS: Nil

47

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interests described in Item 3 and the Transferors and every other signatory agree to be bound by this instrument, and acknowledges receipt of a true copy of the filed standard charge terms, if any.

OFFICER SIGNATURE

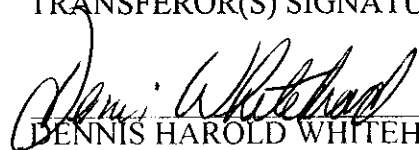


HUGH J. ARMSTRONG
Lawyer & Notary Public
157 Trunk Road
Duncan, B.C. V9L 2P1


(As to both signatures)

Execution Date
Y M D
10 05 21

TRANSFEROR(S) SIGNATURE(S)

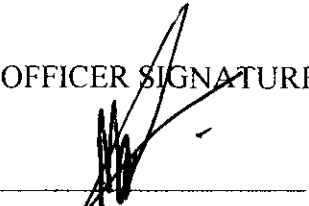


DENNIS HAROLD WHITEHEAD



RITA ANN WHITEHEAD

OFFICER SIGNATURE




MARK MARCIL
Commissioner for taking Affidavits
for British Columbia
Island Savings Credit Union
300 - 499 Canada Avenue
Duncan BC V9L 1T7


(As to both signatures)

Execution Date
Y M D
10 05 26

TRANSFEROR(S) SIGNATURE(S)
ISLAND SAVINGS CREDIT UNION
By its Authorized Signatory



Name: **William Moffatt**



Name: **Daneve Fitzgerald**

OFFICER SIGNATURE

Execution Date

10

TRANSFEEE(S) SIGNATURE(S)
Cowichan Valley Regional
District
By its Authorized Signatory(ies)

Name: _____

Name: _____

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act R.S.B.C. 1996, C.124 to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

TERMS OF INSTRUMENT - PART 2

219 COVENANT

This Agreement dated for reference the 3rd day of May, 2010,

Between:

Dennis Harold Whitehead and Rita Ann Whitehead of 1795 Empress Road, Cobble Hill, British Columbia, V0R 1L6

(the "Covenantor")

and

Cowichan Valley Regional District, of 175 Ingram Street, Duncan, BC, V9L 1N8

(the "Covenantee")

WHEREAS:

A. The Covenantor is the registered owner in fee simple of:

PID _____ Lot 2 Sections 8 and 9, Range 5, Shawnigan District, Plan VIP 88136

(The "Original Parcel");

B. The Covenantor proposes to subdivide the Original Parcel (the "Subdivision") into two lots according to a plan of Subdivision prepared by D.R. Carrier, B.C.L.S. and certified by him on the 26th day of April, 2010, a copy of which Plan is attached hereto as Schedule "A", into the following:

PID _____ Lot A, Sections 8 and 9, Range 5, Shawnigan District, Plan VIP 88137

PID _____ Lot B, Sections 8 and 9, Range 5, Shawnigan District, Plan VIP 88137

(the "Lots"); and

C. The Covenantee, in connection with the subdivision of the Original Parcel into the Lots, has requested the Covenantor to grant the covenants hereinafter contained, pursuant to section 219 of the Land Title Act.

D. Section 219 of the *Land Title Act* provides, among other things, that a covenant, whether of a negative or positive nature, in respect of the use of land, or subdivision of land, or the use of buildings on, or to be erected on, land or to protect, preserve, conserve, maintain, enhance the land or a specified amenity in relation to the land may be registered as a charge against the title to the land.

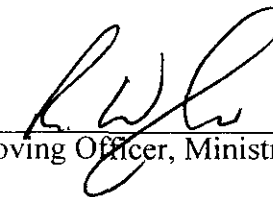

49

NOW THEREFORE, this Agreement witnesses that pursuant to Section 219 of the *Land Title Act* and in consideration of the premises and the covenants contained in this Agreement and for the sum of One Dollar (\$1.00) now paid by the Regional District to the Covenantor, the receipt and sufficiency of which is hereby acknowledged by the parties, the parties hereto covenant and agree with the other as follows:

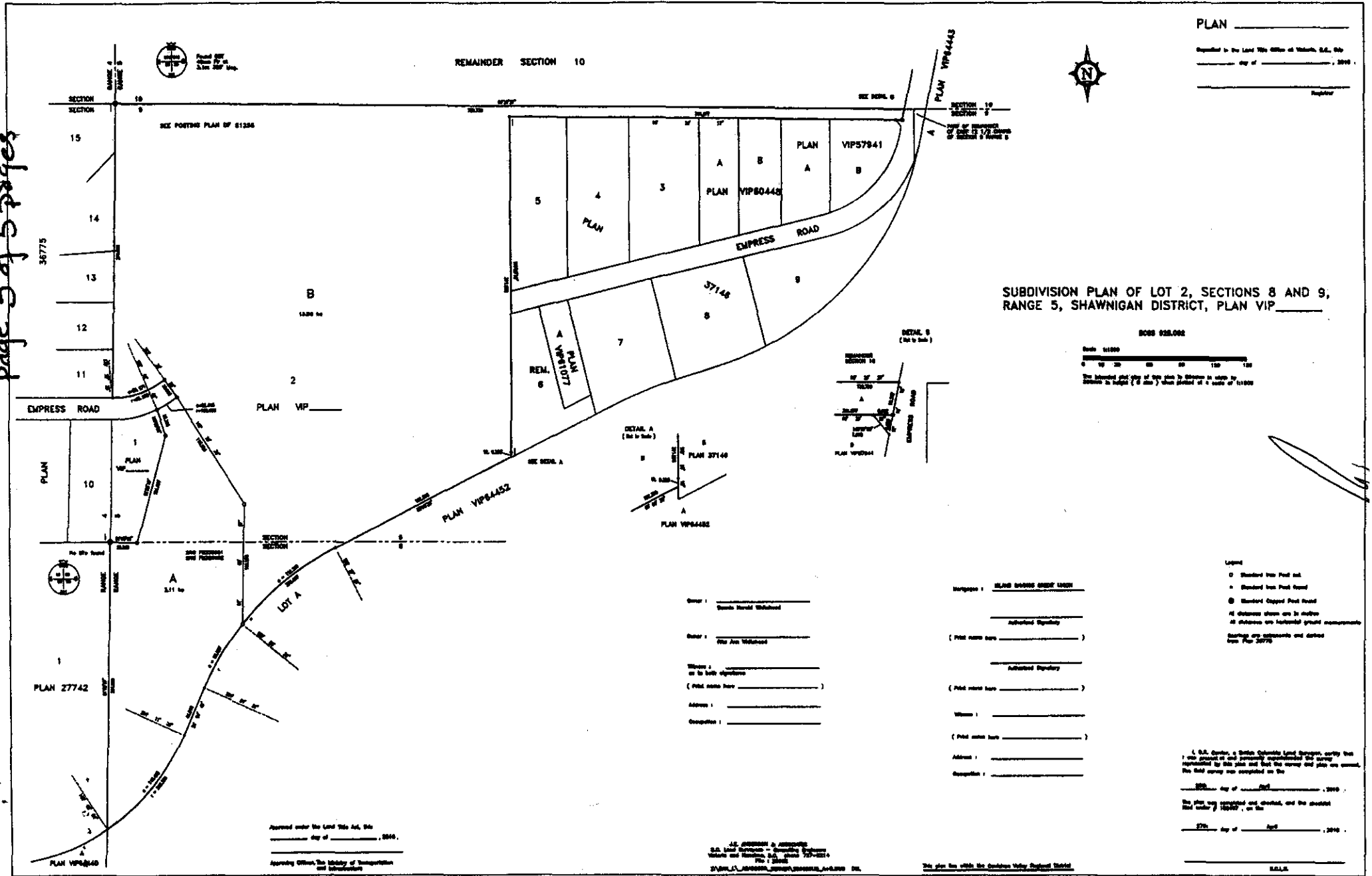
1. In order to comply with the provisions of the Local Government Act, the Covenantor covenants and agrees that the Lots will be used as required by subsection 946(7) of the Local Government Act as follows:
 - (a) for five years after subdivision under that subsection 946(7), the use of the Lots must not be changed from the use of the Original Parcel, unless the use is changed by bylaw, and
2. This Covenant shall enure to the benefit of and be binding upon the the parties hereto and their respective heirs, executors, successors and assigns.
3. We, ISLAND SAVINGS CREDIT UNION, the Mortgagees, hereby consent to the registration of the 219 Covenant as herein contained and grant priority to the aforementioned 219 Covenant over Mortgage No. EM63086 as Modified under No. EV139850, Assignment of Rents No. EM63087 and Mortgage No. CA153585 as Extended under No. ~~CA FB 358238~~ ^{FB} registered in the Victoria Land Title Office.

IN WITNESS WHEREOF the parties hereto hereby acknowledge that this Agreement has been duly executed and delivered by the parties executing Form C (pages 1 and 2) attached hereto.

This is the instrument creating the covenant entered into under section 219 of the *Land Title Act* by the registered owner referred to herein and shown on the copy of the Plan of Subdivision annexed hereto as Schedule A and initialled by me.



 Approving Officer, Ministry of Transportation





COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT

FILE NO: 11-B-17DP

DATE: _____

REGISTERED PROPERTY OWNER(S):

RITA & DENNIS WHITEHEAD

1. This Development Permit is issued and is subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands within the Regional District described below:

***LOT B, SECTIONS 8 AND 9, RANGE 5, SHAWNIGAN DISTRICT, PLAN VIP88137
 (PID: 028-274-121)***

3. Authorization is hereby given for **the subdivision of the subject property** in accordance with the following requirements:

- **Development shall occur in accordance with the attached Schedules;**
- **Rock pit (of adequate size for the new dwelling) to be installed on new lot and connected to roof and foundation perimeter drains prior to Building Occupancy;**
- **Soil erosion and sediment control measures including hay bales and filter fabrics to be utilized between October 1st and June 1st for any excavation and for any construction up to the lock-up stage.**
- **Any exposed soil piles to be covered within 24 hours.**

4. The following plans and specifications are attached to and form a part of this permit.

Schedule A – Location Plan

Schedule B – Proposed Subdivision Plan

5. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.

- 6. **This Permit is not final subdivision approval.** No certificate of final completion or recommendation of subdivision approval by the Cowichan Valley Regional District shall be issued until all items of this Development Permit have been complied with to the satisfaction of the Land Use Services Department.
- 7. Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

AUTHORIZING RESOLUTION **XXXX** PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE **XX** DAY OF **MONTH**, 201**X**.

I HEREBY CERTIFY that I have read the terms of the Development Permit contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with JASON WHITEHEAD (agent) on behalf of RITA & DENNIS WHITEHEAD (owners) other than those contained in this Permit.

Owner/Agent (signature)

Witness (signature)

Print Name

Print Name

Date

Date



STAFF REPORT TO COMMITTEE

DATE OF REPORT January 24, 2018
MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018
FROM: Development Services Division
 Land Use Services Department
SUBJECT: Development Permit Application No. No. 01-G-17DP (3835 Gardner Road West)
FILE: 01-G-17DP

PURPOSE/INTRODUCTION

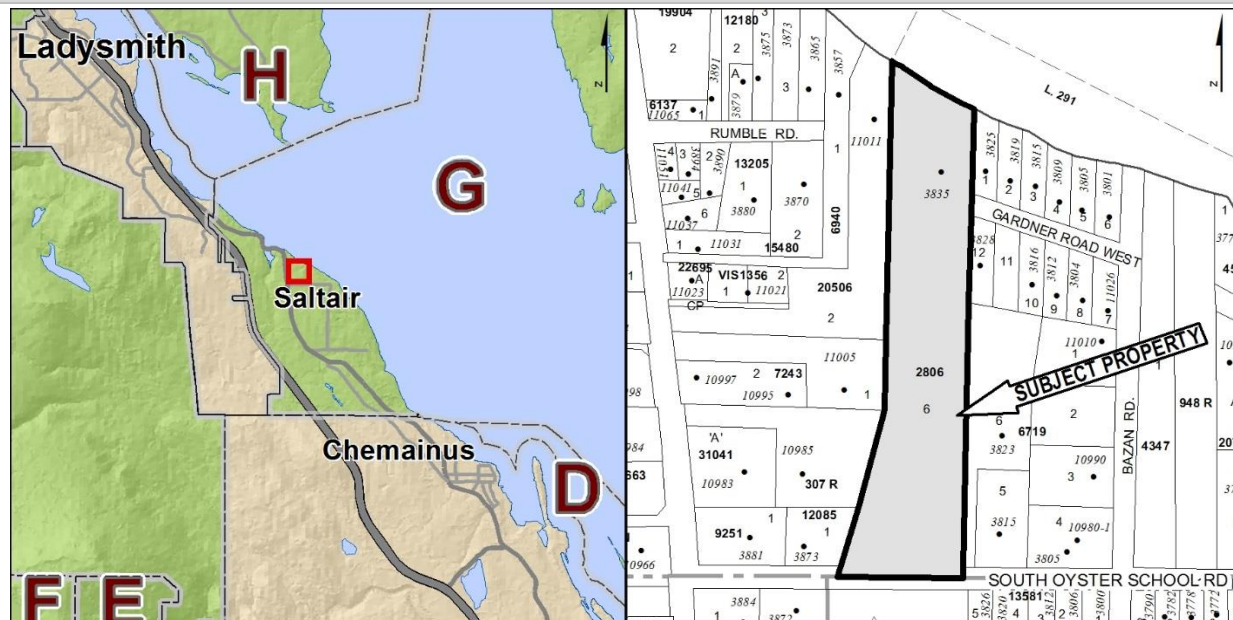
The purpose of this report is to present a Habitat Protection Development Permit application regarding a proposed 4-lot subdivision in Saltair.

RECOMMENDED RESOLUTION

That it be recommended to the Board:

1. That Development Permit Application No. 01-G-17DP (3835 Gardner Road West) for a four-lot subdivision be approved; and
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 2500.

LOCATION MAP:



BACKGROUND

Legal Description: Lot 6, District Lot 34, Oyster District, Plan 2806, except that part outlined in red on Plan 307-R (PID:006-374-743)
Address: 3835 Gardner Road West, Saltair
Date Application Received: August 4, 2017

<u>Owner/Applicant:</u>	Owners - Garry, Ian, Neil & Carolyn Isbister Applicant - Reg Harding (McElhanney Consulting)
<u>Size of Parcel:</u>	Approximately 33,660 m ² (8.32 acres)
<u>Zoning:</u>	R-3, Zoning Bylaw No. 2524
<u>Existing Plan Designation:</u>	Residential
<u>Existing Use of Property:</u>	Single family residential
<u>Use of Surrounding Properties:</u>	
North:	Oceanfront (W-1)
South:	Institutional (Saltair Community Centre--former Mount Brenton School--main tenant: Inquiring Little Minds Early Learning Centre) (P-2)
East:	General Residential (R-3)
West:	Suburban Residential (R-2)
<u>Road Access:</u>	Gardner Road West (existing)
<u>Applicable Development Permit Area:</u>	Habitat Protection (Eagle Nest)
<u>Fire Protection:</u>	Saltair Service Area (Ladysmith Fire Department)
<u>Archaeological Site:</u>	None identified

APPLICATION SUMMARY

The applicant is proposing to subdivide the land into four parcels: three 0.4 hectare (1 Acre) lots to the south adjacent South Oyster School Road, and a remainder lot of approximately 2.2 hectares (5.44 acres) to the north with the existing buildings and access off Gardner Road West.

The applicant proposes to locate the three new lots largely in agreement with the Bald Eagle Nest Assessment produced by Ecologic Registered Professional Biologist (RPBio) Sally Leigh-Spencer. Refer to Attachments C, E and D for further details.

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

Advisory Planning Commission December 19, 2017 Recommendation:

That the Advisory Planning Commission recommends approval of Development Permit Application No. 01-G-17DP. Carried Unanimously.

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

Cowichan Valley Regional District Official Community Plan No. 2500 (Area G–Saltair) includes the subject property in four Development Permit Areas (DPAs): Ocean Shoreline, Stormwater Management, Habitat Protection (Eagle), and Riparian Areas Regulation, but only the Habitat Protection (Eagle) DPA guidelines apply to this application.

The Habitat Protection Development Permit Area applies to areas of land within 60 metres of an eagle, hawk, osprey, owl or peregrine falcon nest. The DPA guidelines generally encourage the establishment of significant buffers, or areas which shall not be disturbed unless specific methods are used, or the work undertaken under the supervision of a qualified professional is present.

PLANNING ANALYSIS

The 3.36 hectare (8.32 acre) subject property is a narrow lot which extends over 400 metres from Stuart Channel in the north to South Oyster School Road in the south. An existing dwelling and out buildings sit on top of the ocean bluff within the northern approximately 100 metres of cleared land. South of this clearing the height of land increases gradually at about a 10% slope. The remainder of the lot consists of second-growth Douglas fir and cedar dominated forest with stands of remaining old growth trees. The understorey is dominated by English ivy and other invasive species. The subject bald eagle nest trees are located approximately within the northern 100

metres of forest. See photos below and the Bald Eagle Assessment report by Ecologic Consulting (Attachment E).

The subdivision and consequential development of the subject remainder of Lot 6 should not disrupt long-term nesting activities, subject to compliance with recommendations designed to mitigate potential impacts. It is intended that the findings of this Development Permit report, including the recommendations of the submitted Ecologic Bald Eagle Nest Assessment report (Attachment E), will be incorporated into any approval given for the subdivision. The report makes five recommendations to satisfy the development permit guidelines, summarized as:

- Retain a permanent 60-metre non-disturbance buffer and a 100-metre non-disturbance buffer during breeding season for each tree discussed;
- *Avoid tree clearing, and road construction and chain saw use, during the breeding season within 100m of the nest[s] ...;*
- Retain large trees as a visual buffer to the nests;
- Invasive species removal will help retain habitat which is being chocked out; and
- Retain bird/ wildlife trees and snags for nesting species.

It should be noted that the Nest Assessment report indicates that although one tree nest is unoccupied, it still reserves the same level of protection as an occupied tree under the British Columbia *Wildlife Act*.

The applicant shows 60 and 100-metre radius distances from the two subject nesting trees on sketch plan (Attachment C). The distance from the nearest tree to the proposed lot C building envelope indicates 100-metres. The relationship of lot C building and lot boundaries to the nesting tree will satisfy the conditions of the Nest Assessment. The tree locations must be confirmed as the same latitude and longitude as indicated in the Nest Assessment report.

The proposed subdivision and land development will require significant vegetation removal in the southern portion of the subject property. Although the related policy encourages vegetation retention, the non-disturbance areas will likely be the only way to maintain the raptor-related habitat. The DPA guidelines recommend restrictive covenants be put on the title of the new lots to help ensure habitat retention.

This application complies with all applicable guidelines, so the recommendation is to issue the development permit subject to the terms and conditions of the attached draft Development Permit.

OPTIONS

Option 1:

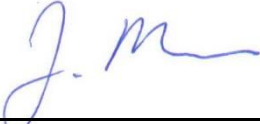
That it be recommended to the Board:

1. That Development Permit Application No. 01-G-17DP (3835 Gardner Road West) for a four-lot subdivision be approved; and
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 2500.

Option 2:

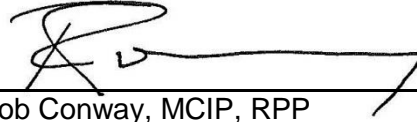
That Development Permit Application No. 01-G-17DP (3835 Gardner Road West) be denied based on inconsistency with specified OCP guidelines.

Prepared by:



Jon Munn, MCIP, RPP
Planner II

Reviewed by:



Rob Conway, MCIP, RPP
Manager

Ross Blackwell, MCIP, RPP, A.Ag.
General Manager

ATTACHMENTS:

- Attachment A – Subject Property Ortho Photo
- Attachment B – Zoning Map
- Attachment C – Proposed Subdivision Sketch Plan
- Attachment D – Site Photos
- Attachment E – Ecologic Bald Eagle Nest Assessment Report (June 2017)
- Attachment F – Advisory Planning Commission Minutes (December 19, 2017)
- Attachment G - Draft Development Permit No. 01-G-17DP



This map is compiled from various sources for internal use and is designed for reference purposes only.

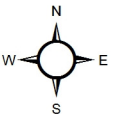
The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-G-17DP

TRIM Orthophoto (2014)



R2



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.



All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

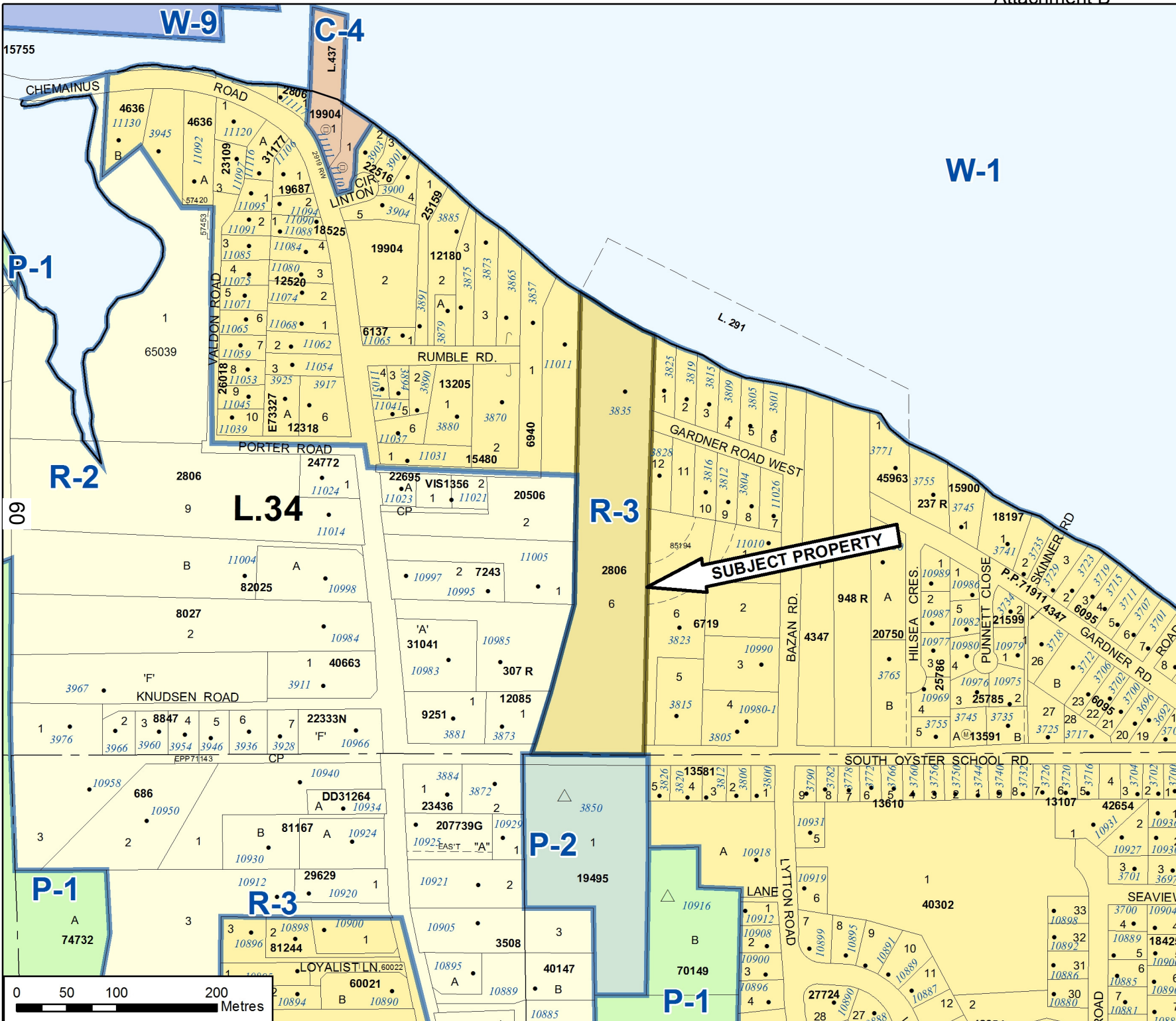
The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-G-17DP

ZONING

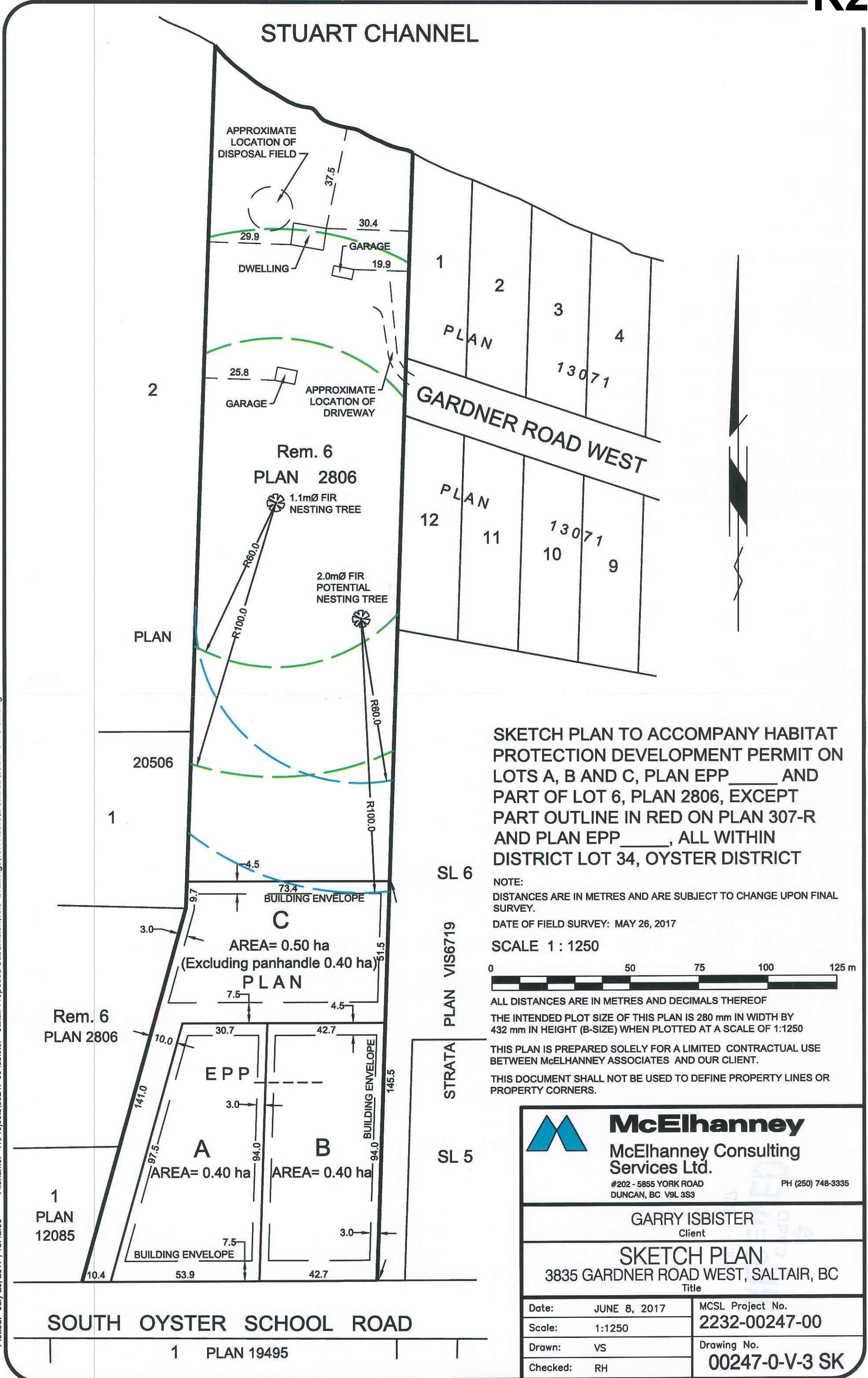
Legend

-  Subject Property
-  Zoning G



R2

STUART CHANNEL



SKETCH PLAN TO ACCOMPANY HABITAT PROTECTION DEVELOPMENT PERMIT ON LOTS A, B AND C, PLAN EPP _____ AND PART OF LOT 6, PLAN 2806, EXCEPT PART OUTLINE IN RED ON PLAN 307-R AND PLAN EPP _____, ALL WITHIN DISTRICT LOT 34, OYSTER DISTRICT

NOTE:
DISTANCES ARE IN METRES AND ARE SUBJECT TO CHANGE UPON FINAL SURVEY.
DATE OF FIELD SURVEY: MAY 26, 2017

SCALE 1 : 1250



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

THE INTENDED PLOT SIZE OF THIS PLAN IS 280 mm IN WIDTH BY 432 mm IN HEIGHT (B-SIZE) WHEN PLOTTED AT A SCALE OF 1:1250

THIS PLAN IS PREPARED SOLELY FOR A LIMITED CONTRACTUAL USE BETWEEN McELHANNEY ASSOCIATES AND OUR CLIENT.

THIS DOCUMENT SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY CORNERS.

SL 6

STRATA PLAN VIS6719

SL 5



McElhanney

McElhanney Consulting Services Ltd.

#202 - 5855 YORK ROAD
DUNCAN, BC V9L 3S3

PH (250) 748-3335

GARRY ISBISTER
Client

SKETCH PLAN
3835 GARDNER ROAD WEST, SALTAIR, BC
Title

Date: JUNE 8, 2017

MCSL Project No.

Scale: 1:1250

2232-00247-00

Drawn: VS

Drawing No.

Checked: RH

00247-0-V-3 SK

Plotted: July 28, 2017, 15:42:06
Filename: T:\Projects\00247-00 Isbister - Saltair Proposed Subdivision\10.0 Drawings\10.1 Active\2-Civil 3D\00247-0-V-3 SK.dwg

Photos for
Habitat Protection Development Permit Application
01-G-17DVP



Eagle Nest Tree from northern clearing



Eagle Nest Tree Close Up



Potential Nest Tree (centre)



Base of Potential Nest Tree



Subject Property Looking East - South Oyster School Road



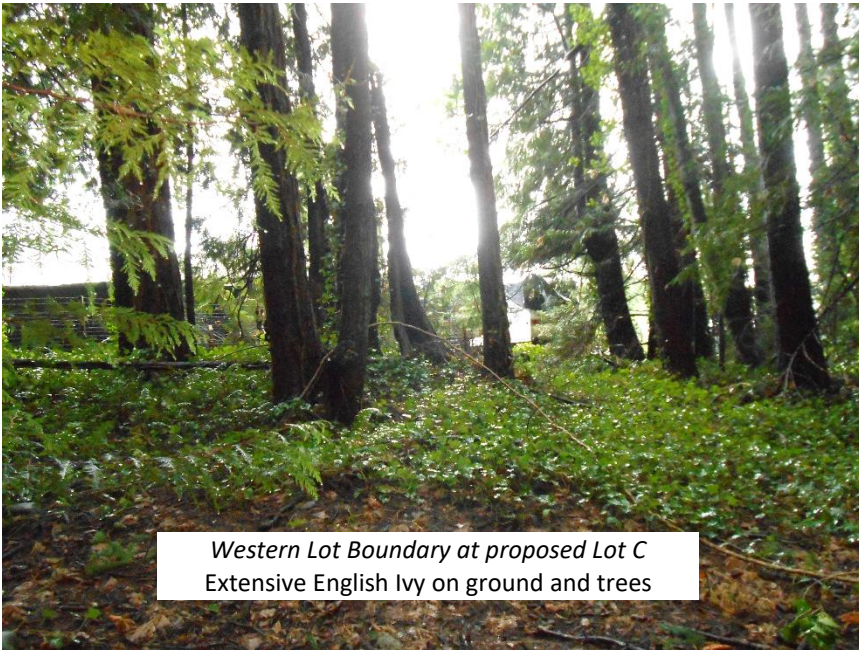
Path from South Oyster Rd looking North



Western Lot Boundary at proposed Lot A



*Proposed Lot B septic test pit
Pervious soil, dense vegetation*



*Western Lot Boundary at proposed Lot C
Extensive English Ivy on ground and trees*



*Proposed Lot C septic test pit
Context*



*West Property Line south of Proposed Lot C,
adjacent 11011 Chemainus Rd
Storm Water Drainage via Chicken Coop*



*Storm water drainage from 1101 Chemainus Rd
Looking Northeast to Subject Property*


CVRD
RECEIVED
AUG - 4 2017



Sally Leigh-Spencer, R.P. Bio.
5632 Menzies Road
Duncan, BC V9L 6G7
P: 250.748-3047
F: 250.748-5047

June 5, 2017

Reg A. Harding
Project Manager
McElhanney Associates Land Surveying Ltd.
202 – 5855 York Road
Duncan BC V9L 3S3

Re: Saltair – Bald Eagle Nest Assessment

Dear Reg,

The following report provides observations, Bald Eagle biology, breeding chronology and recommended management options for the Bald Eagle nests on the Isbister’s property on South Oyster Road in Saltair.

Thank you.

Sincerely,



Sally Leigh-Spencer, R.P.Bio.



**BALD EAGLE NEST ASSESSMENT
SOUTH OYSTER ROAD
SALTAIR, BC**

Prepared by:
Sally Leigh-Spencer, R.P.Bio.
Ecologic Consulting
5632 Menzies Rd.
Duncan, B.C. V9L 6G7



Ecologic Consulting

June 2017

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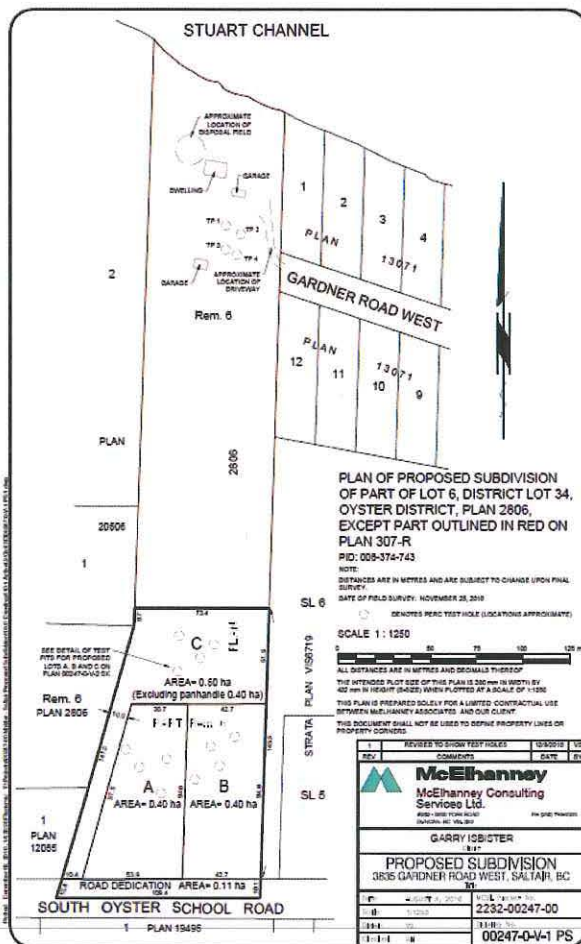
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**BALD EAGLE NEST ASSESSMENT
SOUTH OYSTER ROAD
SALTAIR BC**

1.0 INTRODUCTION

The subdivision of Lot 6, District Lot 34, Oyster District, Plan 2806 is in the planning process (Figure 1). There is a Habitat Protection Development Permit Area (Habitat Protection DPA) on Lot 6 that is in place for a Bald Eagle’s nest and nest tee (CVRD 2005). A development permit is required before a subdivision can be approved and before land can be altered, including the clearing of trees. The intent of the DPA is to protect the lands in close proximity to the nests, the natural environment, its ecosystems and biological diversity.

Figure 1: Map of proposed subdivision of Lot 6, District Lot 34, Oyster District, Plan 2806

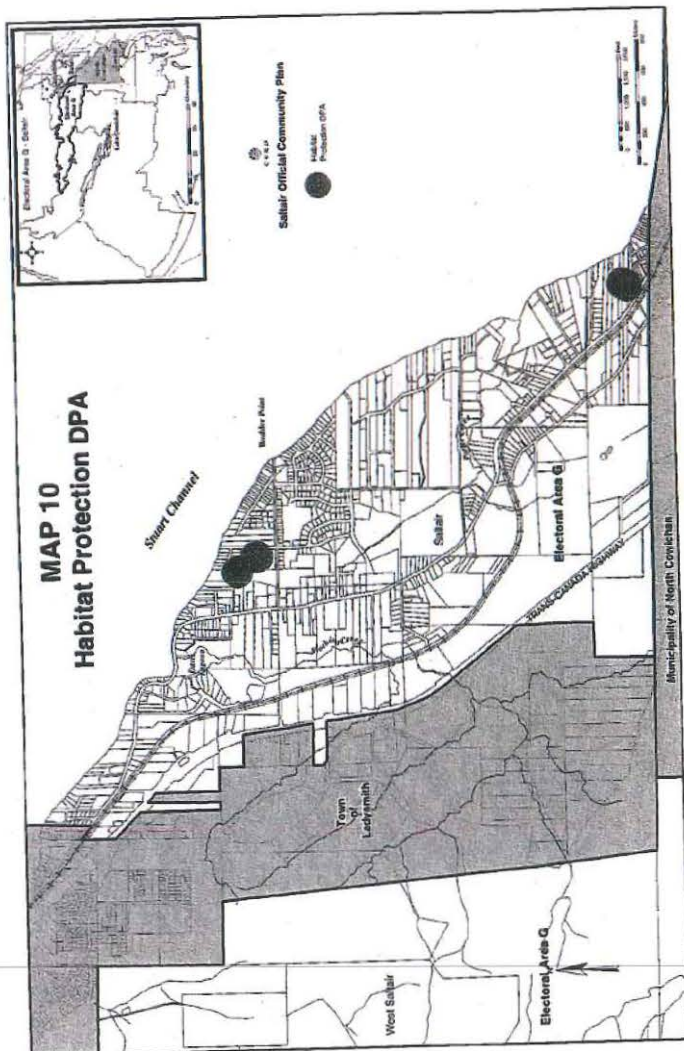


2.0 BACKGROUND

Legislation

Lot 6, District Lot 34, Oyster District, Plan 2806 is within Electoral Area G – Saltair of the Cowichan Valley Regional District (CVRD). The CVRD Official Community Plan (OCP) Bylaw No. 2500 - Habitat Protection DPAs are in place to protect the District’s natural setting, ecological systems, biodiversity and wildlife. If a property is in a Habitat Protection DPA a Development Permit is required. Under Policy 3.2 of the OCP, Habitat Protection DPAs are put in place for Eagle, Hawk, Peregrine Falcon, Osprey, Great Blue Heron, and Owl nest areas (Bylaw No. 2500, CVRD 2005). Habitat Protection DPA applies to areas of land within 60 metres of an eagle, hawk, osprey, owl or peregrine falcon nest, and within 100 metres of a Great Blue Heron nest, including areas shown on Map 10 - Habitat Protection Development Permit Area Map (Figure 2).

Figure 2: Map 10 – Habitat Protection DPA – Saltair OCP (CVRD 2005)



At the provincial level, raptors and most other birds are protected in British Columbia under Section 34 of the *Wildlife Act*. Under this Section, a person commits an offence, if he/she possesses, takes, injures, molests or destroys a bird or its egg, or a nest that is occupied by a bird or its egg. Subsection 34 (b) provides protection year-round to the nests of the Bald Eagle, Golden Eagle, Peregrine Falcon, Gyrfalcon, Osprey and Burrowing Owl, whether the nests are active or not (MOE 2001). The destruction of any aforementioned nest (or nest tree) requires authorization from the Province. The habitat immediately surrounding the nest site (other than the nest tree), or habitats needed for foraging, roosting, or wintering, are not protected under the act and therefore require protective buffers to reduce disturbance of the nest. Buffer distance are not recommended through the act however distances are recommended through provincial best management practices (BMPs).

The *Environmental Management Act* and *Pesticide Control Act* provide legislation that prevents or minimizes exposure to toxins. The provincial and federal governments have banned the use of lead shot for waterfowl hunting in British Columbia, in part over concerns of lead poisoning in Bald Eagles that feed on waterfowl carrying shot in their bodies (MOE 2001).

At the Federal level, raptor species officially designated as “at risk” are also protected under the *Species at Risk Act* (SARA). Federal protection for raptors at risk under Schedule 1 of SARA, including their residences and critical habitats, is mandatory on federally owned land (such as federal forestry lands, Indian Reserves; airport lands owned by Transport Canada; and military lands owned by the Department of National Defence) (MOE 2001). Bald Eagles are designated as “Not at Risk”; therefore, there is presently no additional federal management requirement.

Bald Eagle Biology

Most of Canada's breeding population of Bald Eagles (*Haliaeetus leucocephalus*) is found along the BC coast. Bald Eagles are yellow-listed (Not at Risk) (CDC 2017), and their nests are specifically protected under Section 34(b) of the *BC Wildlife Act*.

During the breeding season, Bald Eagles are sensitive to a variety of human activities. However, not all Bald Eagle pairs react to human activities in the same way. Some pairs nest successfully just dozens of metres from human activity, while others abandon nest sites in response to activities much farther away. Eagles will nest from February to June and young can be present into August. The most critical period when eagles are most sensitive to disturbance is the time when they are nest building, repairing their nest and egg laying; which can occur from the beginning of February to late June in British Columbia (Table 1, Table 2). Another sensitive period is when the young are between approximately 8 weeks and fledging. Disturbance might cause them to attempt to leave the nest prematurely and

possibly die. The relative sensitivity of Bald Eagles during various stages of the breeding season is outlined in Table 1 (US Fish and Wildlife 2007).

One to three eggs (usually two) are laid by the female and incubated by both parents for approximately 35 days. Chicks are raised by both parents, remain in the nest for 10 to 11 weeks on average, and stay in the nest vicinity for up to another month. Only about 10% of the young reach maturity, but adult eagles have a low mortality rate (can live 20+ years) and have a breeding span of 10+ years. Only a portion of the adult population breeds every year (60% is typical for Vancouver Island) (MOE 2001). All nest trees are protected under Section 34 of the Provincial *Wildlife Act*. Bald Eagles can be moderately tolerant of human activities.

Table 1: Nesting Bald Eagle Sensitivity to Human Activities (US Fish and Wildlife 2007)

Phase	Activity	Sensitivity to Human Activity	Comments
1	Courtship and Nest Building	Most sensitive period; likely to respond negatively	Most critical time period. Disturbance is manifested in nest abandonment. Bald eagles in newly established territories are more prone to abandon nest sites.
2	Egg laying	Very sensitive period	Human activity of even limited duration may cause nest desertion and abandonment of territory for the breeding
3	Incubation and early nestling period (up to 4 weeks)	Very sensitive period	Adults are less likely to abandon the nest near and after hatching. However, flushed adults leave eggs and young unattended; eggs are susceptible to cooling, loss of moisture, overheating, and predation; young are vulnerable to elements.
4	Nestling period, 4 to 8 weeks	Moderately sensitive period	Likelihood of nest abandonment and vulnerability of the nestlings to elements somewhat decreases. However, nestlings may miss feedings, affecting their survival
5	Nestlings: 8 weeks through to fledging	Very sensitive period	Gaining flight capability, nestlings 8 weeks and older may flush from the nest prematurely due to disruption and die

Impacts of Human Activities

Human activities can impact raptors in three basic ways (US Fish and Wildlife 2007):

1. by causing mortality of eggs, young, or adults;
2. by altering habitats; and
3. by disrupting birds' normal behaviors.

During the incubation and hatching period, human activities may startle adults or cause them to flush from the nest. Startling can damage eggs or injure young when the adults abruptly leave the nest. Prolonged absences of adults from their nests can jeopardize eggs or young. Depending on weather conditions, eggs may overheat or cool and fail to hatch. Young nestlings rely on their parents to provide warmth or shade, and may die from hypothermia or heat stress if adults are forced away from the nest for an extended period of

time. Eggs and juveniles are subject to greater predation risk while they are unattended. If human activities disrupt the adults’ foraging and feeding schedule, the young may not develop healthy plumage, which can affect their ability to survive. Older nestlings may be startled by loud or intrusive human activities and prematurely jump from the nest before they are able to fly or care for themselves.

The sensitivity of raptors to disturbances varies among individuals. Most raptors are especially sensitive to disturbances during the following three distinct nesting season phases (US Fish and Wildlife 2007):

1. Just prior to egg laying and start of incubation.
2. Beginning at hatching and concluding when the chick(s) have feathers to keep them warm
3. The last few days before young fledge.

Table 2: Coastal BC Bald Eagle Breeding Chronology

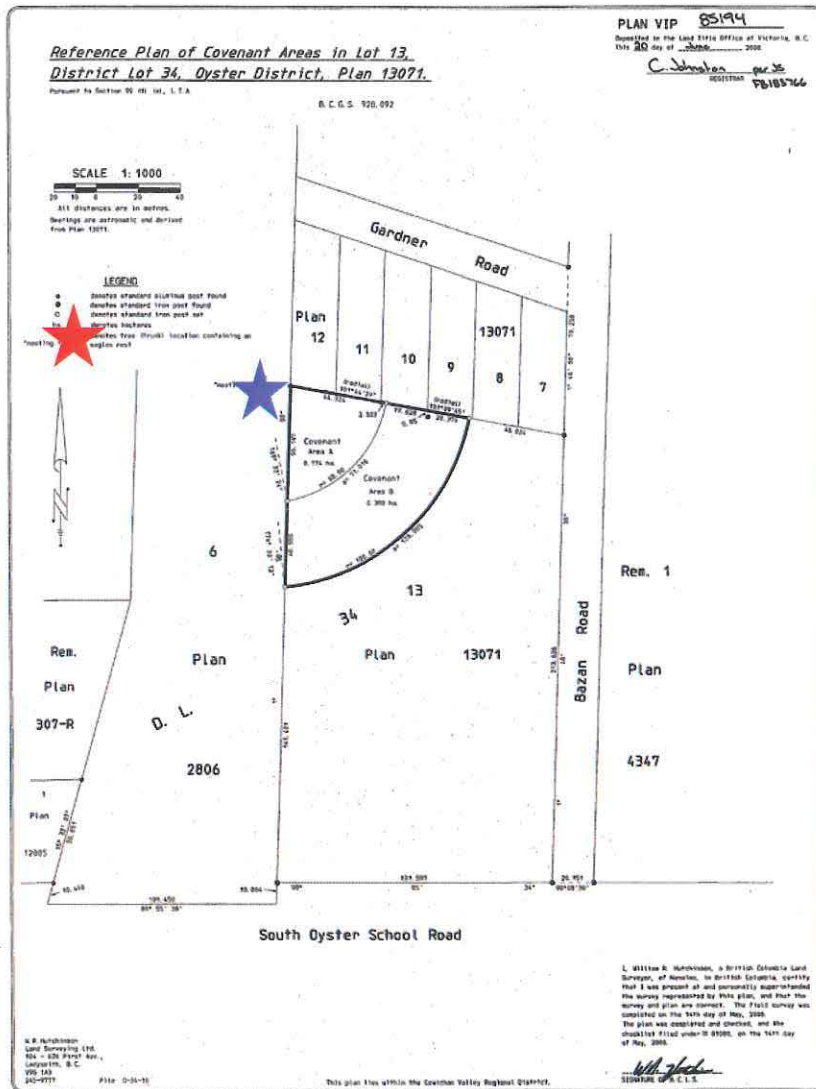
Months	January				February				March				April				May				June				July				August				September		
Weeks	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3
Eagle Breeding Chronology	Courtship and nest repair																																		
	Egg laying and incubation between mid February and the end of June for 33 to 36 days																																		
	Eggs hatch and young remain in nest for 10 to 13 weeks																																		
																Young fledge from late June to late August																			

3.0 RESULTS

A field assessment was conducted on Lot 6, District Lot 34, Oyster District, Plan 2806 on May 22nd by Sally Leigh-Spencer (R.P. Bio.) of Ecologic Consulting. The intent of the survey was to assess Lot 6 for use by Bald Eagles and determine if there is active nesting on the property. The lot was accessed off South Oyster Road and the property was walked starting along a well-used trail at the road and continued to the end of the forested area to the north. The undergrowth was assessed for whitewash, feathers and feeding remains. The tops of the trees within the property were observed and assessed for nesting use from the west end of Gardner Road.

The results of the field assessment on May 22nd, 2017 indicated that there is an active Bald Eagle nest within the most westerly nest tree (red star) as shown in Figure 3. There was one adult lying low in the nest during the time of the survey. Underneath the nest was evidence of extensive whitewash and several eagle feathers.

Figure 3: Location of Bald Eagle nest trees - active (red star) and blue star (inactive)



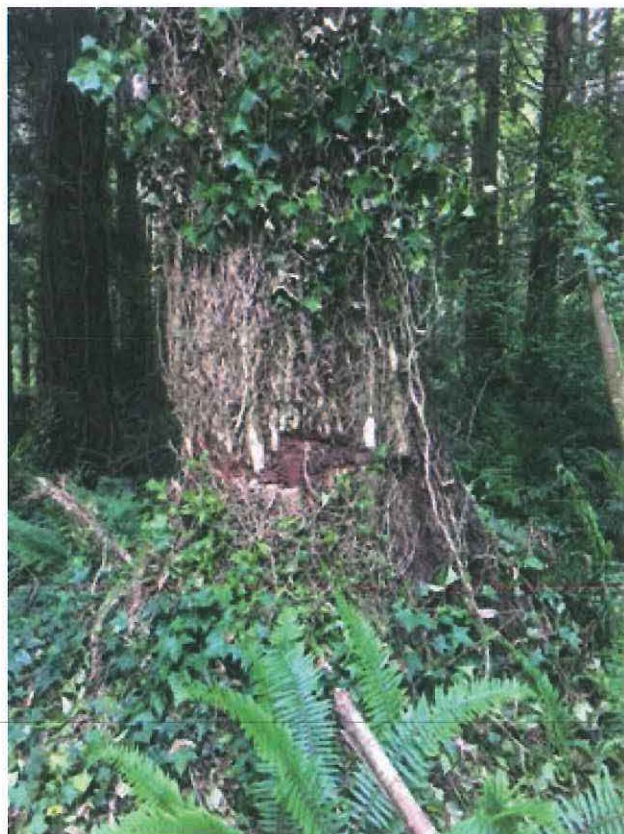
The active Bald Eagle nest and nest tree is in a ~100cm diameter Douglas fir with an uneven top (Figure 4) and the trunk has had English ivy cut away from it (Figure 5). The tree is located ~ 80 to 100m to the NW of the original nest tree with the broken top and the coordinates are N 48° 57' 38.2"/W 123° 45' 58.4'.

The surrounding forest is a 100+ year-old closed canopy Douglas fir and maple dominated stand with an understory of younger western red cedar (2-3 m in height), red huckleberry, ocean spray, Oregon grape and sword fern. The invasive English ivy dominates the herb layer and Daphne or spurge-laurel, another invasive plant is also present (Figure 7).

Figure 4: Active Bald Eagle nest tree



Figure 5: Trunk of active Bald Eagle nest tree – evidence of English ivy cut away from trunk



The other potential nest tree is a 2m diameter old-growth Douglas fir with a broken top (Figure 6). A nest was not visible however a resident on Gardner Road said he had seen eagles nesting there a few years ago. The GPS coordinates for the nest tree are: N48°57'36.8' / W123°45'57.2'.

Figure 6: Alternate Bald Eagle nest tree/perch tree ~2m diameter old-growth Douglas fir



Figure 7: Invasive English ivy and Daphne (spurge-laurel)



During the field assessment two Barred Owls (*Strix varia*) were heard calling within the forested area. One of the birds was within Lot 6 and it was not detectable if the other was within Lot 6 or on another adjacent property to the west. A Pileated Woodpecker (*Dryocopus pileatus*) and a Stellar's Jay (*Cyanocitta stelleri*) were also heard during the field assessment. A snag on the property was observed with the rectangular holes of the pileated carved into the dead wood.

4.0 RECOMMENDATIONS

The Bald Eagle nest and nest trees within Lot 6 in Saltair are protected by the Saltair OCP (CVRD 2005) and by Section 34 (b) of the BC *Wildlife Act* year-round regardless of whether they are inactive or active. The habitat around the nest tree is not protected; however, there are guidelines for this habitat that prevent activities that could “molest, injure or destroy” the nest, the tree and the occupants during the breeding season. The Bald Eagles nesting within Lot 6 are habituated to a semi-urban/rural environment and therefore tend to be more tolerant of disturbance when nesting; far more than raptors living in more rural and undeveloped areas. Despite their semi-urban location, the eagles using the nest can be disturbed from unnatural events or activities and therefore still require a buffer during the active breeding season. According to MOE Raptor Guidelines (2013), Bald Eagles have a high to moderate ability to co-exist. In an urban environment, the guidelines recommend 1.5 tree lengths and a 100m quiet buffer for activity during the breeding season. In a rural environment, MOE (2013) recommends a 100m undisturbed natural vegetation buffer from the nest site and an additional 100m quiet buffer during the breeding season.

The following guidelines are recommendations for clearing activities around the active Bald Eagle nest on Lot 6. Clearing activities such as repeated chainsaw use, constant machine use and any road building are considered unnatural and could cause abandonment of the nest by adults or young leaving the nest prematurely during the breeding season. Eagles will begin nesting in February and birds will fledge by mid to late July, sometimes possibly into August.

- A permanent 60m vegetative buffer should be retained around the active nest tree and the larger previously active nest tree. Clearing of the trees within the 60m buffer can occur outside the breeding window as long as the nest tree and suitable adjacent perch trees for both the adults and young remain. Smaller non-merchantable trees within the lower canopy and shrub cover should be retained. A substantial threat to Bald Eagle nesting habitat in the urban/rural areas is the removal of large trees used for nesting primarily due to safety considerations and for land-clearing and logging.

- Avoid tree clearing, including road construction and chain saw use, during the breeding season within 100m of the nest. If clearing and road construction occurs between 60m to 100m around the nest tree in the breeding season a Qualified Professional should initially monitor bird activity and determine if clearing activities should continue. If the nest is not occupied or if the young have fledged all activities can occur.
- Any of the larger trees that provide a visual buffer to the nest tree and that could provide future nest sites or perch trees should remain intact.
- English ivy and Daphne are invasive plants and tend to choke out native plants. They can spread rapidly during disturbance so consideration should be given to removing them during any clearing activities.
- Barred Owls and Pileated Woodpeckers were heard during the site visit. Although their nesting cavities were not observed any larger trees with cavities or snags should be retained if possible to protect future nesting. Barred Owls will use cavities within larger diameter trees as will Pileated Woodpeckers.

If the above stated recommendations are adhered to the subdivision of your property should not impact the successful long-term use of the eagle nest trees. If you have any further question concerning the subdivision of your property, please call.

5.0 REFERENCES

Cowichan Valley Regional District (CVRD). 2005. Saltair Official Community Plan. No. 2500. Amended up to and including Bylaw No. 3910.

Ministry of Environment (MOE), 2013. Guidelines for Raptor Conservation during Urban and Rural Development in British Columbia (2013) http://www.env.gov.bc.ca/van-island/pa/pdf/bmp_append.pdf

U.S. Fish and Wildlife Service. 2007. NATIONAL BALD EAGLE MANAGEMENT GUIDELINES. <http://www.fws.gov/pacific/eagle/NationalBaldEagleManagementGuidelines.pdf>



Report of the Electoral Area G (Saltair)
Advisory Planning Commission
December 19, 2017

PRESENT: Steve Neil (Chair)
Tim Godau, Pat Mulcahy, Gerald Porter, John Silins
Mel Dorey (Electoral Area Director)
Sean Jonas (Alternate Director)

ABSENT: Ruth Blake

CVRD Staff: No CVRD staff were present

APPLICANTS: Reg Harding (McElhanney Consulting Services)
Neil Isbister (Owner)

Item 1: Development Permit No. 01-G-17DP (Reg Harding of McElhanney Consulting for Isbister)

Reg Harding presented an overview of the project and responded to questions from APC members. Points discussed included the following:

- The location of the two eagle nesting trees appears to be far enough away from lots A, B and C such that building new homes on these lots should not disturb the eagles when they are nesting. It was noted that existing homes abutting the subject property are actually a lot closer to the eagle nesting trees than the new proposed lots are.
- Most of the discussion was about water runoff and how to control it when existing vegetation and trees are removed from the new lots to build homes. It was felt by everyone that it is important to control the runoff and not allow neighbouring properties to be affected or flooded. Rain water needs to remain on these new lots and percolate into the soil instead of running onto neighbouring properties.
- Reg Harding feels that water runoff won't be a problem due to the large size of lots A, B & C (1 acre each) and also due to the percolation properties of the soil on these lots. He also pointed out that lots A, B & C slope towards the large remaining piece of the property which will remain in its current undeveloped and heavily forested state.
- After much discussion, everyone finally agreed that it will have to be the responsibility of the building inspectors to ensure that when new homes are built, water runoff is handled properly and does not impact any of the neighbouring properties.

Following discussion, the following motion was made:

That the Advisory Planning Commission recommends approval of Development Permit Application No. 01-G-17DP. Carried Unanimously.

Steve Neil Chair
Saltair Advisory Planning Commission



COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT

FILE NO: 01-G-17DP

DATE: _____

REGISTERED PROPERTY OWNERS:
IAN WILLIAM ISBISTER, NEIL THOMAS
ISBISTER, GARRY JAMES ISBISTER AND
CAROLYN MARIE ISBISTER

1. This Development Permit is issued and is subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands within the Regional District described below:

***LOT 6, DISTRICT LOT 34, OYSTER DISTRICT, PLAN 2806, EXCEPT THAT PART OUTLINED IN RED ON
PLAN 307-R
(PID:006-374-743)***
3. Authorization is hereby given for **the subdivision of the subject property** in accordance with the following requirements:
 - **A restrictive covenant (per *Land Title Act* s.219) which delineates 60m non-disturbance buffers and 100m non-disturbance buffers during breeding season pertaining to the subject trees, as described in the attached Bald Eagle Nest Assessment report by Ecologic Consulting dated June 2017;**
 - **Development shall occur in accordance with the attached Schedules;**
 - **Removal of invasive plant species (English Ivy, Daphne); and**
 - **Any runoff from site be directed to sediment and erosion control measures.**
4. The following plans and specifications are attached to and form a part of this permit.
 - Schedule A – Location Plan**
 - Schedule B – Sketch Plan of Subdivision**
 - Schedule C – Bald Eagle Nest Assessment - June 2017 Ecologic-McElhanney**
 - Schedule D – Restrictive Covenant**

- 5. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.
- 6. **This Permit is not final subdivision approval.** No certificate of final completion or recommendation of subdivision approval by the Cowichan Valley Regional District shall be issued until all items of this Development Permit have been complied with to the satisfaction of the Land Use Services Department.
- 7. Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

AUTHORIZING RESOLUTION **XXXX** PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE **XX** DAY OF **MONTH**, 201**X**.

I HEREBY CERTIFY that I have read the terms of the Development Permit contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with IAN WILLIAM ISBISTER, NEIL THOMAS ISBISTER, GARRY JAMES ISBISTER AND CAROLYN MARIE ISBISTER (owners) other than those contained in this Permit.

Owner/Agent (signature)	Witness (signature)
Print Name	Print Name
Date	Date



STAFF REPORT TO COMMITTEE

DATE OF REPORT January 23, 2018

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Development Services Division
Land Use Services Department

SUBJECT: Development Permit Application No. 02-E-17DP (4780/4790 Trans Canada Highway/Tim Horton's)

FILE: 02-E-17DP

PURPOSE/INTRODUCTION

The purpose of this report is to present a Development Permit application for a new commercial building and associated works at 4780/4790 Trans Canada Highway.

RECOMMENDED RESOLUTION

That it be recommended to the Board:

1. That Development Permit Application No. 02-E-17DP (4780/4790 Trans Canada Highway/Tim Horton's) for a commercial building and associated works be approved; and
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 1840.

BACKGROUND

<u>Location of Subject Property:</u>	4780/4790 Trans Canada Highway
<u>Legal Description:</u>	Lot A, Section 7, Range 1, Cowichan District, Plan EPP73127
<u>Owner:</u>	0918713 BC Ltd.
<u>Applicant</u>	Mark Mitchell of Greca Holdings
<u>Size of Parcel:</u>	1.8 hectares (4.45 acres)
<u>Zoning:</u>	C-4 Zone – Tourist Recreational Commercial
<u>Plan Designation:</u>	Commercial
<u>Current Use of Property:</u>	Vacant (former night club and restaurant)
<u>Road Access:</u>	Bench Road
<u>Water:</u>	On-site well
<u>Sewage Disposal:</u>	On-site System
<u>Environmentally Sensitive Areas:</u>	N/A
<u>Fire Protection:</u>	Cowichan Bay Improvement District

LOCATION MAP

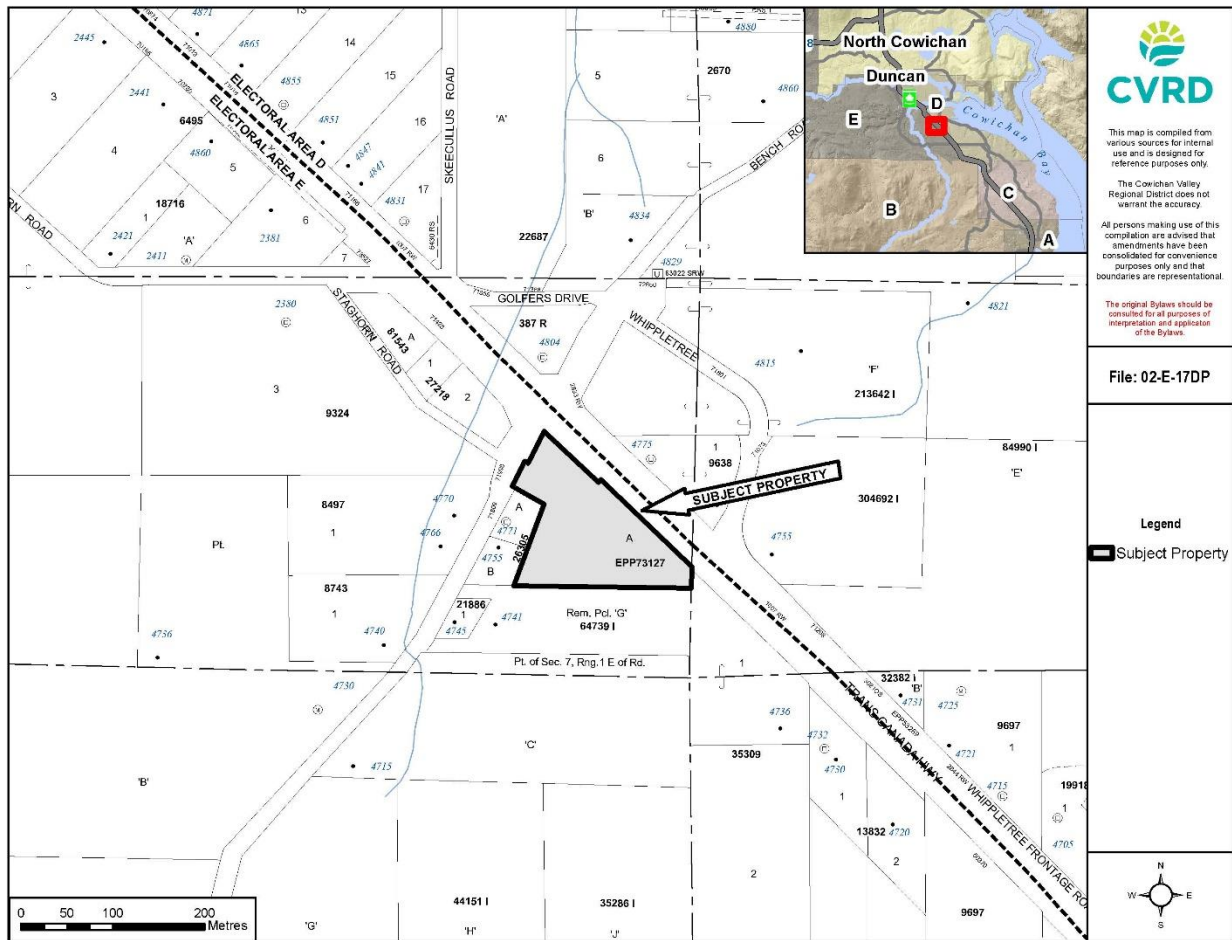


Figure 1: Subject Property Location Map.

APPLICATION SUMMARY

A development permit application has been submitted for a new commercial building and associated development intended to be used for as a Tim Hortons restaurant. The property is located within the Trans Canada Highway Development Permit Area of Cowichan/Koksilah Official Community Plan Bylaw No. 1490 and a development permit is required before the site can be developed for its intended use.

Site Context

The subject land is approximately 1.8 hectares in size, irregular in shape and largely flat. The land is bordered by the Trans-Canada Highway to the north-east, an agricultural property containing a dwelling to the south, and two smaller residential lots and Bench Road to the west. The proposed development location is in the northern portion of the land, closest to the signalized Bench Road/Trans-Canada Highway intersection. The land has previously been utilized for a nightclub and restaurant, and the proposed development is planned approximately where the previous development existed. The remainder of the site is not proposed for development at this time. Access is attained from Bench Road to the immediate west, with an existing 8 metre wide driveway.

Surrounding land is a mixture of light-industrial, residential and commercial uses, with a service station located to the north and a storage yard and light industrial uses opposite the subject site on Staghorn Road. The property abuts the Agricultural Land Reserve on its southern boundary.

Proposed Development

The primary building is proposed to be a rectangular, single storey structure measuring 250 square metres, with seating to accommodate 44 patrons. Car parking for 32 vehicles (2 handicapped) will be installed around the restaurant, with a drive-thru service also incorporated into the site layout. An outdoor seating area is proposed on the western side of the restaurant, which will be the most prominent façade of the restaurant to south-bound traffic. Storage and garbage disposal areas are to be located on the opposite side of the restaurant. Landscaping in the form of shrubs, trees and wildflowers within bioswale drain beds are proposed along the perimeter of the site. A detailed landscaping plan has been submitted as part of the application.

The entirety of the proposed development is to occupy only the northern-most third of the site, leaving approximately 65% of the site open to further development in the future.



Figure 2: Site Plan

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS**Zoning Bylaw No. 1840:**

The subject land is zoned C-4 (Tourist Recreational Commercial). The proposed restaurant use is compliant with the C-4 zoning and the proposed development does not require variances to the Zoning Bylaw.

Official Community Plan Bylaw No. 1490:

The Cowichan-Koksilah Official Community Plan includes the subject property in the Trans Canada Highway Development Permit Area. This development permit area is intended to achieve a consistent standard of development along the highway corridor. It is intended to improve highway safety and improve the appearance of commercial and industrial development from the highway. Eight key guidelines have been established as part of the development permit area. These are the guidelines by which the application should be assessed.

- a) Vehicular Access
Vehicle access to the site will be from Bench Road, directly opposite Staghorn Road. A Traffic Impact Assessment has been submitted to the Ministry of Transportation and Infrastructure, and the assessment report and proposed driveway location have been accepted by the Ministry. The Ministry is expected to require new road lines on Bench Road between Staghorn Road and the Highway and street lighting at the access to the site.
- b) Vehicle Parking
32 surface parking stalls are proposed of which two are reserved for handicap parking. Two vehicle charging stations will be provided for electric vehicles.
- c) Pedestrian Access
The development is proposed in a low-density, semi-rural area where there are no existing footpaths. To facilitate pedestrian access a pathway will be installed from the Bench Road/TCH crosswalk at the south west corner of the property to the new building, and along the Bench Road frontage to the Canada Post boxes that will be re-located south of the driveway entrance. The pathway will be surfaced with a combination of concrete and gravel, as MoTI generally does not permit concrete walkways in the road allowance.
- d) Landscaping
Extensive landscaping is proposed along both the Trans Canada Highway and Bench Road frontages, as well as interior landscaping within the car park area. Proposed plantings include a mixture of deciduous and evergreen trees and shrubs as well as split rail fencing. The proposed landscaping has multiple objectives, incorporating drains and bioswales to improve water quality run-off, providing a visual buffer to the site from the Highway and Bench Road, and complementing the building and site design with internal landscaping.
- e) Signage
Proposed signage is consistent with what is typical of Tim Horton's restaurants, with red lettering mounted on three of the four building elevations. These signs are internally illuminated as well as down-lit. Secondary signage is proposed on the north east elevation. No free standing signs are proposed. The proposed signage is general in accordance with the applicable guidelines.

- f) Lighting
Down lighting is proposed to be installed along the facades of the building and within the parking lot. In response to the recommendations of the APC, the applicants have modified the lighting plan to use low-level bollard lighting for pathways and at the perimeter of the site and limit the taller overhead lighting to the driveway entrance and two locations within the site where it is required for safety and security.
- g) Overhead Wiring
The only overhead wiring will from the overhead lines on Bench Road into the site. All other on-site wiring will be underground.
- h) Building Design
The guidelines state, “Buildings and structures shall be designed in harmony with the aesthetics of the surrounding lands, on-site signage and landscaping plans.” The original application had proposed a structure that was typical of Tim Hortons in other communities with a parapet roof, cultured stone panelling and colours consistent with the Tim Hortons brand. The application has been amended to incorporate building design elements more typical of a rural or semi-rural context.

A pitched roof with hips and gables has been proposed with heavy fascias and timber elements. Exterior finishes include a combination of stone veneer, horizontal siding and wood trim. Exterior colours are primarily neutral (tans and ivory), with the exception of the fabric awnings on the north west and south west elevations. The awnings that were proposed in the original application have been changed to a solid “pantone” colour in response to the Advisory Planning Commission’s recommendation.

Commission/Agency Considerations

This application was reviewed the Electoral Area E – Cowichan Station/Sahtlam/Glenora Advisory Planning Commission (APC) on October 10, 2017, and December 12, 2017. Minutes from the meetings are attached.

At its October 10, 2017, meeting, the APC passed the following motion:

That it be recommended that development permit 2-D-17DP not be approved until the following issues have been addressed:

- ***Building design to reflect the Area E OCP building guidelines and complement Area D building design, be respective of rural and farm history.***
- ***Landscaping to include continuous hedgerows of mixed evergreen and deciduous with shrubs and trees and ground cover that provides good habitat for birds, bees and small mammals as well as acting as a natural looking screen of the buildings from the road. Landscaping to include predominantly native plants. Invasive species removal and maintenance from the property for a period of no less than 2 years.***
- ***Lighting to be downcast, warm in colour, low voltage, energy efficient and lowered to maximum height of 42 inches with minimal spill over to neighbouring property.***
- ***Explore installation of roadside cart path from site entrance to TCH with MOTI***
- ***Installation of electric vehicle charging station.***

The applicants made a number of amendments to the application to address APC concerns, including changes to the building design, exterior lighting plan and drainage system and the addition of two electrical vehicle charging stations.

At the December 12, 2017, meeting, the APC passed the following motion:

That Development Permit Application 2-E-17DP, as amended, be recommended for approval subject to solid earth tones used on the awnings.

PLANNING ANALYSIS

The guidelines for the Trans Canada Highway Development Permit Area are limited in their scope and detail. They establish minimum standards for commercial and industrial properties in Electoral Area E that abut the Highway, but do not provide a lot of specific direction for aesthetic standards and environmental protection requirements for development along this highly visible section of the Cowichan Valley. New development permit guidelines are being developed through the OCP review process, but are not yet available or implemented by bylaw.

The applicants have worked with staff and the Area E APC to address issues and concerns that go beyond requirements specified in the DP guidelines, but which nonetheless are relevant to the proposed project. Much of the focus on this application has been on achieving a form of development that is appropriate for its semi-rural context. This is reflected in the building form and choice of exterior finishes, in the informal approach used in the landscape design, the choice of signage and in the low level lighting proposed for much of the site. Provisions for pedestrian routes, storm water management and renewable energy have also been incorporated into the proposal.

One of the challenges with the application is that the proposed use is automobile-oriented, with much of the development site allocated to vehicle parking and a drive-through facility. The proposed restaurant use and accessory drive-through are permitted by zoning, so the subject application is not about whether the use of the property is acceptable or not. Rather, it is about the proposed development complies with applicable regulations and development permit guidelines. In the opinion of Development Services staff, the application complies with all applicable criteria, and addresses the issues and concerns that were raised in the course of the application review. Approval of the application and issuance of the development permit is recommended.

OPTIONS

Option 1:

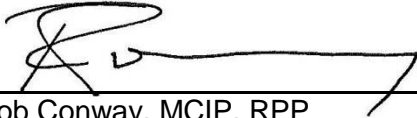
That it be recommended to the Board:

1. That Development Permit Application No. 02-E-17DP for a commercial building and associated works at 4780/4790 Trans Canada Highway be approved; and
2. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No.1840.

Option 2:

That Development Permit Application No. 02-E-17DP be denied based on inconsistency with specified Development Permit Area guidelines.

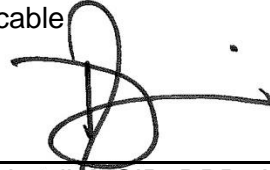
Prepared by:



Rob Conway, MCIP, RPP
Manager

Reviewed by:

Not Applicable
Not Applicable



Ross Blackwell, MCIP, RPP, A.Ag.
General Manager

ATTACHMENTS:

- Attachment A – 2014 Ortho Photo
- Attachment B – Zoning Map
- Attachment C – Elevations
- Attachment D – Landscape Plan
- Attachment E – Lighting and Pathway Plan
- Attachment F – Site Servicing Plan
- Attachment G – Electrical Plan
- Attachment H – Development Permit Guidelines and Zoning
- Attachment I – Draft Development Permit



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 02-E-17DP

TRIM Orthophoto (2014)



06

R3



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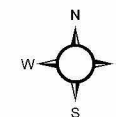
The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 02-E-17DP

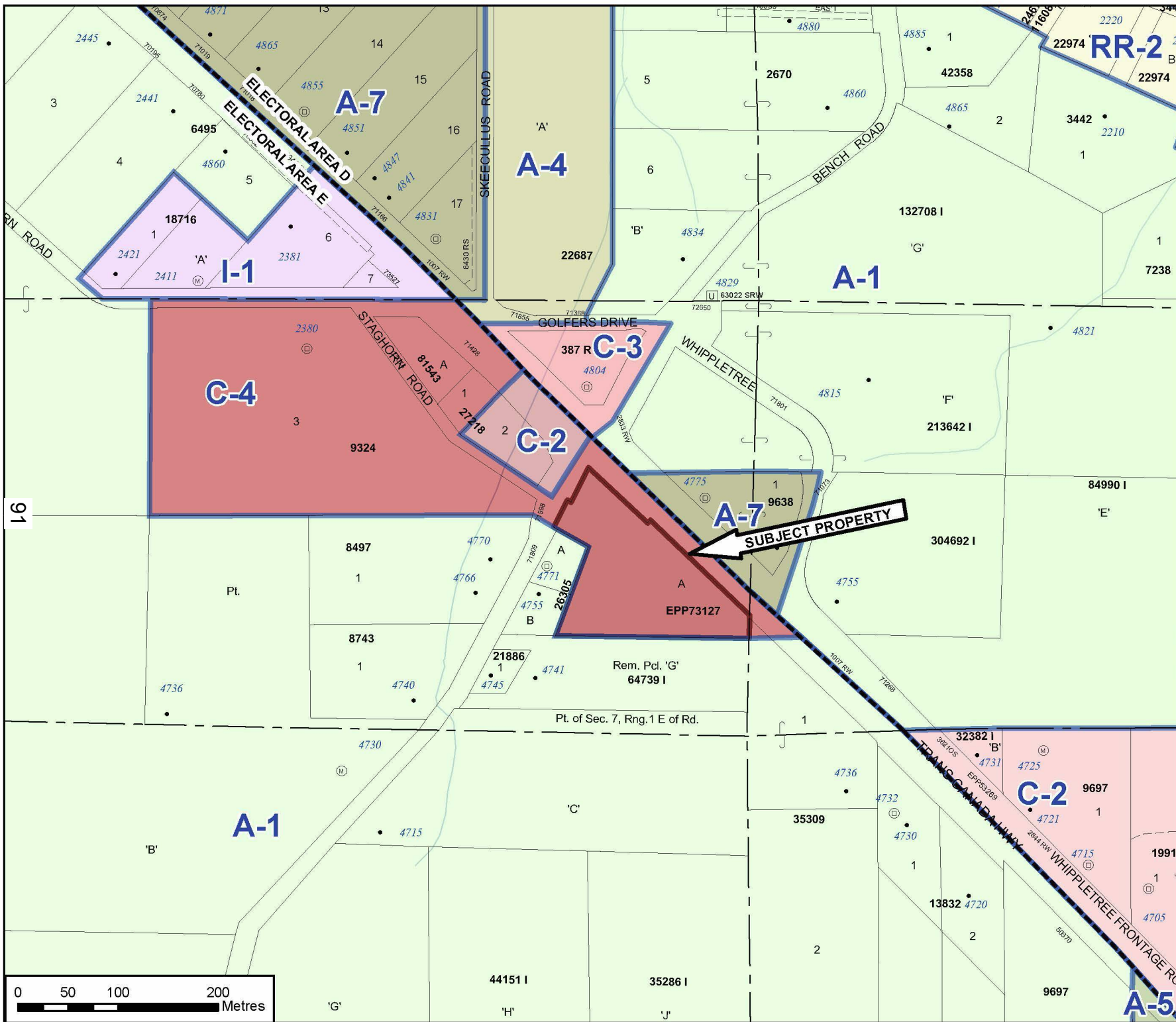
ZONING

Legend

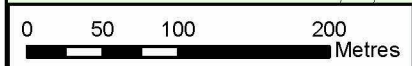
-  Subject Property
-  Zoning D Uplands
-  Zoning E



R3



91



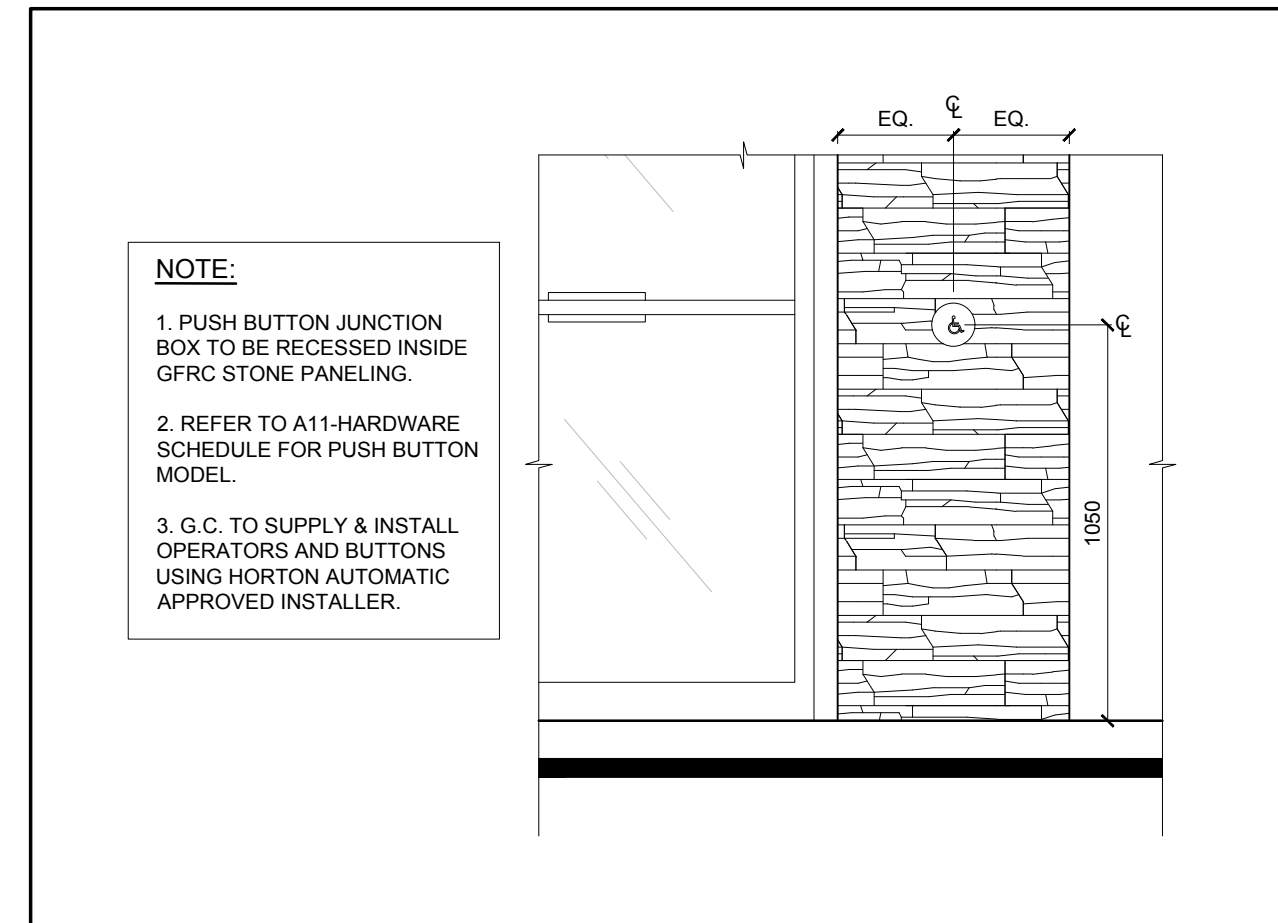
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1 NORTH WEST ELEVATION
SCALE: 1:50



2 SOUTH WEST ELEVATION
SCALE: 1:50



3 TYPICAL ELEVATION @ DOOR OPERATOR
SCALE: 1:20

EXTERIOR ELEVATION NOTES

- 1 ENGINEERED WOOD SIDING. REFER TO DETAIL 2/A7.1 & EXTERIOR FINISH SCHEDULE.
- 2 STONE VENEER PANELING. REFER TO EXTERIOR FINISH SCHEDULE.
- 3 STONE SILL. REFER TO EXTERIOR FINISH SCHEDULE.
- 4 ASPHALT SHINGLES. REFER TO EXTERIOR FINISH SCHEDULE.
- 5 ALUMINIUM FRAMES. REFER TO WINDOW SCHEDULE ON SHEET A11.
- 6 EXPOSED FOUNDATION TO BE PARGED & FREE OF IMPERFECTIONS.
- 7 POURED CONCRETE FOUNDATION. REFER TO STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
- 8 915mm (36") HIGH ILLUMINATED SIGN. CONFIRM WITH TDL GROUP CORP. FOR SIZE AND SIGN PACKAGE. REFER TO ELECTRICAL DRAWINGS.
- 9 PREFINISHED METAL FASCIA. REFER TO EXTERIOR FINISH SCHEDULE.
- 10 N/A.
- 11 150 DIA. METAL BOLLARD. REFER TO FINISH SCHEDULE.
- 12 DRIVE-THRU WINDOW WITH INSULATED PANEL.
- 13 EXIT ONLY DECAL BY TDL.
- 14 N/A.
- 15 CONCRETE SIDEWALK. REFER TO SITE PLAN.
- 16 N/A.
- 17 PREFINISHED ALUMINIUM SOFFIT. SEE EXTERIOR FINISH SCHEDULE.
- 18 N/A.
- 19 GOOSENECK LIGHTING. REFER TO ELECTRICAL DRAWINGS.
- 20 PREFINISHED METAL RAIN WATER GUTTER. REFER TO EXTERIOR FINISH SCHEDULE.
- 21 PREFINISHED METAL RAIN WATER DOWNSPOUT. REFER TO EXTERIOR FINISH SCHEDULE.
- 22 N/A.
- 23 N/A.
- 24 N/A.
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- 28 EXTERIOR COLUMN W/ ENGINEERED WOOD SIDING. REFER TO DETAIL 8/A7.1.
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- 31 EXTERIOR POP FRAME ITEM #201. SUPPLIED BY TDL GROUP AND INSTALLED BY G.C. REFER TO GRAPHIC SCHEDULE ON SHEET A2.1.
- 32 LOCATION OF REMOTE SUCTION FOR GREASE INTERCEPTOR. REFER TO MECHANICAL DRAWINGS. (TBD)
- 33 G.C. TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 200mm FROM FACE OF STONE WALL AND LENGTH OF CURB IS EXTENT OF STONE WALL. REFER TO DETAIL 10/A7.
- 34 PREFABRICATED AWNING BY SIGN COMPANY SUPPLIED & INSTALLED BY G.C. REFER TO AWNING SCHEDULE. G.C. TO SUPPLY SOLID WOOD BLOCKING AS REQUIRED.
- 35 TDL SINCE 1984 SIGNAGE

ISSUE TABLE

No.	Date (mm/dd/yy)	Description
02	05-24-2017	ISSUED FOR FINAL DRAWINGS
01	04-18-2017	ISSUED FOR BUILDING PERMIT

REVISIONS

No.	Date	Description
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DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description
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ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE SITE

Architect

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
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ADMIN@LOVICKSCOTT.COM
P: 604 298 3700 F: 604 298 6081
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTAA

Architectural Seal

Project

Store Type 2700 - 17

Location

RESTAURANT #108367, NS.04948
4790 TRANS CANADA HWY
DUNCAN, BC

Drawing Title

EXTERIOR ELEVATIONS

Drawn RN Checker

Scale AS NOTED Date

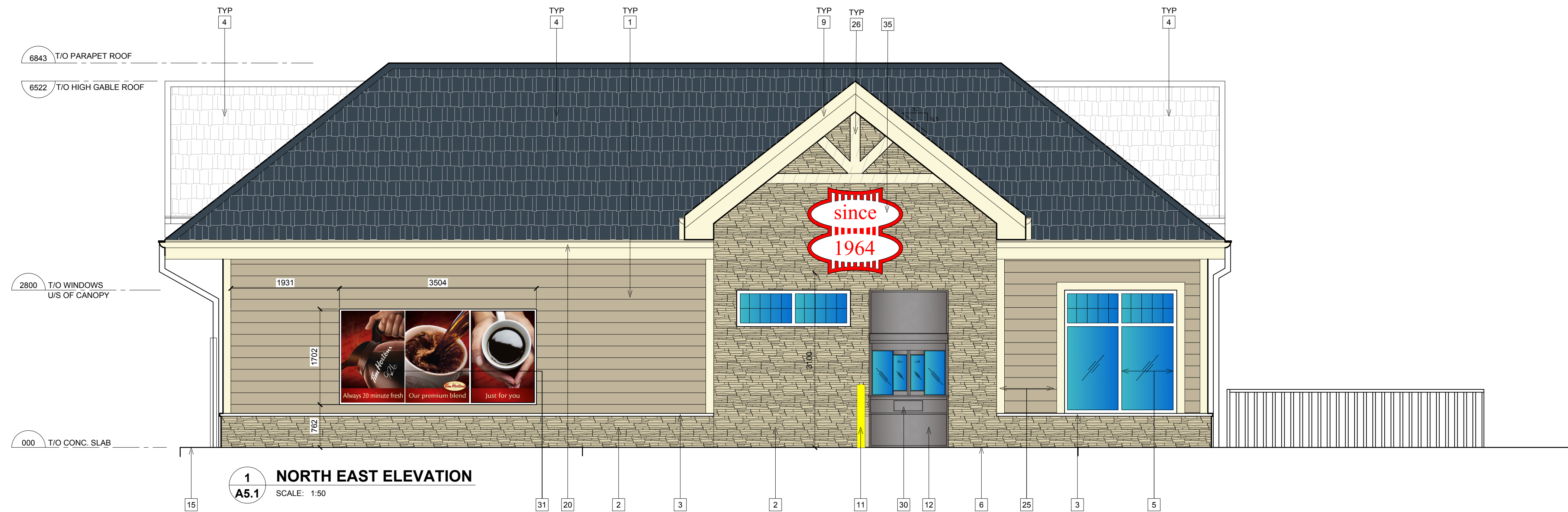
Project No. # 108367 Dwg No.

EXTERIOR FINISH SCHEDULE

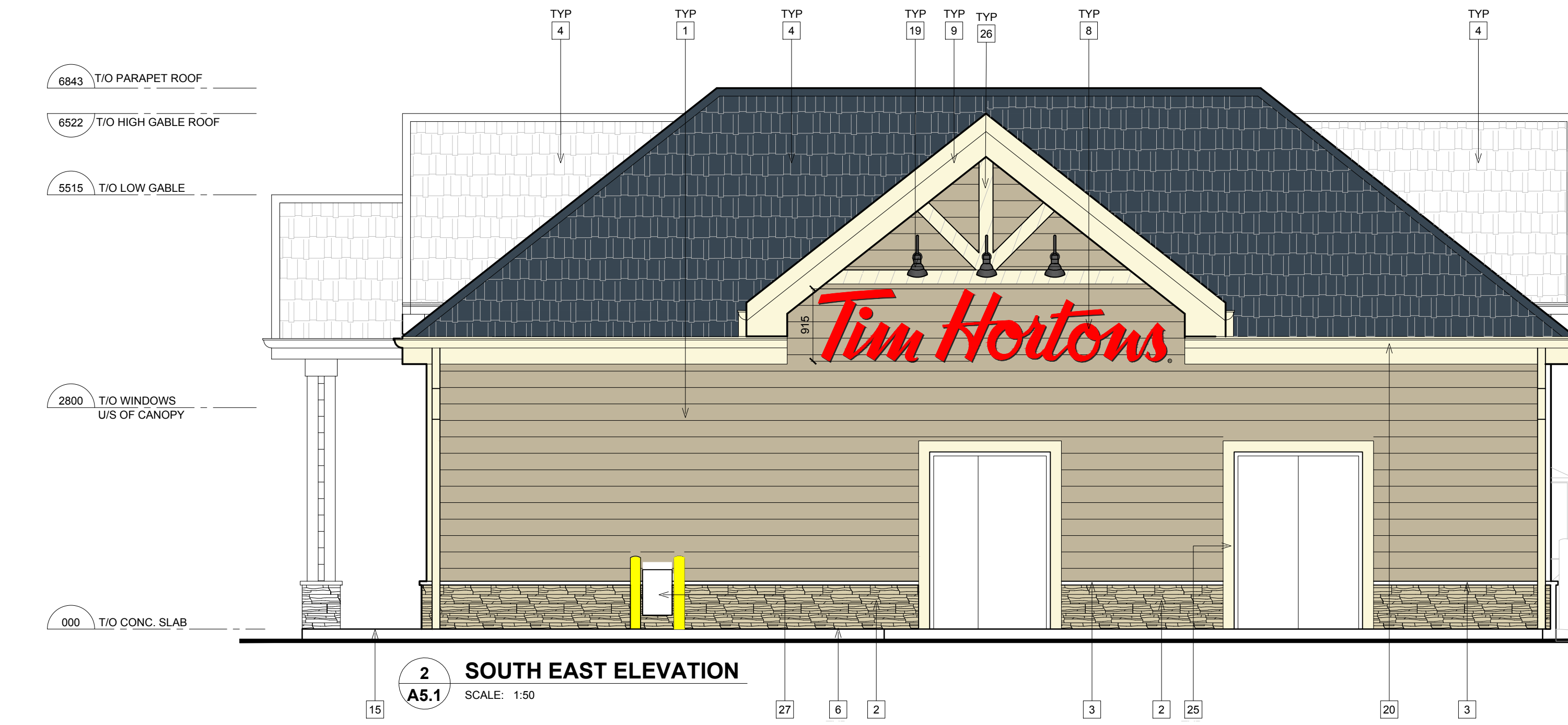
PRODUCT	MANUF.	TYPE & COLOUR	SUPPLIER/CONTACT
STONE VENEER	SHOULDICE	ESTATE STONE - "LAURIER BLEND" H- VARIES, L- VARIES, THICKNESS- 90mm, REFER TO MANUFACTURER SPECS FRANKLIN INTERNATIONAL CAULKING. COLOUR TO MATCH STONE VENEER	SHOULDICE DESIGNER STONE TEL: (519) 935-2771 OR (800) 265-3174 EMAIL: CONTACT@SHOULDICE.CA
STONE SILL	SHOULDICE	#424 ROCK STONE SILL - "PEARL WHITE" H- 90mm, L- 600mm, THICKNESS- 143mm FRANKLIN INTERNATIONAL CAULKING. COLOUR TO MATCH STONE SILL	
ENGINEERED WOOD SIDING	ALLURA	SMOOTH LAP, H - 209mm, L - 3657mm, THICKNESS - 8mm COLOUR: #059 "SAVANNAH WICKER" FRANKLIN INTERNATIONAL CAULKING # 45671 NOTE: TOUCH-UP PAINT KIT TO BE PURCHASED THROUGH HJCC: "SAVANNAH WICKER". PRODUCT #15278059	GOODFELLOW, THE WOOD SPECIALIST TEL: (800) 361-6503 (HEAD OFFICE - QUEBEC) TEL: (505) 854-9800 (CAMPELLVILLE) EMAIL: INFO@GOODFELLOWINC.COM
ENGINEERED WOOD TRIM	GOODFELLOW	GOOD STYLE TRIM EXTERIOR TRIM: H- 140mm (5 1/2"), L- 4877mm (16'), THICKNESS- 19mm (3/4") TRIM AT COLUMN: PRE-ASSEMBLED CORNER, H- 100mm (4"), L- 3048mm (10'), THICKNESS- 32mm (1 1/2") COLOUR: "DUNE" #DU-17 FRANKLIN INTERNATIONAL CAULKING. COLOUR TO MATCH WOOD TRIM	
PREFORMED ALUMINIUM VENTED SOFFIT	ROYAL ALUMIPRO OR EQUIVALENT OTHER	PRODUCT: 3-PANEL, PLAIN, VENTED COLOUR: "IVORY" #302	ROYAL ALUMIPRO (CUSTOMER SERVICE) TEL: (800) 387-2789 EMAIL: EA-DL-CUSTOMERCARE@AXIAL.COM
PREFINISHED METAL GUTTER, DOWNSPOUT AND FASCIA	ROYAL ALUMIPRO OR EQUIVALENT OTHER	PRODUCT: 125mm (5") COMMERCIAL TROUGH COLOUR: "IVORY" #302	
PREFORMED METAL FLASHING	ROYAL ALUMIPRO OR EQUIVALENT OTHER	CUSTOM BENT FLASHING COLOUR: "IVORY" #302	
ANODIZED ALUMINIUM WINDOW	ALUMICOR LIMITED	ALUMINIUM FINISH: CLASS 1, CLEAR ANODIZED 0.0007. ANODIZED BY ALUMICOR ALUMICOR LIMITED CAULKING BETWEEN WINDOW FRAME & STONE VENEER COLOUR: BLACK (BY TREMCO DYMONIC)	TEL: (877) 258-6426
ASPHALT SHINGLES	IKO	IKO LAMINATED SHINGLE: CAMBRIDGE COLOUR: HARVARD SLATE	IKO BRAMPTON TEL: (800) 268-0878 WEBSITE: www.iko.com

SYMBOL LEGEND

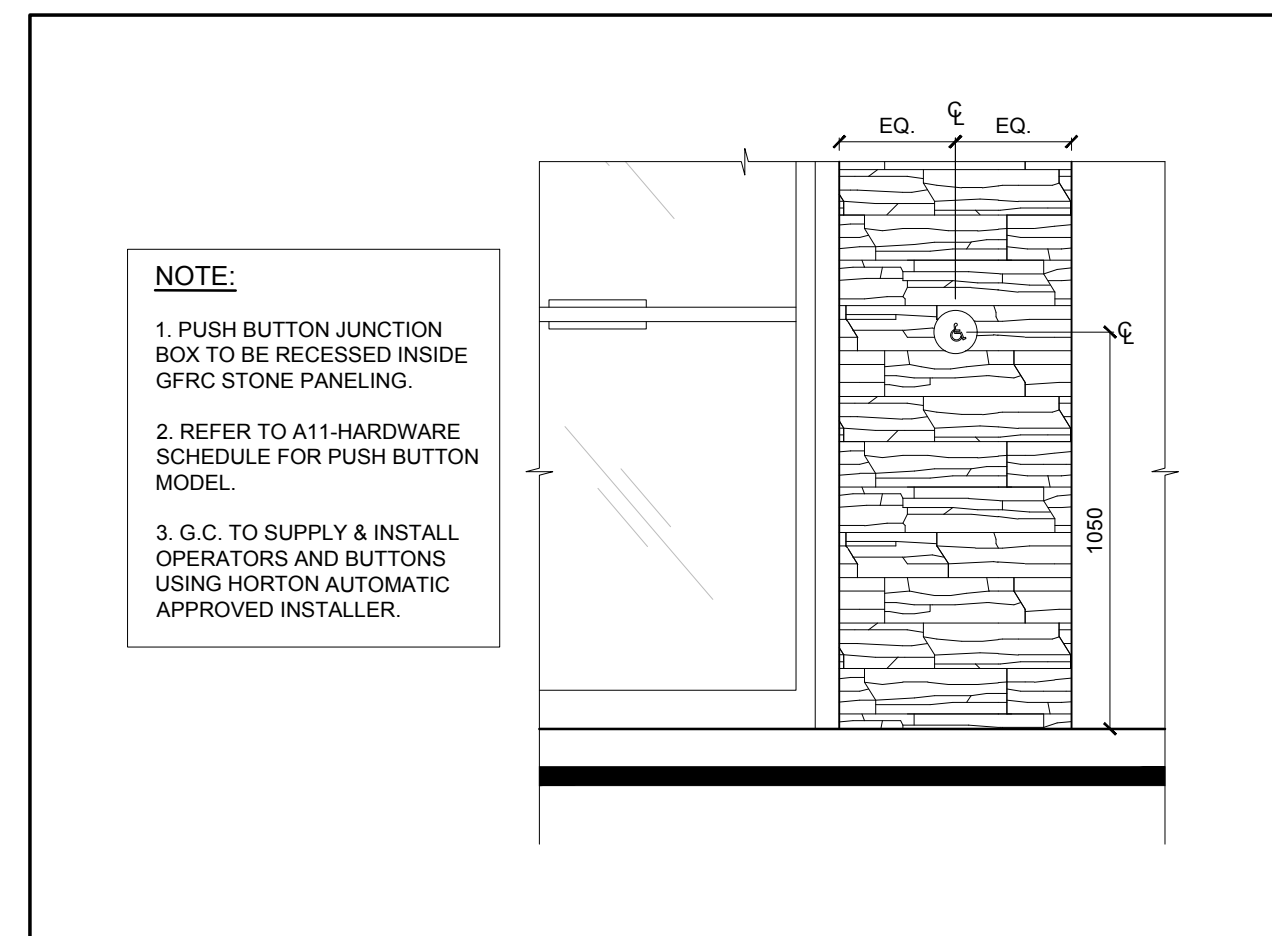
- SECTION NUMBER
DRAWING SHEET NUMBER
- BUILDING SECTION NUMBER
DRAWING SHEET NUMBER
- NOTE REFERENCE
REFER TO ELEVATION NOTES
- AWNING/ BAND TYPE



1 NORTH EAST ELEVATION
A5.1 SCALE: 1:50



2 SOUTH EAST ELEVATION
A5.1 SCALE: 1:50



3 TYPICAL ELEVATION @ DOOR OPERATOR
A5 SCALE: 1:20

NOTE:

1. PUSH BUTTON JUNCTION BOX TO BE RECESSED INSIDE GFRC STONE PANELING.
2. REFER TO A11-HARDWARE SCHEDULE FOR PUSH BUTTON MODEL.
3. G.C. TO SUPPLY & INSTALL OPERATORS AND BUTTONS USING HORTON AUTOMATIC APPROVED INSTALLER.

DECORATIVE BANDS

TYPE	LENGTH	QUANTITY
BAND TYPE #1	7698mm x 305mm	1
BAND TYPE #2	2737mm x 305mm	1
BAND TYPE #3	6584mm x 305mm	1
BAND TYPE #4	5169mm x 305mm	1
BAND TYPE #5	5769mm x 305mm	1

NOTE:
1. REFER TO SPECIFICATIONS ON SHEET A12.3 FOR APPROVED SUPPLIERS LIST.

AWNING SCHEDULE

TYPE	SIZE	QUANTITY
AWNING TYPE #1	2135mm x 967mm	2
AWNING TYPE #2	2440mm x 967mm	1
AWNING TYPE #3	3355mm x 967mm	1
AWNING TYPE #4	4270mm x 967mm	2

EXTERIOR ELEVATION NOTES

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13. EXIT ONLY DECAL BY TDL.
14. N/A.
15. CONCRETE SIDEWALK. REFER TO SITE PLAN.
16. N/A.
17. PREFINISHED ALUMINUM SOFFIT. SEE EXTERIOR FINISH SCHEDULE.
18. N/A.
19. GOOSENECK LIGHTING. REFER TO ELECTRICAL DRAWINGS.
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35. TDL SINCE 1964 SIGNAGE

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REVISIONS

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DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE SITE

Architect

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE
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ADMIN@LOVICKSCOTT.COM
P: 604 298 3700 F: 604 298 6081
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTAA

Architectural Seal

Project

Store Type
2700 - 17

Location
RESTAURANT #108367, NS.04948
4790 TRANS CANADA HWY
DUNCAN, BC

Drawing Title
EXTERIOR ELEVATIONS

Drawn RN	Checke
Scale AS NOTED	Date
Project No. # 108367	Dwg No

R3

NOTES:
For grading information, see Civil drawings.

Irrigation plan by others.



REVISIONS:

Issued for DP - 2017APR12
Re-Issued for DP - 2017APR13
Issued for Review - 2017JUN13
Re-Issued for DP - 2017JUN13
Re-Issued for DP - 2017JUN19



PROJECT:
TIM HORTON'S STORE #108367 DUNCAN, BC

SITE LEGAL DESCRIPTION:
4790 TRANS CANADA HIGHWAY DUNCAN, BC

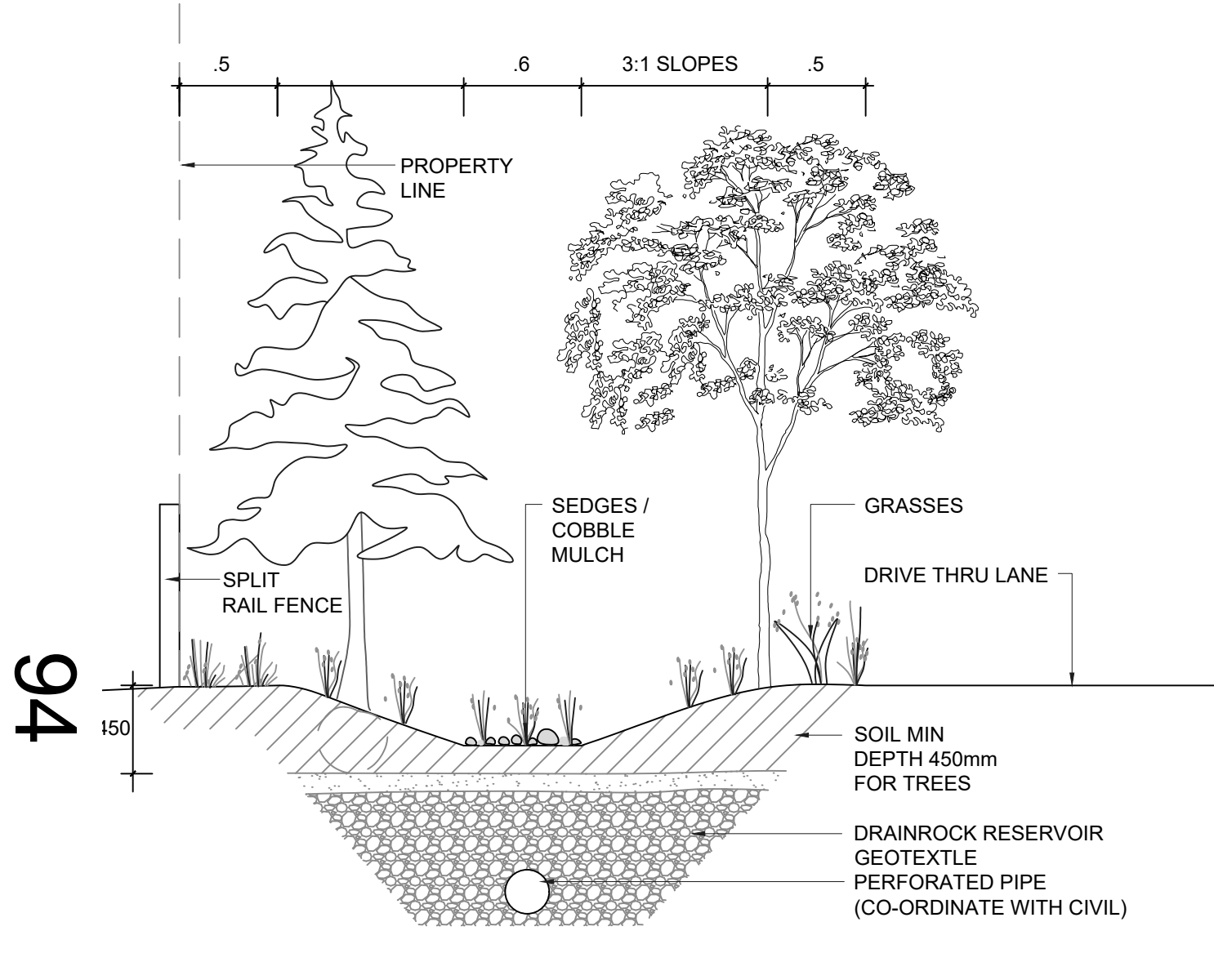
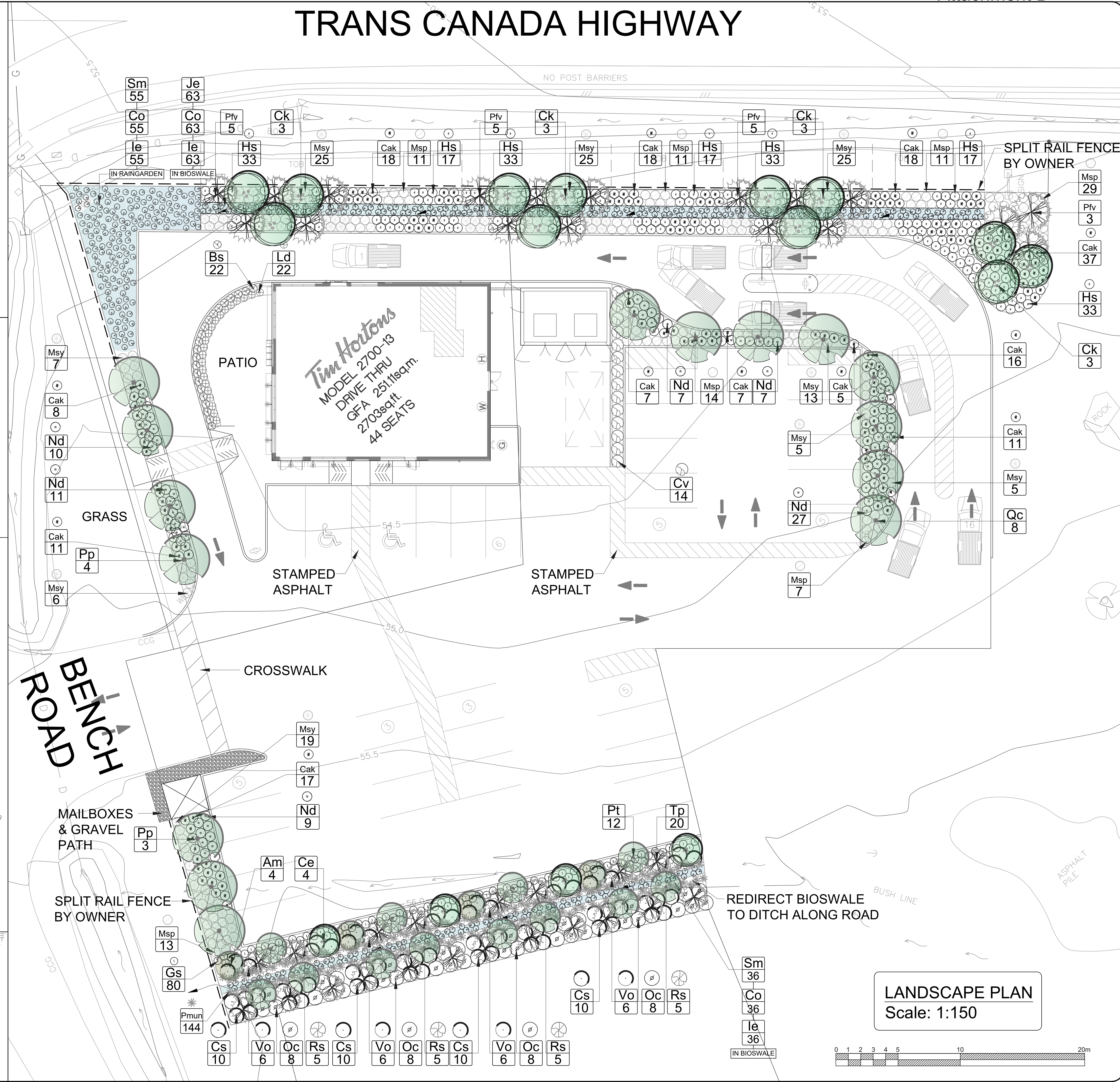
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LANDSCAPE PLAN
- LANDSCAPE PLANTING PLAN
- NORTH BIOSWALE DETAIL
- SOUTH BIOSWALE DETAIL

SCALE: AS NOTED DATE: Apr. 12, 2017
DRAWN: DR
PROJECT NUMB: TIM HORTON'S
DRAWING NUM: **R3**
L1

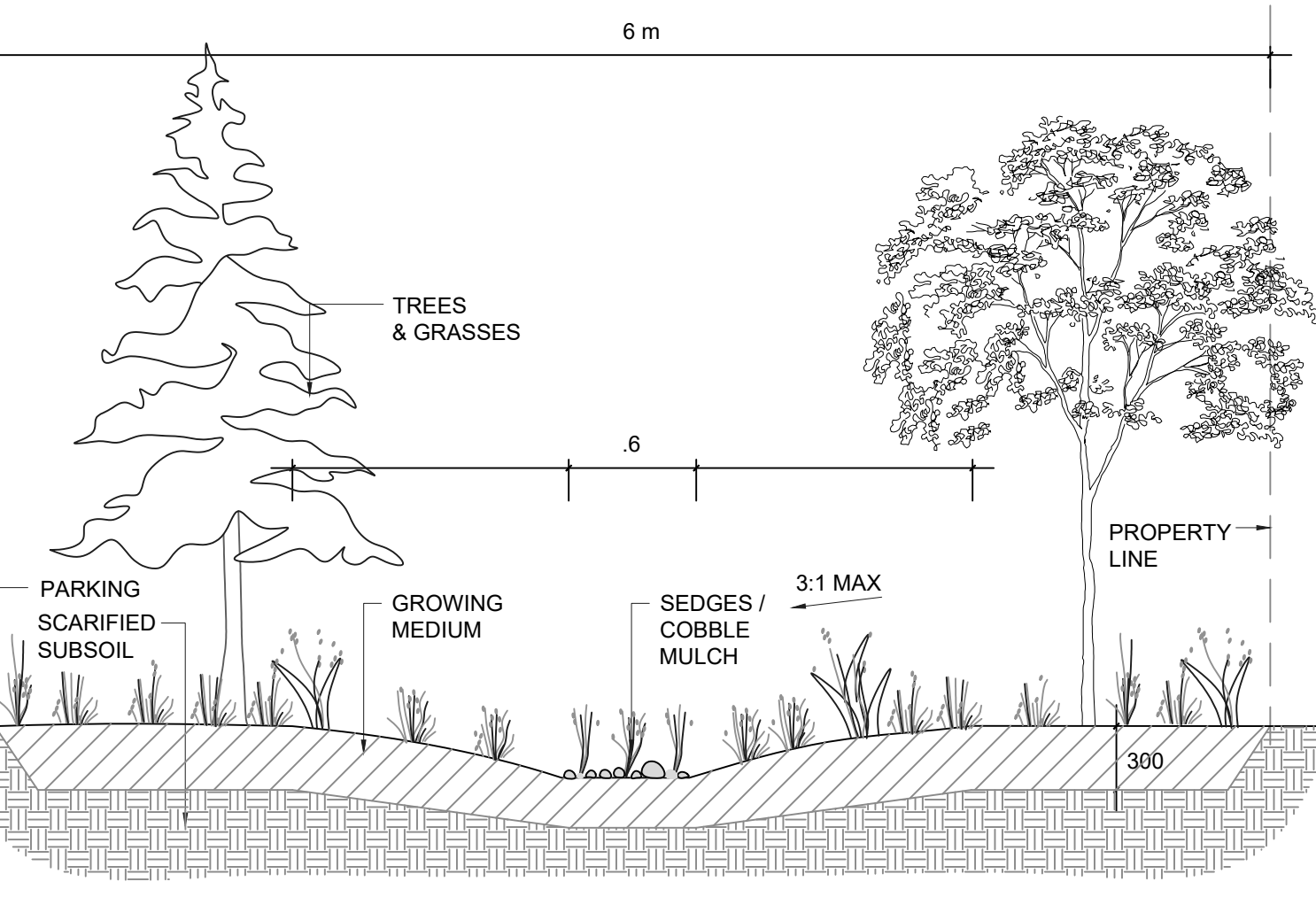
TRANS CANADA HIGHWAY

PLANT LIST

Key	Qty	Botanical Name	Common Name	Pot Size	Remarks
Deciduous Trees					
Am	4	Acer macrophyllum	Big Leaf Maple	5 gall	
Ce	4	Cornus edulis white wonder	White Wonder Dogwood	6 cm cal	
Ck	12	Cornus kousa	Chinese Dogwood	2.5 m	Multistemmed
Pp	7	Paroldia perovica	Persian Ironwood	6 cm cal	
Pt	12	Populus tremuloides	Trembling Aspen	6 cm cal	
Qc	8	Quercus 'crimson spire'	Columnar Oak	6 cm cal	
Evergreen Trees					
Pfv	18	Pinus flexilis vanderwolf	Vanderwolf Pine	2 m	
Tp	20	Thuja plicata	Western Red Cedar	2 m	
Shrubs					
Bs	22	Buxus sempervirens	Boxwood	1 gall	
Cs	40	Cornus stolonifera	Red-tipped Dogwood	1 gall	1.2 m o.c.
Cv	14	Geonothus victoria	California Lilac	1 gall	2 m o.c.
Gs	80	Gaultheria shallon	Salal	1 gall	6 m o.c.
Oc	32	Oemleria caerulescens	Indian Plum	1 gall	1.2 m o.c.
Rs	20	Ribes sanguineum	Red-flowering Currant	1 gall	1.2 m o.c.
Vo	24	Vaccinium ovatum	Evergreen Huckleberry	1 gall	1.2 m o.c.
Groundcovers/Perennials					
Ld	22	Lithodora Grace Ward	Lithodora	1 gall	.6m o.c.
Nd	71	Nepeta dropmore blue	Catnip	1 gall	.6m o.c.
Pmun	144	Polystichum munium	Sword Fern	1 gall	6 m o.c.
Ferns					
Ornamental Grasses					
Cak	173	Calamagrostis acutifolia Karl Foester	Feather Reed Grass	1 gall	.6 m o.c.
Hs	183	Helictotrichon sempervirens	Blue Oat Grass	1 gall	.6 m o.c.
Msp	96	Miscanthus sinensis Purpuscens	Orange Flame Maiden Grass	1 gall	.6 m o.c.
Msy	130	Miscanthus sinensis yaku jima	Maiden Grass	1 gall	1 m o.c.
Sedges / Rushes					
Co	154	Carex obovata	SloUGH Sedge	#1	Groups of 3
Ie	154	Iris ensata	Blue Flag Iris	#1	Groups of 3
Je	63	Juncus effusus	Common Rush	plugs	Groups of 3
Sm	91	Scirpus microcapus	Small-flowered Bulrush	#1	Groups of 3

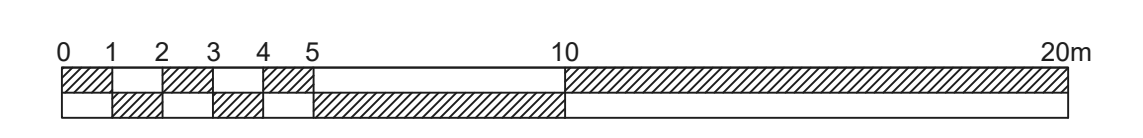


NORTH BUFFER BIOSWALE DETAIL
Scale: N.T.S.



SOUTH BUFFER BIOSWALE DETAIL
Scale: N.T.S.

LANDSCAPE PLAN
Scale: 1:150



LANDSCAPE SPECIFICATIONS

- 1.0. GENERAL**
- 1.0.1. REFERENCES**
All landscape work shall be in accordance with BCSLA/BONTA Landscape Standard, Latest Edition. The Landscape Contractor shall make him/herself aware of all prevailing standards referenced therein and execute work accordingly as it will govern all landscape preparations, execution and deficiencies.
- 1.0.2. SITE CONDITIONS**
Location of all existing utilities are to be verified prior to installation of landscape. Refer to Civil Engineering drawings for others and Call First Line at 800 474 6966.
- 1.0.3. SITE REVIEW MEETING**
Landscape Contractor to provide seven days' notice to Landscape Architect prior to commencement of landscape site work to allow for site meeting and drawing review, especially regarding possible building architect change orders and non-conforming site conditions.
- 2.0. PROTECTION OF EXISTING PLANT MATERIAL (NOT APPLICABLE)**
- 3.0. GRADING**
- 3.0.1. It shall be the responsibility of the General Contractor to establish all sub-grades to allow for the levels, profiles and contours required on the landscape drawings.
- 3.0.2. Remove and dispose to approved off-site disposal area all debris, building material, contaminated soil, weeds, invasive plants and anything else that may interfere with proper growth and development of planned finished landscape.
- 3.0.3. The sub-grade shall be scarified to a minimum depth of 150mm immediately before placing growing medium or drainage material.
- 3.0.4. Grade transitions of sub-grade shall be smooth and even, such that ponding cannot occur on sub-grade surface.
- 3.0.5. Grade the sub-grade elevations to within the tolerances given below:
Rough grades to follow the depths below finished grades, 150mm for grassed areas, 300mm for ornamental grasses, perennials and groundcovers, 450mm for shrubs.
- 4.0. GROWING MEDIUM**
- 4.0.1. All topsoil, imported or on-site soil, shall be tested and modified as required. When bidding a contractor must test the proposed soil and include the required modifications in the price for the work. Current soil analysis reports must be done and signed by a pre-approved analytical laboratory. A copy of the soil analysis must be sent to the Landscape Architect's office.
- 4.0.2. Growing medium shall be placed at the following depths: 150mm for grassed areas, 300mm for ornamental grasses, perennials and groundcovers, 450mm for shrubs, 1 cu. m for trees.
- 4.0.3. Where native soil remains in good condition no additional topsoil needs to be added but it may be amended according to the recommendations on the soil test.
- 4.0.4. Topsoil shall not be worked in wet or frozen conditions or in any manner in which the soil structure is adversely affected.

- 5.0. PLANTING - GENERAL**
- 5.0.1. All plants and planting to be to BCSLA/BONTA Standards, latest edition.
- 5.0.2. Plants shall be characteristic of the genus, species and cultivar as indicated on the construction drawings and specified herein.
- 5.0.3. All plants shall be nursery grown under similar climatic conditions to the project site. Plants shall not be pruned prior to delivery unless pre-approved by the Landscape Architect. Container stock shall have been established in the size of container specified for at least six (6) months prior to delivery. The roots shall not have grown beyond the limits of the container.
- 5.0.4. It is the Contractor's responsibility to verify and comply with all regulations regarding the international movement of plant material, including nursery stock, within the Province of British Columbia. Imported plant materials must be accompanied by copies of the necessary permits and import licenses required by Federal and Provincial regulations.
- 5.0.5. Plants shall be properly proportioned, not weak, thin or elongated.
- 5.0.6. Plants shall have normal, well-developed branches and vigorous, fibrous root systems. They shall be healthy and free from defects, decay, girdling roots, sunscald injuries, abrasions of the bark, and plant diseases, insect pests' eggs, borers and all forms of infestation.
- 5.0.7. Trees shall have straight stems unless uncharacteristic for the species/cultivar. Pruning wounds shall show healthy callous growth at the branch collar without bark tearing or fungal growth. Cambium tissue shall be moist and exhibit the correct coloration for the species. Plants exhibiting fungal staining shall be rejected.
- 5.0.8. All plant materials shall conform to the measurements specified in the drawings except that plants larger than specified may be used if approved by the Landscape Architect. The use of such plants shall not increase the contract price. If larger plants are used, the ball of earth shall be increased in proportion to the size of the plant. All plants shall be measured when the branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch tip to root base or from branch tip to branch tip. Where these measurements are given in parentheses, reference is made to the diameter of the trunk measured 300 mm above ground as the tree stands in the nursery.
- 5.0.9. Native plants shall be propagated in nurseries and not harvested from wild sites, except where salvaged from an area where the native vegetation will be destroyed and authorization for harvest has been obtained. All collected native plants shall be held and maintained in a nursery until new roots have formed through the burlap or other suitable packing material or, in the case of containerized plants, until such time that the roots grow to fill and hold the soil within the container.
- 5.0.10. Collected plants shall not be used without prior approval in writing by the Landscape Architect.
- 5.0.11. Balled and burlapped conifers and trees in excess of 3 metres height must have been dug with a sufficiently large firm rootball to contain 75% of the fibrous and feeder root system. Rootballs shall be free of invasive weeds.
- 5.0.12. Keep plants in a moist condition at all times. Protect all plants against damage and/or drying out until they are planted on the site.

- 5.0.13. During loading, transportation, off-loading, and planting, protect all trees against damage to stems and branches. Protect bark against chafing from chains, cables, equipment, or other trees by a wrapping of cardboard or burlap. Separate entangled tree branches without damage to branches.
- 5.0.14. Plants with broken or abraded trunks or major branches will not be accepted. Prune damaged twigs to ISA pruning guidelines using secateurs.
- 5.0.15. Immediately cover and protect bare root stock from damage to roots by frost, sun, and wind.
- 5.0.16. Handle material supplied in pots and containers by the container only to reduce breakage of branches and leaves.
- 5.0.17. Handle balled and burlapped plant materials with caution to maintain the firmness of the balls. No plants shall be used when the ball of earth surrounding the roots has been cracked or broken preparatory to or during the process of planting, or when the burlap, stakes, and ropes required in connection with their transplanting have been removed.
- 5.0.18. Do not lift trees supplied in wire baskets by the trunk.
- 5.0.19. During the growing season, store all plants in containers, balled & burlapped or wire basket in an upright position if not planted immediately and take care to provide enough space between plants such that light reaches all portions of the plant in order to avoid burning when planted out.
- 5.0.20. Protect rootballs of balled and burlapped material by heeling in with material suitable to protect them from drying out (i.e., sand, peat moss, topsoil). Do not store containerized or balled & burlapped plants intended to be planted in a building or in an area of low light intensity for a period exceeding 7 days. Keep all plants well-watered and protected from heat and frost.
- 5.0.21. Plants shall be acclimatized or "hardened off" against the environmental conditions of their final planting location and shall not be taken directly from shade houses or greenhouses and planted in drastically different environment. Preparation for the new environment should include an appropriate period of storage in an intermediate environment, managing fertilizer applications to avoid excessively lush growth and provision of a graduated watering regime.
- 5.0.22. The Landscape Contractor shall leave the work areas clean, tidy and safe on a daily basis.
- 5.0.23. All plant materials shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety of plants. One year period begins at date of landscape Contractor's final invoice.
- 6.0. TREE PLANTING**
- 6.0.1. Tree planting pits shall be excavated to the dimensions indicated in the drawings. Pit sides wherever possible shall be dug with sloping sides at a preferred angle of 45°, scarified to remove glazing and providing a roughened soil interface. A minimum 300mm depth scarified layer of native soil shall be created in the bottom of the open pit. Remove all stones larger than 75mm.
- 6.0.2. Roughen bottom and sloping side surfaces of tree pit to remove glazing and provide a roughened soil interface prior to placement of tree and subsoil. Adjust elevation under where tree is to be placed so that the nursery soil line on the tree trunk will be 50mm above finish grade to allow for settlement.

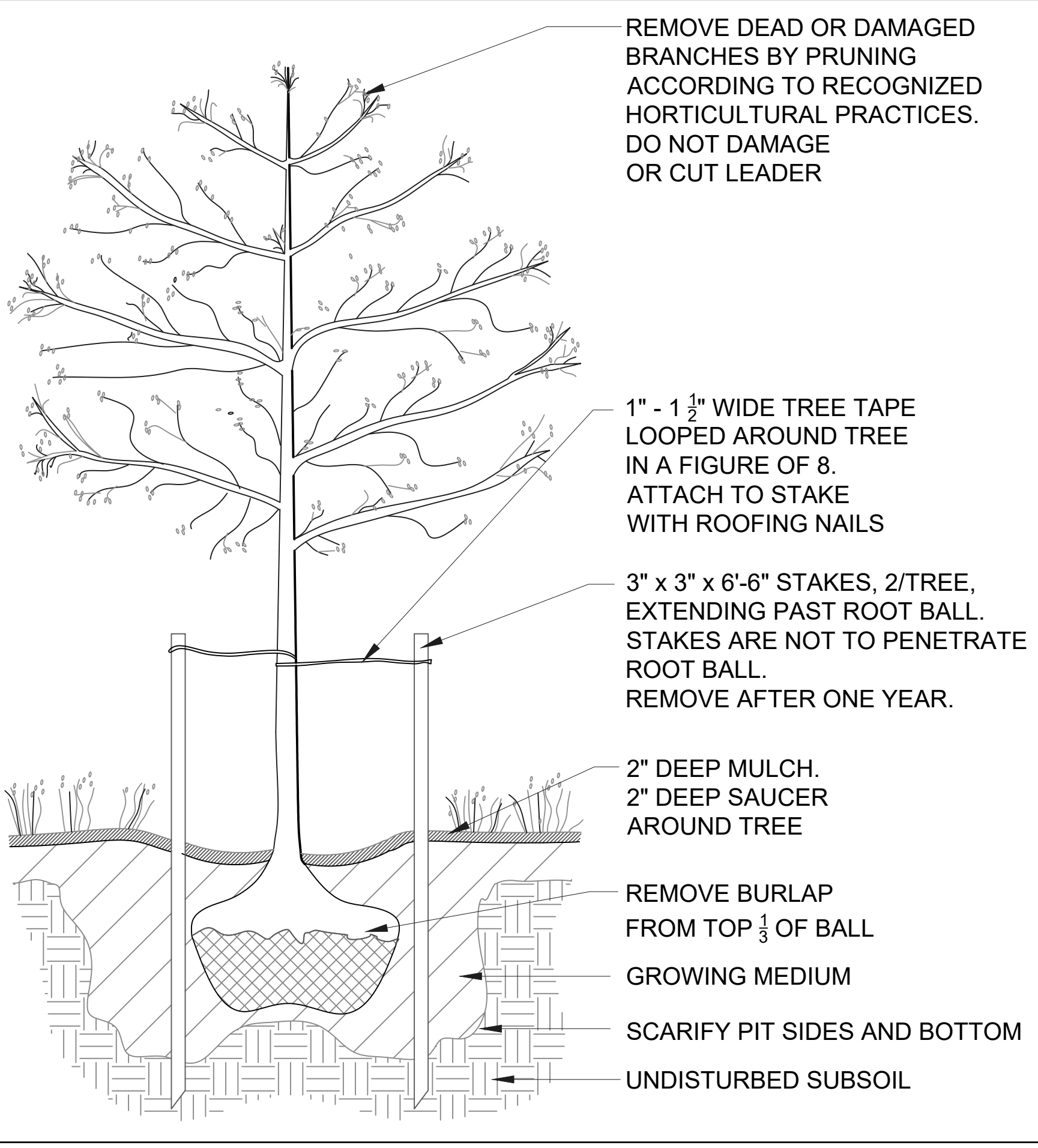
- 6.0.3. Remove wire basket prior to placement in planting pit. With the tree in the planting pit untie and remove burlap and cord from top 1/3 portion of a balled & burlapped rootball. Completely remove, with care, impermeable containers from container-grown or bag-grown trees.
- 6.0.4. Trees with the following defects shall be replaced at the Contractor's expense:
(a) Lack of root ball integrity,
(b) Broken or abraded structural or main roots,
(c) Presence of fungal mass or fruiting bodies and root discoloration,
(d) Poor root development with few fibrous roots, or
(e) Any other evidence of pathogenic or accidental injury.
- 6.0.5. Unwrap and spread out encircling roots and tease out roots growing at the outside of the rootball.
- 6.0.6. The tree shall be installed plumb and faced to provide the best appearance toward the primary viewing location, as determined by the Landscape Architect.
- 6.0.7. Place 2/3 depth of the topsoil and water to remove air voids.
- 6.0.8. If indicated in the construction drawings, and prior to completion of backfilling, place tree stakes, avoiding penetration of the root system. Stakes shall be driven plumb and to a sufficient depth in the soil so that the portion exposed above finish grade equals 1 metre height.
- 6.0.9. Place remaining 1/3 of topsoil lightly boot tamping to remove air voids. Ensure soil level does not exceed original nursery soil line. Form earth saucer to retain water over rootball and water in the tree.
- 6.0.10. Secure tree to stakes with counter-tensioned, non-twisted loops of 19mm polypropylene webbing stapled to the stakes.
- 6.0.11. Place 75mm bark mulch over soil surface.
- 7.0. SHRUB AND GROUND COVER PLANTING**
- 7.0.1. Shrub beds shall be a total of a 450 mm layer of amended topsoil and a 50mm layer of bark mulch.
- 7.0.2. Areas of ground covers shall be a total of a 300mm layer of amended topsoil and a 50mm layer of bark mulch.
- 7.0.3. Excavate individual pits in the placed topsoil mix for shrubs, to the same depth as the container holding the shrub, and 1.5 times the width of the container. Place shrubs to show the best side towards the primary viewpoint. Water shrubs in the pits prior to backfilling with the planting medium.
- 7.0.4. Rake shrub and ground cover beds to a smooth surface prior to placement of 50mm depth bark mulch layer.
- 7.0.5. Plant ground covers through bark mulch layer into the 'A' horizon layer below. The Contractor shall not plant ground covers into the mulch layer without full root burial in the soil.
- 7.0.6. Rake mulch layer to a smooth finish grade and water bed.

- 8.0. PRUNING**
- 8.0.1. Trees which, at the time of planting, require the removal of damaged or diseased branches larger than 12mm diameter, that have broken leaders, or that have a damaged trunk, will be rejected by the Landscape Architect.
- 8.0.2. Pruning shall be limited to the minimum necessary to remove dead or damaged secondary branches or twigs, or to provide safe headroom adjacent to streets and sidewalks. Pruning shall be done in such a manner as to preserve the natural character of the plant.
- 8.0.3. For pruning cuts 12mm diameter and smaller use clean sharp secateurs. The cut shall be perpendicular to the branch angle and located at the outside edge of the branch collar only, leaving no stub or bark tears.
- 8.0.4. Pruning cuts larger than 12mm shall be undertaken according to the current ISA Pruning Guidelines by a qualified person. The 3-cut method shall be employed using a clean sharp pruning saw.
- 9.0. MULCH**
- 9.0.1. Bark mulch shall be 50mm and minus Douglas Fir/Hemlock bark chips, dark brown in colour and shall be virtually free of invasive and noxious seeds and reproductive parts, soil, stones, salts or other harmful chemicals, or other extraneous matter that would prohibit seed germination or the healthy development of plant material.
- 10.0. SEEDING**
- 10.0.1. SCHEDULING AND WORKMANSHIP
- 10.0.1.1. Seed grass during early spring or after the 15th of August to within two weeks of freeze-up.
- 10.0.1.2. Keep site well drained.
- 10.0.1.3. Perform work under optimum field conditions. Do not undertake seeding operation under adverse conditions including moisture, temperature, wind or scheduling related work.
- 10.0.1.4. Clean up immediately soil or debris spilled onto pavement and dispose of deleterious materials.
- 10.0.2. SEEDING METHOD
- 10.0.2.1. Apply seed by Hydraulic Seeding method unless otherwise specified.
- 10.0.2.2. Base application rates of fertilizers, seed mix, mulch and tackifier on analysis of season, climate, terrain, soil, and establishment and maintenance conditions affecting project.
- 10.0.3. HYDROSEEDING (IF APPLICABLE)
- 10.0.3.1. Thoroughly mix seed, fertilizer and hydraulic mulch in water slurry and distribute normally over surface area with approved hydraulic mulcher.
- 10.0.3.2. Measure quantities of each material to be charged into hydraulic seeder/mulch tank accurately either by mass or by common accepted system of mass-calibrated

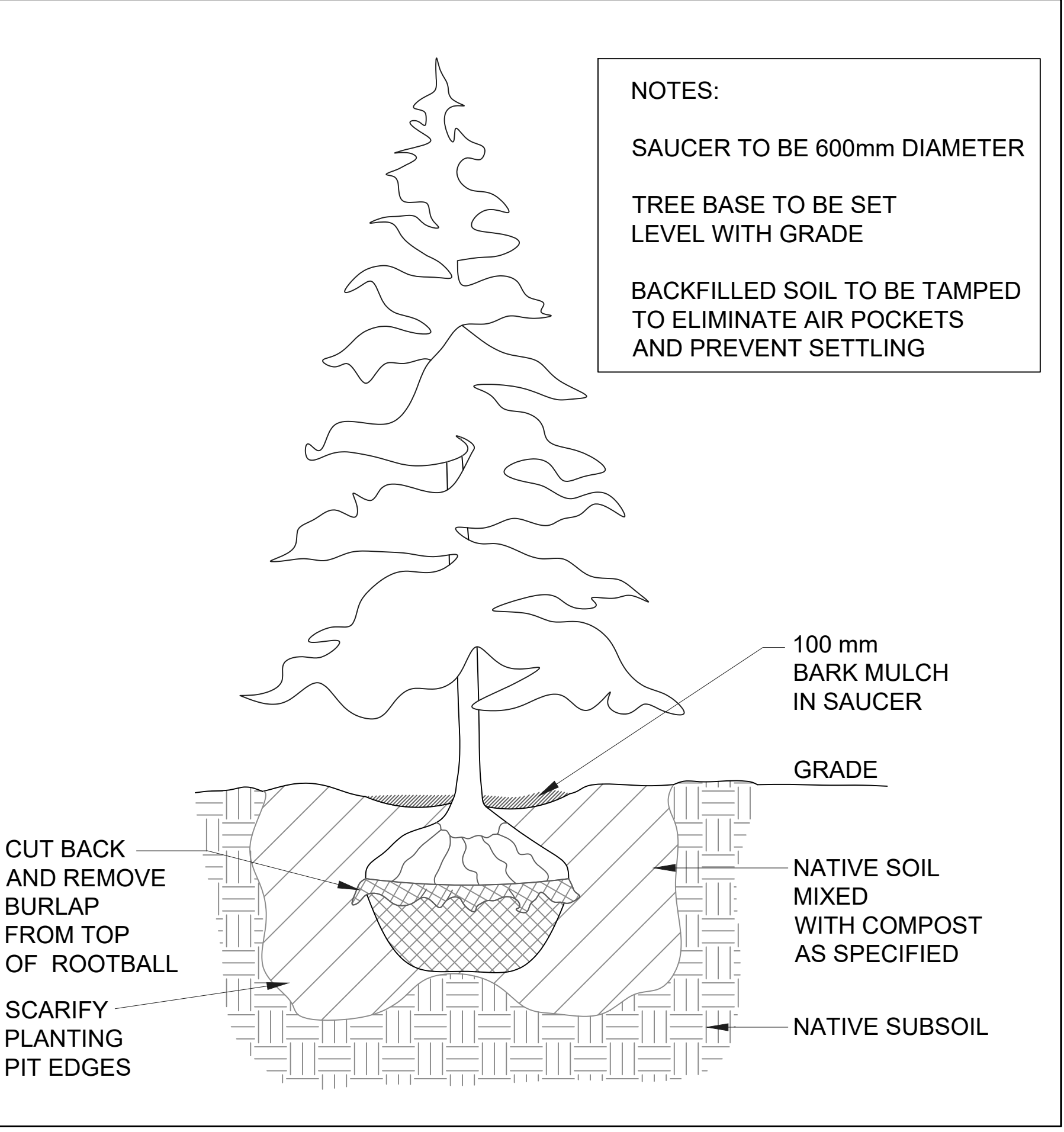
95

- volume measurements. Add materials to tank while it is being filled with water and in following sequence: seed, fertilizer and, where applicable, mulch. Thoroughly mix materials into homogeneous water slurry and distribute uniformly over surface area with hydraulic mulcher.
- 10.0.3.3. After charging, do not add water or other materials to mixture in hydraulic mulcher.
- 10.0.3.4. Do not leave seed, fertilizer, mulch and water slurry in tank for more than 4 hours. Slurry left in tank over maximum time to not be used for seeding; dispose off-site.
- 11.0. IRRIGATION / WATERING SPECIFICATIONS GENERAL (NOT APPLICABLE)**
- 12.0. IRRIGATION / WATERING SPECIFICATIONS SPECIAL (NOT APPLICABLE)**
- 13.0. MISCELLANEOUS (NOT APPLICABLE)**
- 14.0. LANDSCAPE MAINTENANCE**
- 14.0.1. SCOPE
Landscape maintenance operations shall meet the Level 1 'Well-Groomed' Maintenance level in accordance with the BC Landscape Standard, 2012 Edition, unless otherwise specified herein or subject to a separate agreement.
- Well-Groomed Maintenance Level Definition**
(from BC Landscape Standard, 2012 Edition)
- Objectives:**
Main objective is first class appearance, always impeccably clean and well groomed.
- Appearance Standard:**
Plants are kept "manicured" and in near-perfect health, leaves healthy, uniformly green and thoroughly groomed. The area is kept substantially free of weeds and invasive plants, and debris. Seasonal plantings kept lush and "very showy" throughout the seasons. Noxious weeds shall be eradicated.
- 14.0.2. The maintenance period shall be from the time of planting until one year from the date of Notice of Acceptance of the landscape works.
- 14.0.3. MAINTENANCE PRACTICE
- 14.0.3.1. Maintenance operations should, where possible, follow ecologically sound practices such as:
(a) Integrated Pest Management (IPM)
(b) Plant Health Care (PHC)
(c) Composting
(d) Application of Organic Mulches
- 14.0.3.2. Routine maintenance for trees, shrubs and groundcovers shall include:
(a) Watering, weeding, pest and disease control, remedial pruning;
(b) Plant replacements as required;
(c) Supplemental fertilization as specified by the soil testing laboratory;
(d) Spring and fall clean-up.
- 14.0.3.3. Routine maintenance for the seeded areas shall include:

- (a) Maintaining an even cover of seed.
(b) Repairing and over seeding any damaged areas;
(c) Watering to include germination period only.
- 14.0.4. PROTECTION**
- 14.0.4.1. All existing and new plants, site services, curbs, paving structures, finishes and all other features shall be protected against damage during the work.
- 14.0.4.2. Appropriate measures shall be taken to ensure that no spillage of fuels, fertilizers, toxic construction materials, or other toxic wastes occurs, and where use of such materials is necessary, to ensure that adequate containment facilities and clean-up equipment are utilized.
- 14.0.4.3. No toxic or waste materials, fuels and fertilizers shall be stored adjacent to or dumped into water courses or any other water body either on or off the job site, or in a location where spillage could result in seepage into a watercourse.
- 14.0.4.4. All toxic wastes and other material shall be disposed of in a manner acceptable to the Owner and in accordance with municipal, provincial and federal regulations.
- 14.0.5. TREES, SHRUBS AND GROUND COVERS**
- 14.0.5.1. The Contractor shall undertake the following maintenance operations for trees, shrubs and ground covers for the duration of the maintenance period:
(a) Maintain the mulched areas of shrub and ground cover beds, and at the bases of trees, in a clean, uncompacted, weed-free and grass free condition. Ensure the total removal of all root parts of weeds. Do not mechanically cultivate over the root zone of any plant material.
(b) Remove fallen leaves, twigs and trimmings in a timely fashion to prevent rot, damage to the surrounding landscape, impeded area drainage, or public inconvenience.
(c) Pruning shall only be undertaken to remove broken or dying branches, or as recommended for a particular species in the technical horticultural literature, prune plant materials during the late autumn after leaf drop or in early spring prior to bud break. Prune shrubs which bloom on the previous year's growth, shortly after blooming.
(d) Do not fertilize trees planted in the spring until the following spring. Do not fertilize trees planted in the summer or fall until the following spring. Apply only a controlled release complete fertilizer, at the rate recommended by the soil testing laboratory.
(e) Fertilize shrub and ground cover beds with a complete slow release fertilizer in accordance with the recommendations of the soil testing laboratory.
(f) Trees which are staked shall be inspected periodically for state of repair, correct tensioning and for signs of stem abrasion or constriction. Unless otherwise instructed by the City Engineer, the stakes shall be removed by the Contractor prior to, and as a condition of, final payment at the end of the maintenance period.



DECIDUOUS TREE PLANTING DETAIL
Scale: N.T.S.



CONIFEROUS TREE PLANTING DETAIL
Scale: N.T.S.

NOTES:
For grading information, see Civil drawings.

Irrigation plan by others.

REVISIONS:

Issued for DP - 2017APR12
Re-Issued for DP - 2017APR13
Issued for Review - 2017JUN13
Re-Issued for DP - 2017JUN13
Re-Issued for DP - 2017JUN19

CONSULTANT:

PROJECT:

TIM HORTON'S STORE #108367 DUNCAN, BC

SITE LEGAL DESCRIPTION:

4790 TRANS CANADA HIGHWAY DUNCAN, BC

SHEET TITLE:

LANDSCAPE SPECIFICATIONS

- LANDSCAPE SPECIFICATIONS
- DECIDUOUS PLANTING DETAIL
- CONIFEROUS PLANTING DETAIL

SCALE: AS NOTED	DATE: Apr. 12, 2017
DRAWN: DR	R3
PROJECT NUMB/ TIM HORTON'S	
DRAWING NUM/ L2 /1	



VICTORIA DRAKEFORD LANDSCAPE ARCHITECT

236 Pine Street, Nanaimo, B.C. Canada V9R 2B6 Phone/Fax (250) 754-4335

October 16, 2017

Mark Mitchell

250-715-5561

markamitchell@shaw.ca

Greca Holdings Ltd.

422-2640 Beverly St.

Duncan B.C. V9L 5C7

Dear Mark,

Please find attached my response to your email dated October 13, 2017 regarding comments from the APC.

The rationale behind the planting scheme is as follows:

A balance was sought between site context, wildlife habitat, water requirements, client requests, and long-term vegetation management.

The plan has a section that includes a rich and diverse habitat along the south west property line. Here the aim is to have an informal “tangle” of indigenous plants in the bioswale, forming the function of wildlife food and shelter in the form of nectar and berries and evergreen and deciduous foliage of trees and shrubs. Over time this will develop into a multi-layered planting which will need little maintenance but be a more informal backdrop to the project.

The scheme for the rest of the site considers that it is the more public face of the project, and as such needs to look “tidier” and have more colour as well as be easier to maintain. The planting scheme relies on trees, ornamental grasses and perennials which have all these attributes in addition to thriving on less water requirements. These plants also provide food and habitat for wildlife in the following ways: the evergreen trees provide year-round shelter for birds and insects; the dogwoods provide seasonal shelter and seeds. The oaks provide year-round shelter. The perennials provide nectar for bees and shelter for insects. The grasses provide year-round cover for ground feeding birds and insects, with seed heads providing food for birds. The overall aesthetics of the scheme, the colours of the grasses along with the clusters of evergreen trees, have been designed to fit in with the surrounding rural area.

The clusters of evergreens and deciduous trees along the highway will effectively screen the building from cars travelling at highway speed. As they travel along

the highway these trees will appear as a solid wall, with the gaps only opening as you draw alongside the project. I feel this provides a good edge to the highway while allowing some visibility into the site.

Yours truly,


Victoria Drakeford

TRANS CANADA HIGHWAY

GRAVEL PATH

NO POST BARRIERS

SPLIT RAIL FENCE

BIOSWALE

SPLIT RAIL FENCE
IN-BETWEEN
PLANTED AREAS

MIXED EVERGREEN
& DECIDUOUS TREES
& SHRUBS

MEADOW GRASS
& WILDFLOWERS

RAINGARDEN

Tim Horizons
MODEL 2700-13
DRIVE THRU
GFA 2511sqm.
2703sqft.
44 SEATS

DECIDUOUS TREES &
ORNAMENTAL
GRASSES

HEDGE

DECIDUOUS TREES
& ORNAMENTAL
GRASSES

DECIDUOUS TREES
& LOW ORNAMENTAL
GRASSES UNDER

CROSSWALK

GRAVEL PATH

ECOFORM
OUTDOOR SITE & AREA

GRAVEL PATH

MAILBOXES

DECIDUOUS TREES
& LOW ORNAMENTAL
GRASSES UNDER

MIXED EVERGREEN
& DECIDUOUS TREES
& SHRUBS

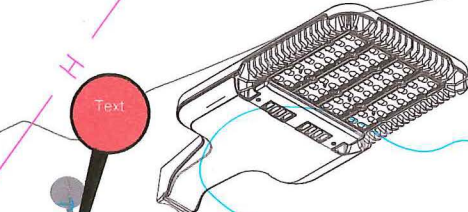
REDIRECT BIOSWALE TO DITCH ALONG ROAD

Concrete Sidewalk

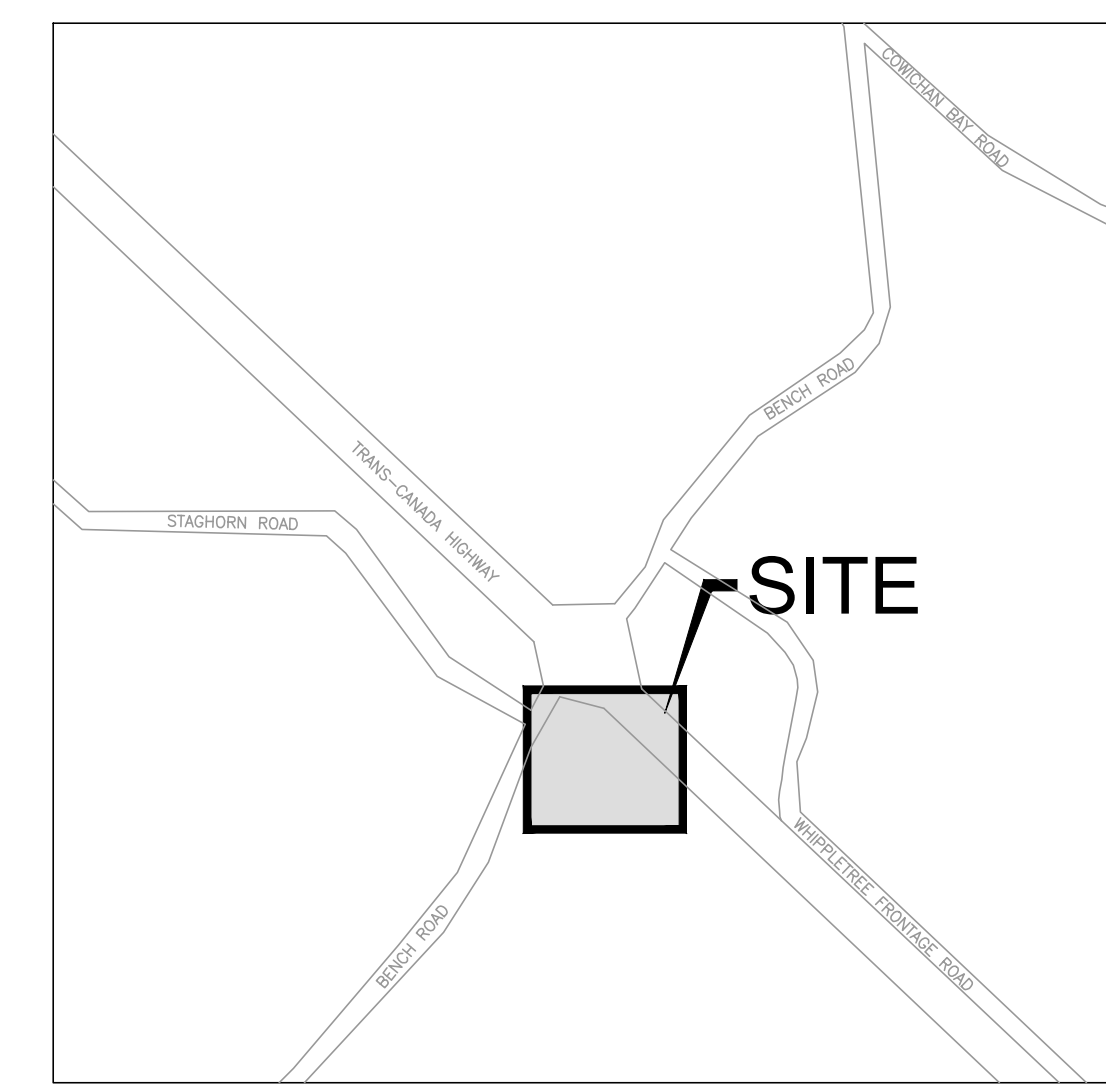
GRASS

86

BENCH ROAD



ISSUES		
No.	DATE	ISSUED FOR
A	2017.04.12	DEVELOPMENT PERMIT
B	2017.06.01	REVISED AS PER CVRD COMMENTS
C	2017.06.19	FOR COORDINATION
D	2017.07.14	BUILDING PERMIT



LOCATION PLAN
NTS

- GENERAL NOTES:**
1. ALL WORK AND MATERIALS ARE TO BE AS DESCRIBED IN THE MUNICIPALITY OF NORTH COWICHAN ENGINEERING STANDARDS & SPECIFICATIONS LATEST EDITION OR AS OTHERWISE APPROVED BY THE REGIONAL DISTRICT ENGINEER.
 2. CONNECTION TO, OR ALTERATION OF, EXISTING MUNICIPALITY-OWNED UTILITIES, REQUIRES AUTHORIZATION BY THE MUNICIPALITY ENGINEER.
 3. A "PERMIT TO INSTALL WORKS WITHIN STREETS, LANES AND MUNICIPALITY PROPERTY AREAS" WILL BE REQUIRED WHERE CONSTRUCTION IS TO BE UNDERTAKEN IN MUNICIPALITY OF NORTH COWICHAN RIGHT-OF-WAYS AND/OR MUNICIPALITY OF NORTH COWICHAN-OWNED UTILITIES OR PROPERTIES.
 4. UPON APPROVAL OF THE PERMIT, THE CVRD'S CONSTRUCTION DIVISION SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
 5. THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
 6. CONTRACTOR TO COMPLY WITH ALL APPLICABLE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES & OCEANS CANADA REQUIREMENTS AT ALL TIMES DURING CONSTRUCTION.
 7. CONTRACTOR TO CONFIRM LOCATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
 8. CONTRACTOR TO CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
 9. ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED.
 10. ADJUST ALL MANHOLES, WATER VALVES, HYDRO VAULTS, ETC. TO MATCH NEW CONSTRUCTION.
 11. ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
 12. ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO LOCAL BENCHMARK, TRAVERSE HUB SPIKE #204, WITH AN ELEVATION OF 52.03 METERS
 13. DATA SOURCES:
- TOPOGRAPHIC SURVEY COMPLETED BY BRUCE LEWIS LAND SURVEYING INC. IN NOVEMBER 2016.

WATERMAIN NOTES:

1. WHERE THE WATERMAIN IS WITHIN 3.0m HORIZONTALLY OR 0.45m VERTICALLY OF A STORM OR SANITARY SEWER, JOINTS ARE TO BE WRAPPED IN ACCORDANCE WITH MINISTRY OF HEALTH GUIDELINES.
2. ONSITE SERVICES TO BE INSTALLED WITH A MINIMUM OF 1.2m COVER
3. ALL SERVICES TO BE 75mm HDPE DR9 UNLESS OTHERWISE NOTED.

STORM SEWER NOTES:

1. ALL CATCH BASINS TO BE M₆NC TYPE 1 UNLESS OTHERWISE NOTED.
2. ALL CATCH BASIN LEADS TO BE 200 ϕ PVC SDR35 UNLESS OTHERWISE NOTED.
3. STORM SEWER SERVICE LOCATIONS SHOWN BETWEEN MAIN AND PROPERTY LINE ARE ASSUMED.

SANITARY SEWER NOTES:

1. ALL SANITARY SERVICES ARE TO BE 150 ϕ PVC SDR28 UNLESS OTHERWISE NOTED.
2. REFER TO RH20 SCOPE OF WORK AND SPECIFICATIONS FOR WASTEWATER TREATMENT DETAILS.
3. ALL SERVICING ALIGNMENTS AND INVERTS TO BE CONFIRMED WITH MECHANICAL CONSULTANT AND WASTEWATER TREATMENT SYSTEM DESIGNER/INSTALLER.

GAS NOTES:

1. GAS MAIN AND SERVICE LOCATIONS ARE APPROXIMATE ONLY AND ARE BASED ON FORTIS BC INFORMATION.

ELECTRICAL NOTES:

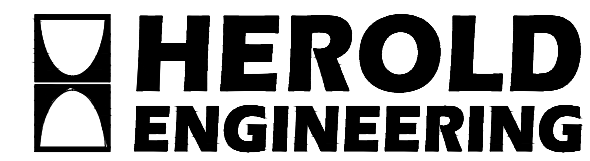
1. ALL ELECTRICAL WORK TO BE IN CONJUNCTION WITH BC HYDRO, TELUS, AND ELECTRICAL CONSULTANT DRAWINGS. ELECTRICAL WORK SHOWN ON THESE DRAWINGS IS FOR COORDINATION ONLY.

LIST OF DRAWINGS

DWG No.	DESCRIPTION
C01	SITE SERVICING, DRAWING LIST, GENERAL NOTES, & LOCATION PLAN
C02	SITE GRADING, ROAD WORKS, SIGNAGE & LINE PAINTING
C03	SECTIONS & DETAILS
C04	STORM WATER MANAGEMENT PLAN
C05	EROSION & SEDIMENT CONTROL PLAN

4790 TRANS CANADA HIGHWAY
TIM HORTONS

DUNCAN, B.C.
GRECA HOLDINGS



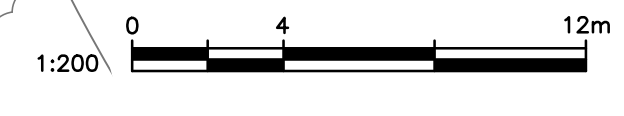
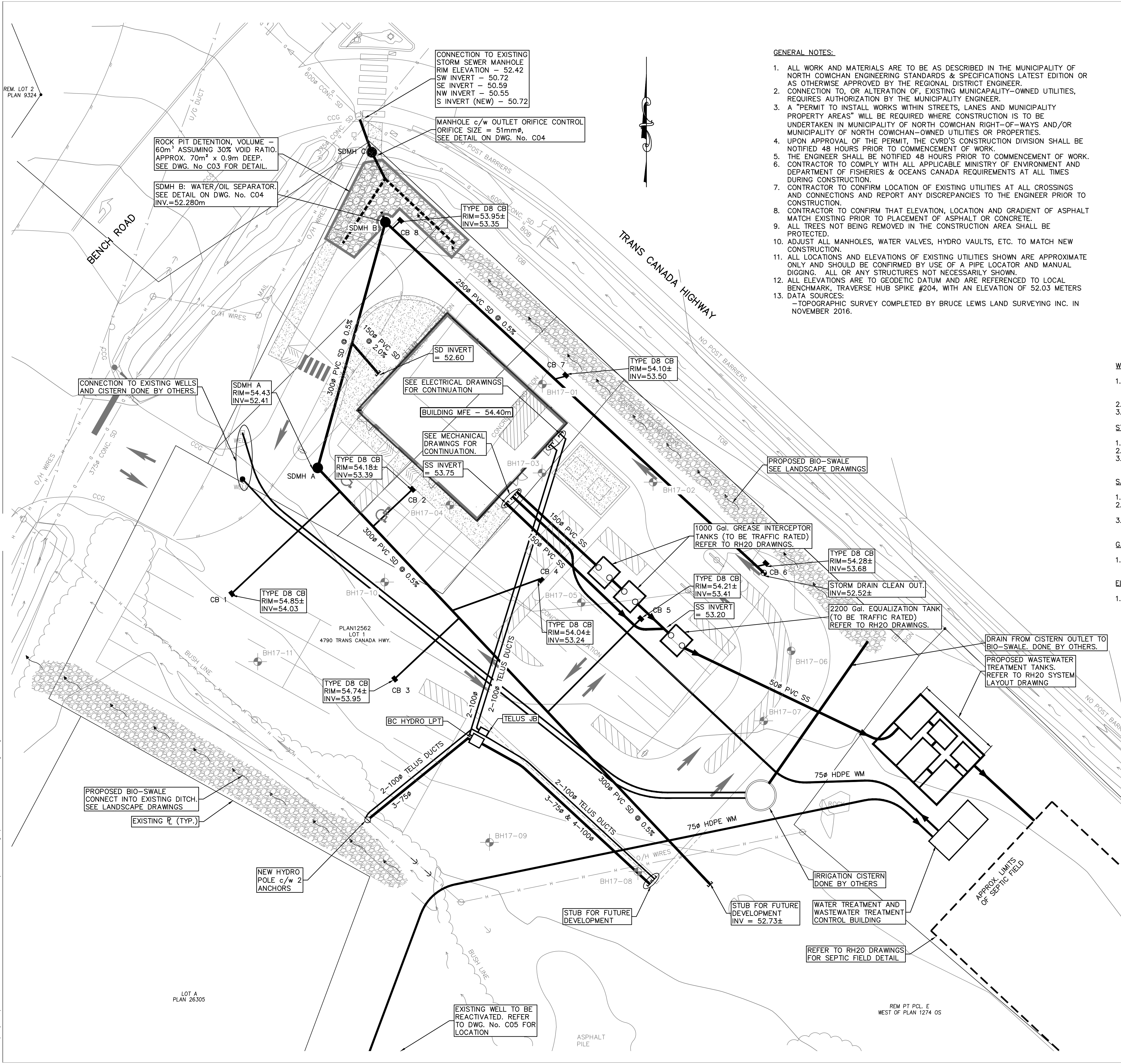
3701 Shenton Rd, Nanaimo, BC V9T 2H1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mail@heroldengineering.com

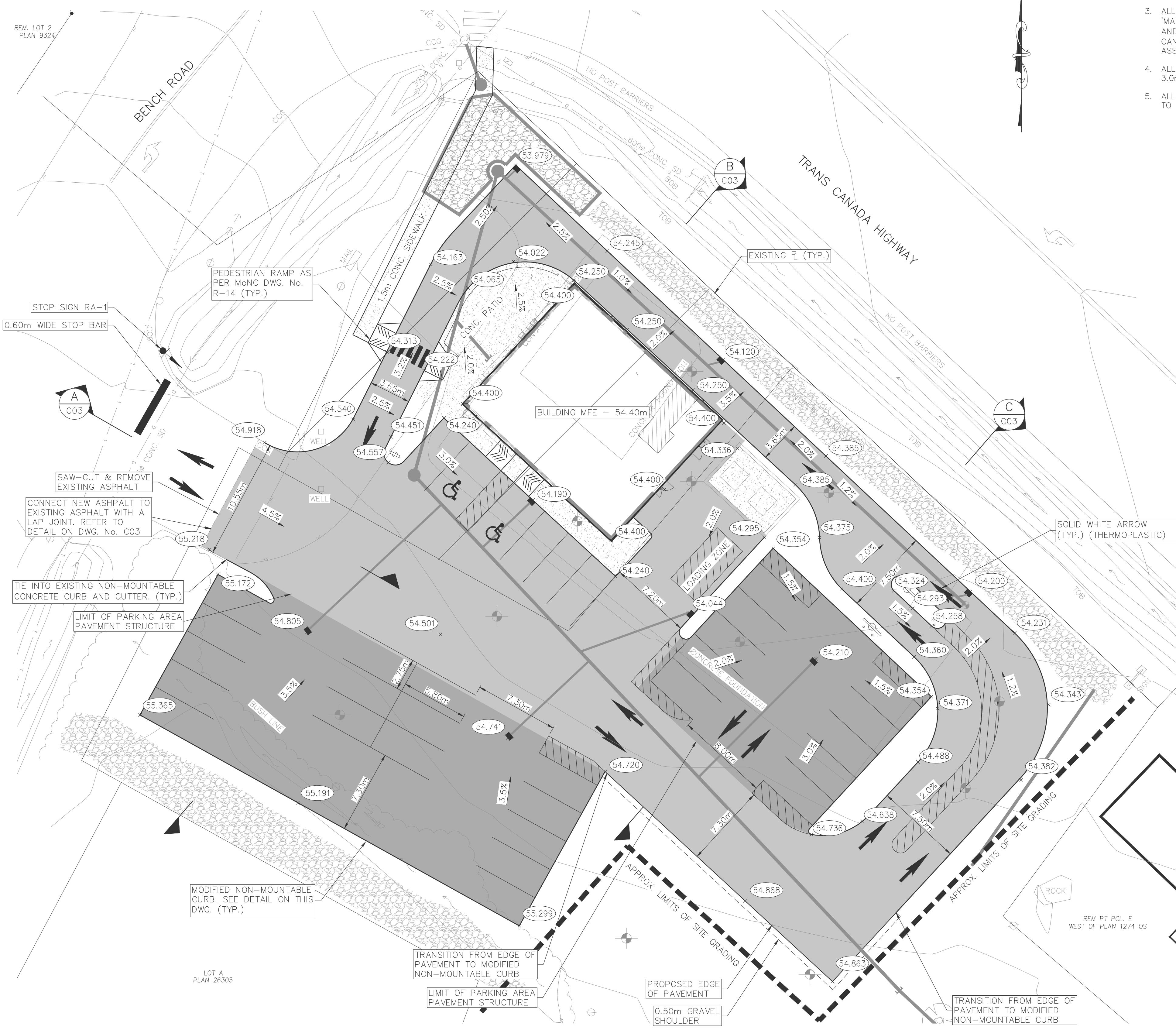
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**SITE SERVICING,
LIST OF DRAWINGS,
GENERAL NOTES,
& LOCATION PLAN**

DESIGNED EGAP	ENGINEER'S SEAL
DESIGN REVIEW PGR	
DRAFTED EGAP	CLIENT
DRAFTING REVIEW PGR	
PROJECT No. 1902-026	PERM
SCALE H: 1:200 V: NA	HEL DRAWING No. C01

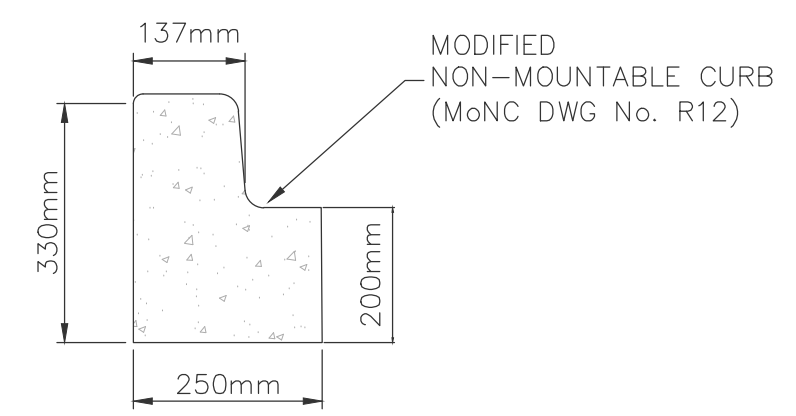
R3





- NOTES:**
- FOR GENERAL NOTES SEE DWG. No. C01
 - FOR ALL SIDEWALKS, PATIO SPACE, BOLLARDS, & SIGNAGE, REFER TO ARCHITECTURAL DRAWINGS.
- SIGNAGE AND PAINT MARKING NOTES:**
- ALL PAINT MARKINGS AND SIGNAGE TO BE AS PER THE 'MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD) AND THE 'BIKEWAY TRAFFIC CONTROL GUIDELINES FOR CANADA' PUBLISHED BY THE TRANSPORTATION ASSOCIATION OF CANADA.
 - ALL SIGNS TO BE MOUNTED AT A HEIGHT OF 2.0m TO 3.0m.
 - ALL STOP BARS, CROSSWALK BARS AND TURNING ARROWS TO BE THERMOPLASTIC PAINT.

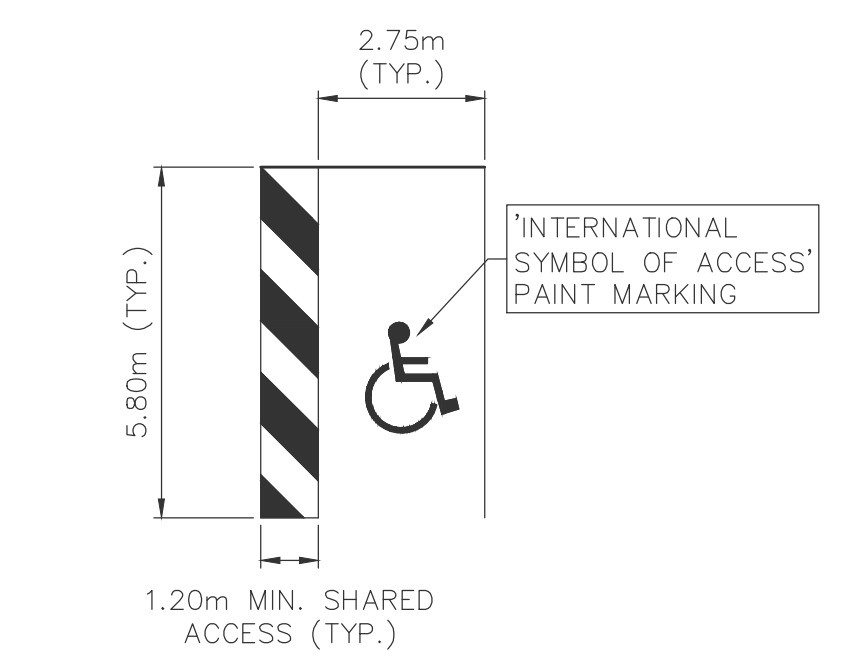
- PAVEMENT STRUCTURE**
 PLACED ON A SUBGRADE APPROVED BY A GEOTECHNICAL ENGINEER
- MAIN TRAVEL AISLE, LOADING ZONE, & DRIVE THRU**
- 40mm SURFACE COURSE ASPHALT
 - 50mm BINDER COURSE ASPHALT
 - 150mm GRANULAR BASE
 - 300mm GRANULAR SUBBASE
- PARKING AREA**
- 50mm BINDER COURSE ASPHALT
 - 100mm GRANULAR BASE
 - 250mm GRANULAR SUBBASE



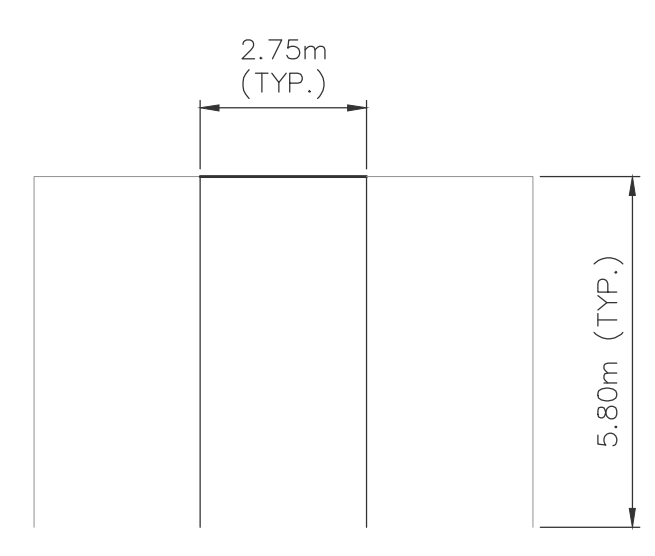
MODIFIED NON-MOUNTABLE CURB DETAIL
NTS

SIGNS SCHEDULE - THIS DRAWING

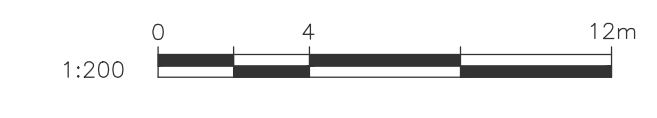
SIGN	QTY.	LOCATION
STOP RA-1	1	AT ENTRANCE OF SITE



TYPICAL ACCESSIBLE STALL LAYOUT
NTS



TYPICAL STALL LAYOUT
NTS



ISSUES

No.	DATE	ISSUED FOR
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B	2017.06.01	REVISED AS PER CVRD COMMENTS
C	2017.06.19	FOR COORDINATION
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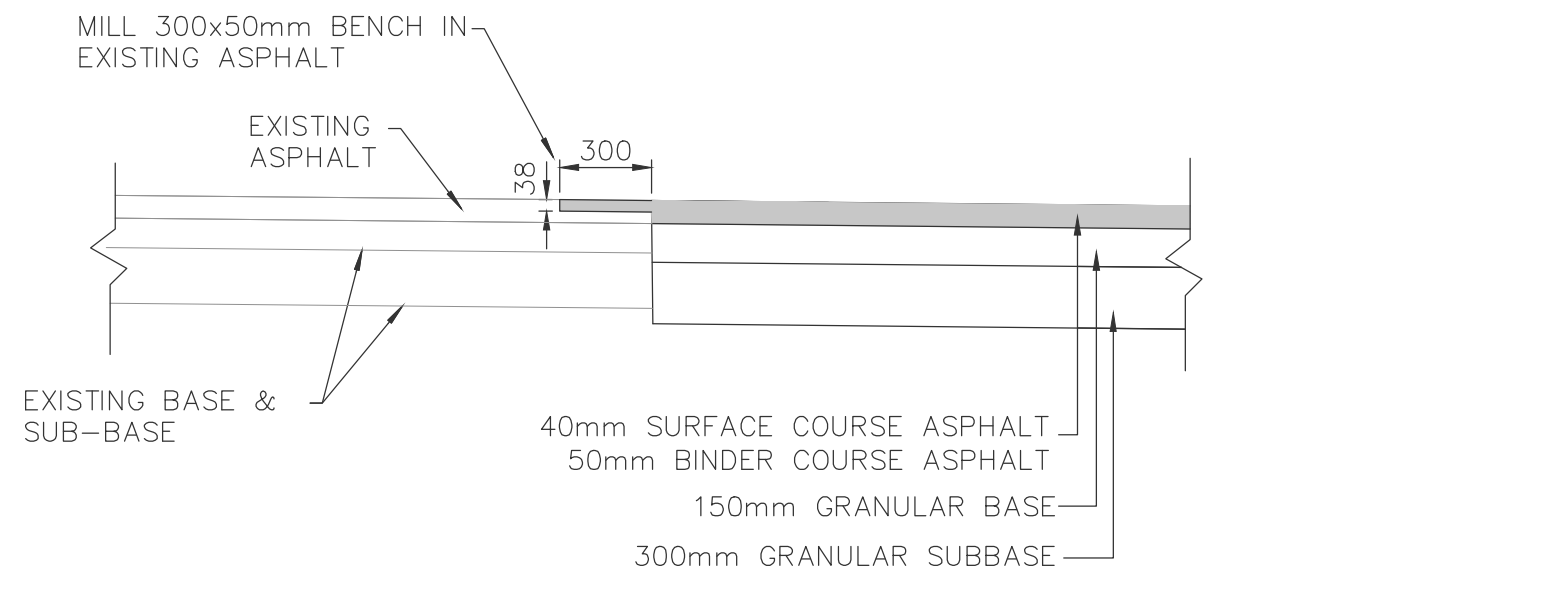
4790 TRANS CANADA HIGHWAY
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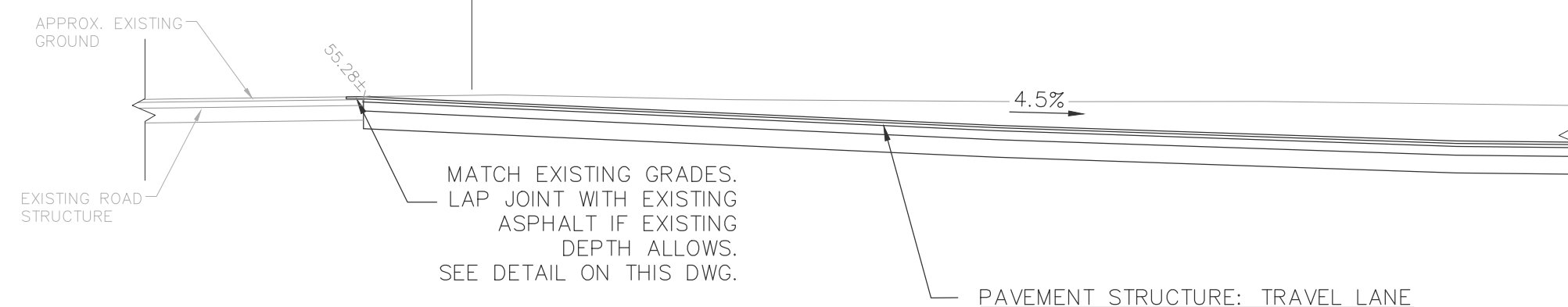
**SITE GRADING,
 ROAD WORKS,
 SIGNAGE & LINE
 PAINTING**

DESIGNED EGAP	ENGINEER'S SEAL
DESIGN REVIEW PGR	
DRAFTED EGAP	PROJECT No. 1902-026
DRAFTING REVIEW PGR	
SCALE H: 1:200 V: NA	CLIENT
HEL DRAWING No. C02	PERMI

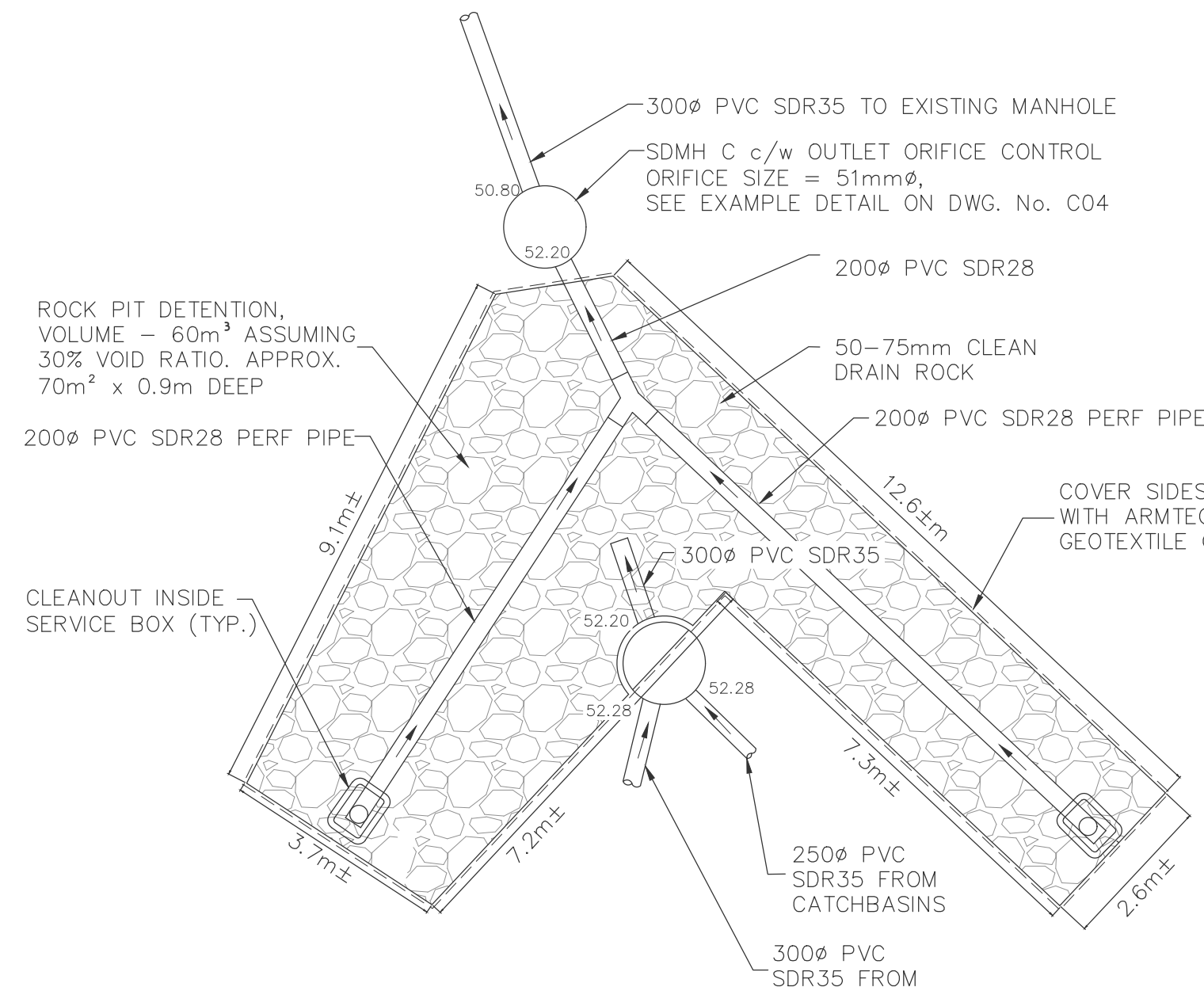
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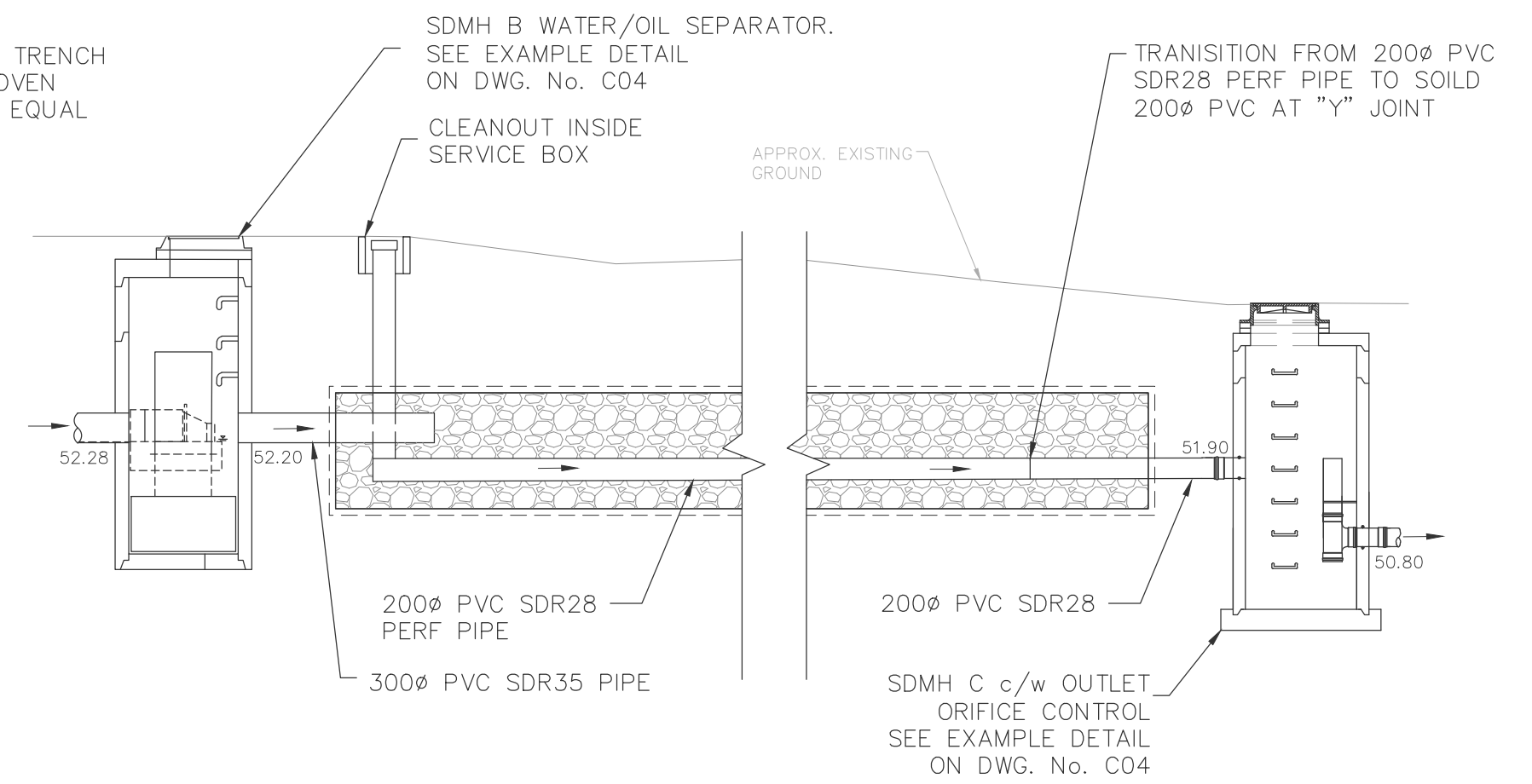
LAP JOINT DETAIL
NTS



SECTION
A
C03
1:100



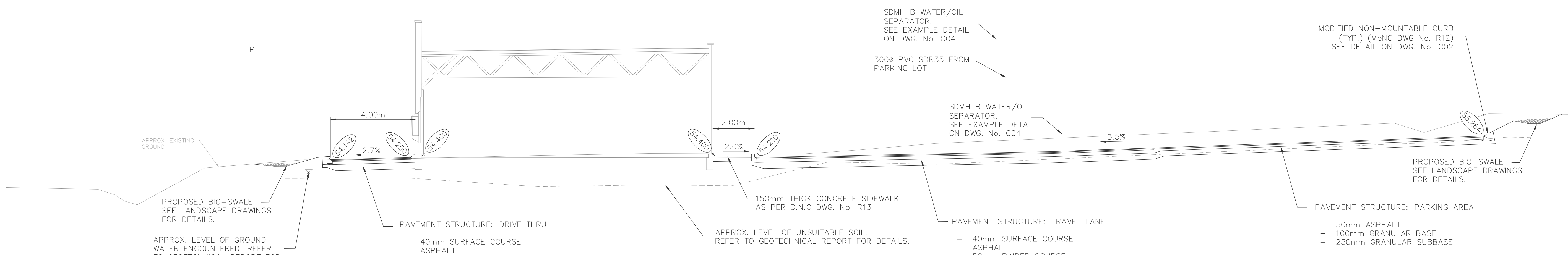
ROCK PIT DETENTION DETAIL-PLAN
NTS



ROCK PIT DETENTION DETAIL-PROFILE
NTS

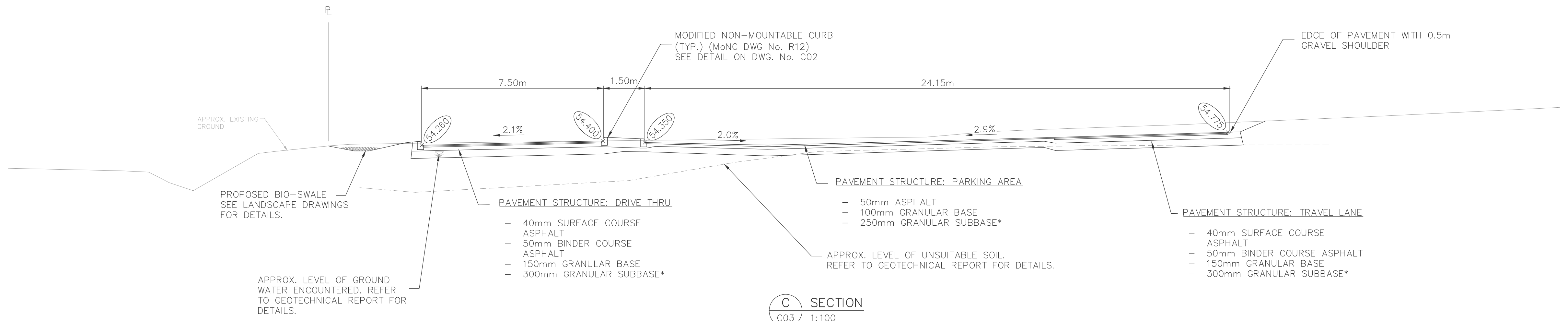
NOTES:
1. FOR GENERAL NOTES SEE DWG. No. C01.

ISSUES		
No.	DATE	ISSUED FOR
A	2017.04.12	DEVELOPMENT PERMIT
B	2017.06.01	REVISED AS PER CVRD COMMENTS
C	2017.06.19	FOR COORDINATION
D	2017.07.14	BUILDING PERMIT



SECTION
B
C03
1:100

* PLACED ON A SUBGRADE APPROVED BY GEOTECHNICAL ENGINEER, ALLOW FOR OVER EXCAVATION & IMPORT GRANULAR FILL PALCEMENT BELOW SUBGRADE.



SECTION
C
C03
1:100

* PLACED ON A SUBGRADE APPROVED BY GEOTECHNICAL ENGINEER, ALLOW FOR OVER EXCAVATION & IMPORT GRANULAR FILL PALCEMENT BELOW SUBGRADE.

4790 TRANS CANADA HIGHWAY
TIM HORTONS

DUNCAN, B.C.
GRECA HOLDINGS

HEROLD ENGINEERING
3701 Shenton Rd, Nanaimo, BC V9T 2H1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mail@heroldengineering.com

SECTIONS, & DETAILS	
DESIGNED EGAP	ENGINEER'S SEAL
DESIGN REVIEW PGR	
DRAFTED EGAP	
DRAFTING REVIEW PGR	
PROJECT No. 1902-026	CLIENT
SCALE H: NA V: NA	PERMI
HEL DRAWING No. C03	

R3

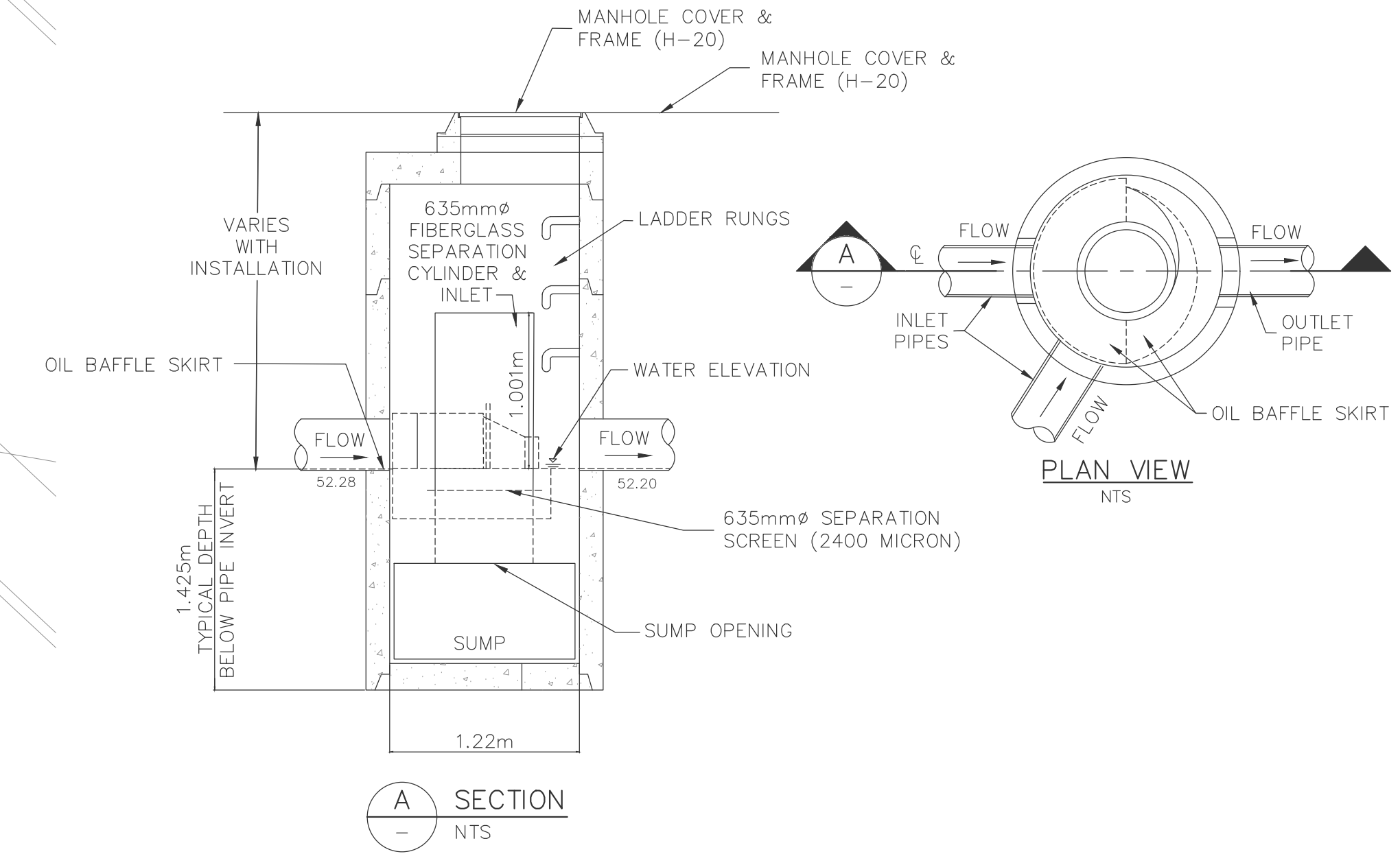


CATCHMENT	AREA (ha)
Q1	0.22
Q2	0.15
Q3 (FUTURE)	1.47

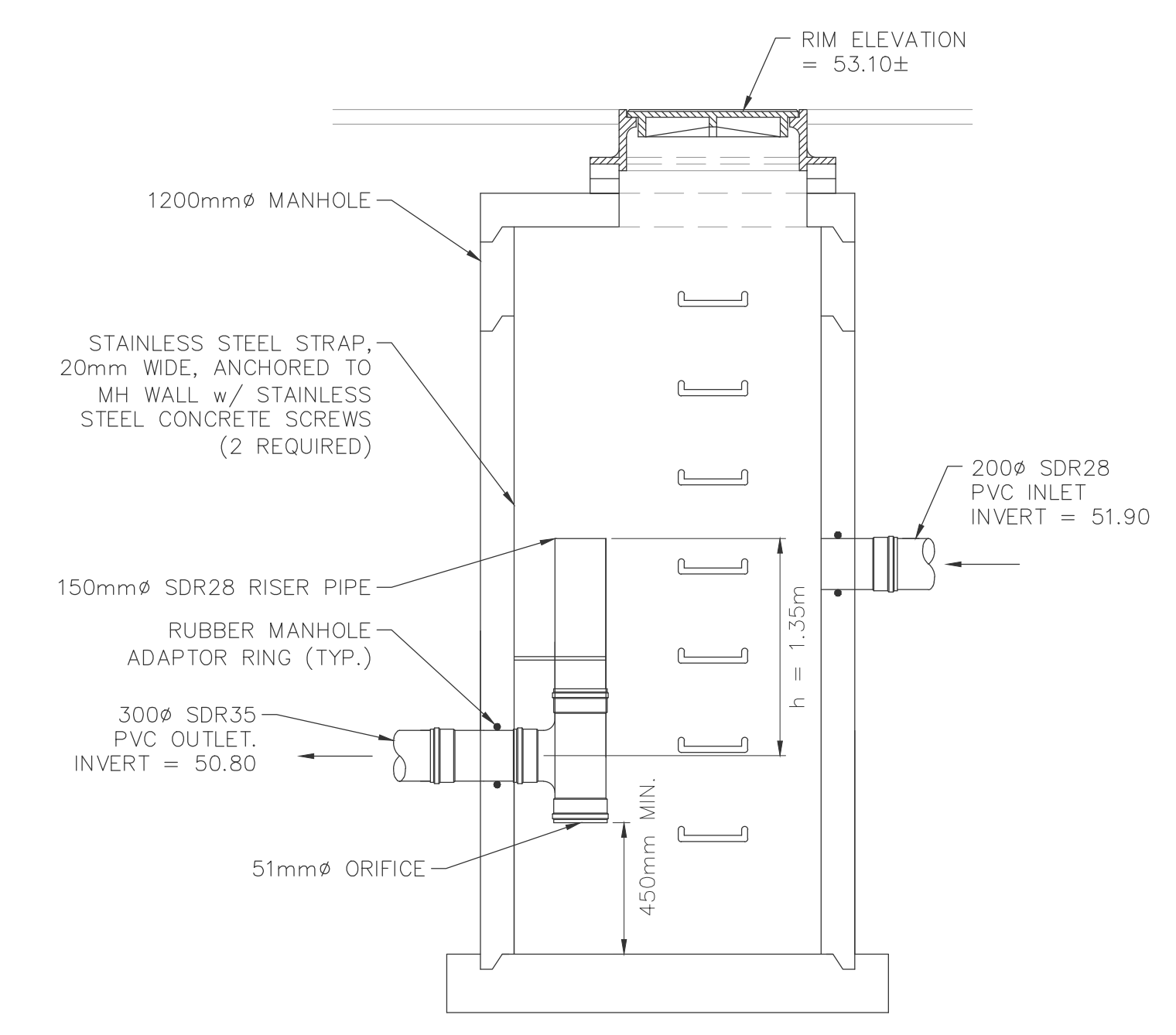
←
 MAJOR STORM EVENT
 ROUTING (OVERLAND) 100
 YEAR

Q1:	Q2:	Q3:
2yr= 10.63L/s	2yr= 16.27L/s	2yr= 43.12L/s
5yr= 12.71L/s	5yr= 19.46L/s	5yr= 51.56L/s
10yr= 14.20 L/s	10yr= 21.74 L/s	10yr= 57.60 L/s
100yr= 18.59L/s	100yr= 28.45L/s	100yr= 75.39L/s

NOTES:
 1. FOR GENERAL NOTES SEE DWG. No. C01.



SDMH B: CDS 1515-3 OIL/WATER SEPARATOR
 NTS



SDMH C: FLOW CONTROL MANHOLE
 NTS

ISSUES		
No.	DATE	ISSUED FOR
A	2017.04.12	DEVELOPMENT PERMIT
B	2017.06.01	REVISED AS PER CVRD COMMENTS
C	2017.06.19	FOR COORDINATION
D	2017.07.14	BUILDING PERMIT

CLIENT

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 TIM HORTONS
 DUNCAN, B.C.
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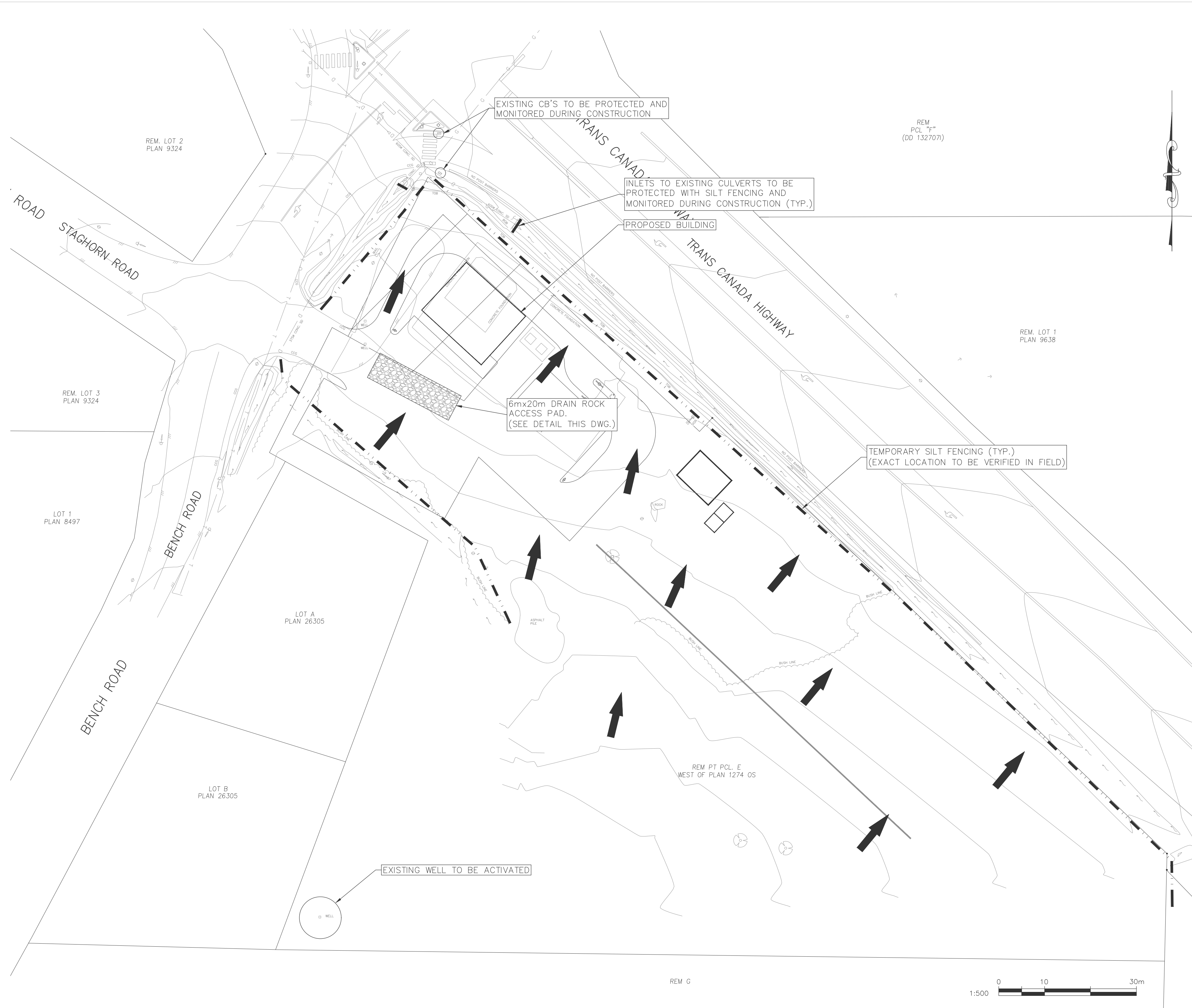
HEROLD ENGINEERING
 3701 Shenton Rd, Nanaimo, BC V9T 2H1
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STORM WATER MANAGEMENT PLAN

DESIGNED EGAP	ENGINEER'S SEAL
DESIGN REVIEW PGR	
DRAFTED EGAP	
DRAFTING REVIEW PGR	
PROJECT No. 1902-026	CLIENT
SCALE H: 1:200 V: NA	PERMIT
HEL DRAWING No. C04	

R3



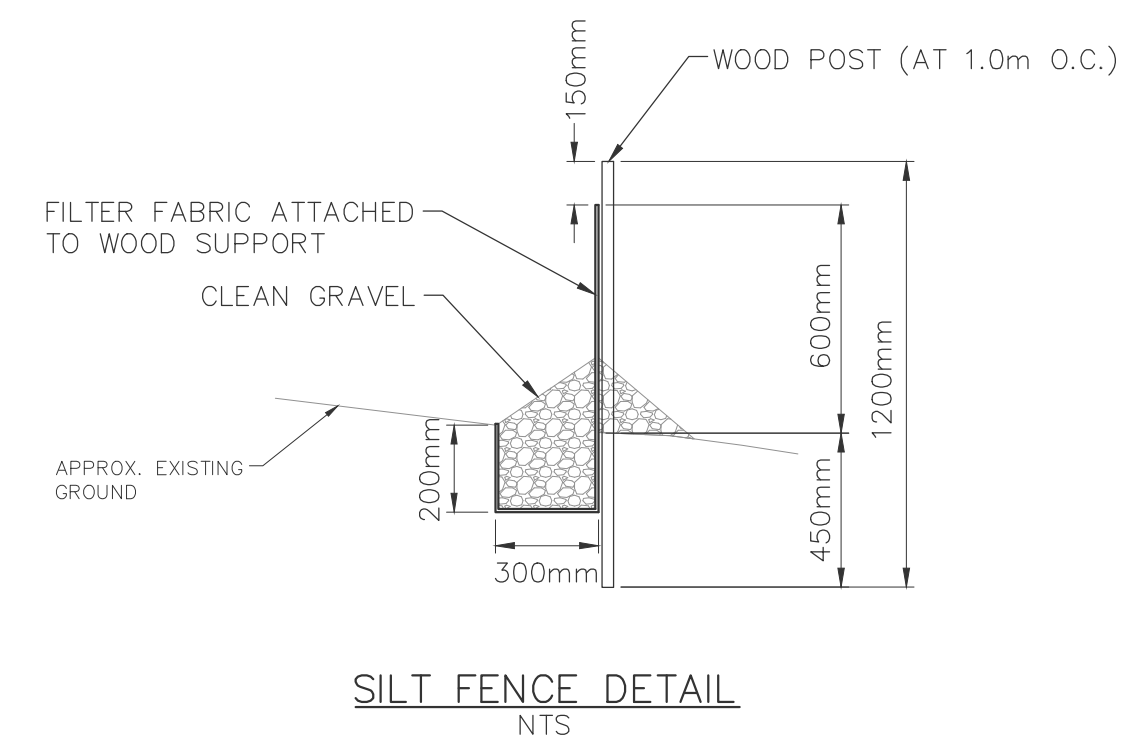
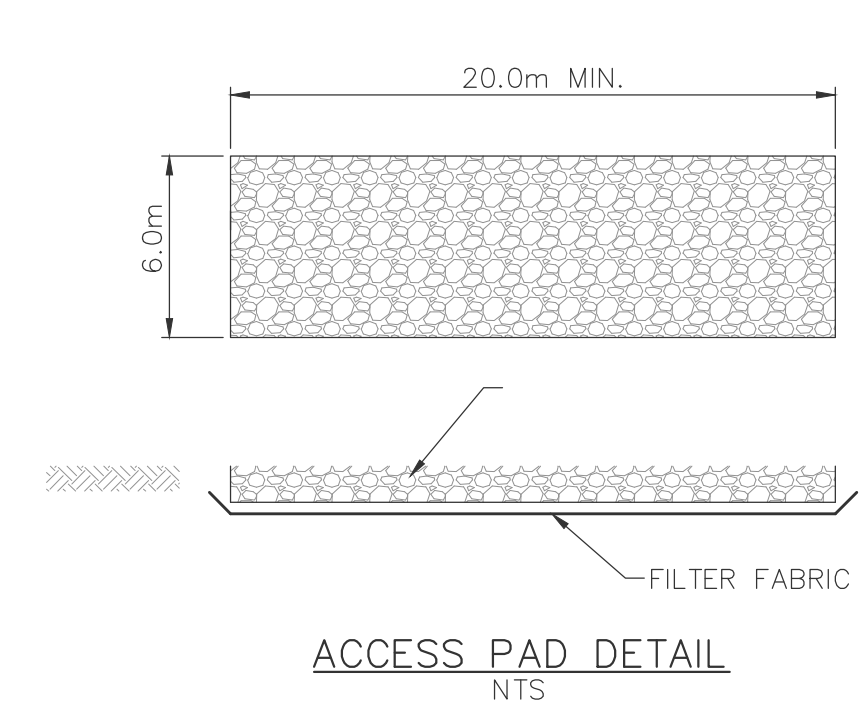
NOTES:

1. FOR GENERAL NOTES SEE DWG. No. C01.

EROSION & SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL FOR THIS PROJECT WILL BE AS OUTLINED IN THE FISHERIES AND OCEANS CANADA & MINISTRY OF WATER, LANDS AND AIR PROTECTION HANDBOOK ENTITLED "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF THE AQUATIC HABITAT, SEPTEMBER 1993" AND "ENVIRONMENTAL BEST MANAGEMENT PRACTICES FOR URBAN AND RURAL LAND DEVELOPMENT IN BRITISH COLUMBIA, JUNE 2004" AND "EROSION & SEDIMENT CONTROL GUIDELINE" BY THE MUNICIPALITY OF NORTH COWICHAN. IT IS INCUMBENT UPON THE CONTRACTOR TO ACQUIRE THESE GUIDELINES AND FAMILIARIZE HIMSELF WITH THE REQUIREMENTS WITHIN.
2. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.
3. ANY DIRECTION GIVEN BY THE CONSULTANT OR MUNICIPALITY TO THE CONTRACTOR FOR EROSION AND SEDIMENT CONTROL AND NOT FOLLOWED BY THE CONTRACTOR IS TO BE REPORTED TO THE DISTRICT IMMEDIATELY.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE NO MUD, DIRT, SOIL, SILT OR ANY OTHER SUBSTANCES ARE SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY, OR AREAS THAT LEAD TO CATCH BASINS CONNECTED TO PUBLIC SYSTEMS. THE CONTRACTOR IS TO CLEAN ANY SUCH MATERIAL IMMEDIATELY, I.E. STREETS ARE TO BE SWEEPED WITH A VACUUM STREET SWEEPER AFTER WORK STOPPAGE EACH DAY.
5. PRIOR TO CONSTRUCTION, INSTALL A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT TO LIMIT TRACKING OF SITE SOILS ONTO OFFSITE ROADWAYS. THE WIDTH OF THE PAD SHOULD NOT BE LESS THAN THE FULL WIDTH OF POINT OF INGRESS OR EGRESS IN ANY CASE SHOULD NOT BE LESS THAN 6m WIDE WITH A LENGTH OF THE PAD NOT LESS THAN 20m AND HAVING A MINIMUM THICKNESS OF 200mm (8") OF COARSE GRANULAR MATERIAL. COARSE GRANULAR MATERIAL SUCH AS 75mm PLUS SHOT ROCK OR FRACTURED DRAIN ROCK UNDERLAIN WITH GEO-TEXTILE FABRIC IS RECOMMENDED.
6. THE ENTRANCE SHOULD BE MAINTAINED FOR THE DURATION OF CONSTRUCTION, IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT OF WAYS, OR AREAS THAT LEAD TO CATCH BASINS CONNECTED TO PUBLIC SYSTEMS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL MATERIAL AS CONDITIONS DEMAND. THE PAD MAY BE REMOVED ONCE PERMANENT PAVEMENTS ARE IN PLACE AT THE SITE. A WHEEL WASH MAY BE REQUIRED IF THE TEMPORARY GRAVEL PAD IS NOT WORKING.
7. PRIOR TO CONSTRUCTION, CONTRACTOR TO CLEARLY FLAG OR FENCE AREAS OF NO DISTURBANCE AS WELL AS ANY DESIGNATED TREES AND SHRUBS THAT ARE TO BE PRESERVED. MARKINGS SHALL REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
8. CONTRACTOR TO STRIP AND GRUB ONLY THOSE AREAS NECESSARY FOR THE CURRENT CONSTRUCTION. STAGE CONSTRUCTION OPERATIONS TO LIMIT DISTURBANCE AND DO NOT STRIP ANY AREA UNTIL REQUIRED.
9. IF GRADED AREAS WITHIN THE PROJECT WILL NOT BE COMPLETED OUTSIDE OF THE WET SEASON (OCTOBER TO APRIL), REVEGETATION OPERATIONS SHOULD BE CARRIED OUT WITHIN ONE WEEK OF GRADING COMPLETION OR NO LATER THAN SEPT. 15th.
10. SILT FENCING IS TO BE INSTALLED AROUND ALL STOCK/SPOIL PILES, OR PILES ARE TO BE OTHERWISE COVERED TO LIMIT EROSION AND SEDIMENT GENERATION.
11. ROUTINE INSPECTION AND MAINTENANCE OF THE SYSTEM COMPONENTS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD DESIGNATE AN ON-SITE PERSON TO BE RESPONSIBLE FOR DAY-TO-DAY MANAGEMENT OF THE ESCP. AT A MINIMUM, INSPECT ALL BMP'S WEEKLY TO ENSURE PROPER FUNCTION WITH INSPECTION REPORTS PROVIDED TO THE ENGINEER AND THE MUNICIPALITY OF NORTH COWICHAN FOR REVIEW.
12. DURING AND/OR FOLLOWING EACH SIGNIFICANT STORM EVENT, THE DESIGNATED SITE PERSON SHOULD OBSERVE THE SETTLEMENT PONDS AND STORM DRAIN TO CONFIRM THAT TURBID WATERS FROM SOURCES ASSOCIATED WITH CONSTRUCTION ARE NOT ENTERING THE STORM DRAINAGE SYSTEM. TAKE IMMEDIATE CORRECTIVE ACTION IF INSPECTION INDICATES A PROBLEM. RECORD INSPECTION DATES, ANY SIGNIFICANT OBSERVATIONS, AND ACTIONS TAKEN. THEN INFORM THE CONSULTANT IN CHARGE AND THE MUNICIPALITY OF NORTH COWICHAN.
13. MUNICIPALITY OF NORTH COWICHAN STANDARD EROSION & SEDIMENT CONTROL SIGNAGE IS REQUIRED TO BE PLACED ON-SITE PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED IN PLACE UNTIL LANDSCAPING IS COMPLETED.

LEGEND



ISSUES		
No.	DATE	ISSUED FOR
A	2017.04.12	DEVELOPMENT PERMIT
B	2017.06.01	REVISED AS PER CVRD COMMENTS
C	2017.06.19	FOR COORDINATION
D	2017.07.14	BUILDING PERMIT

CLIENT

4790 TRANS CANADA HIGHWAY
TIM HORTONS
DUNCAN, B.C.
GRECA HOLDINGS



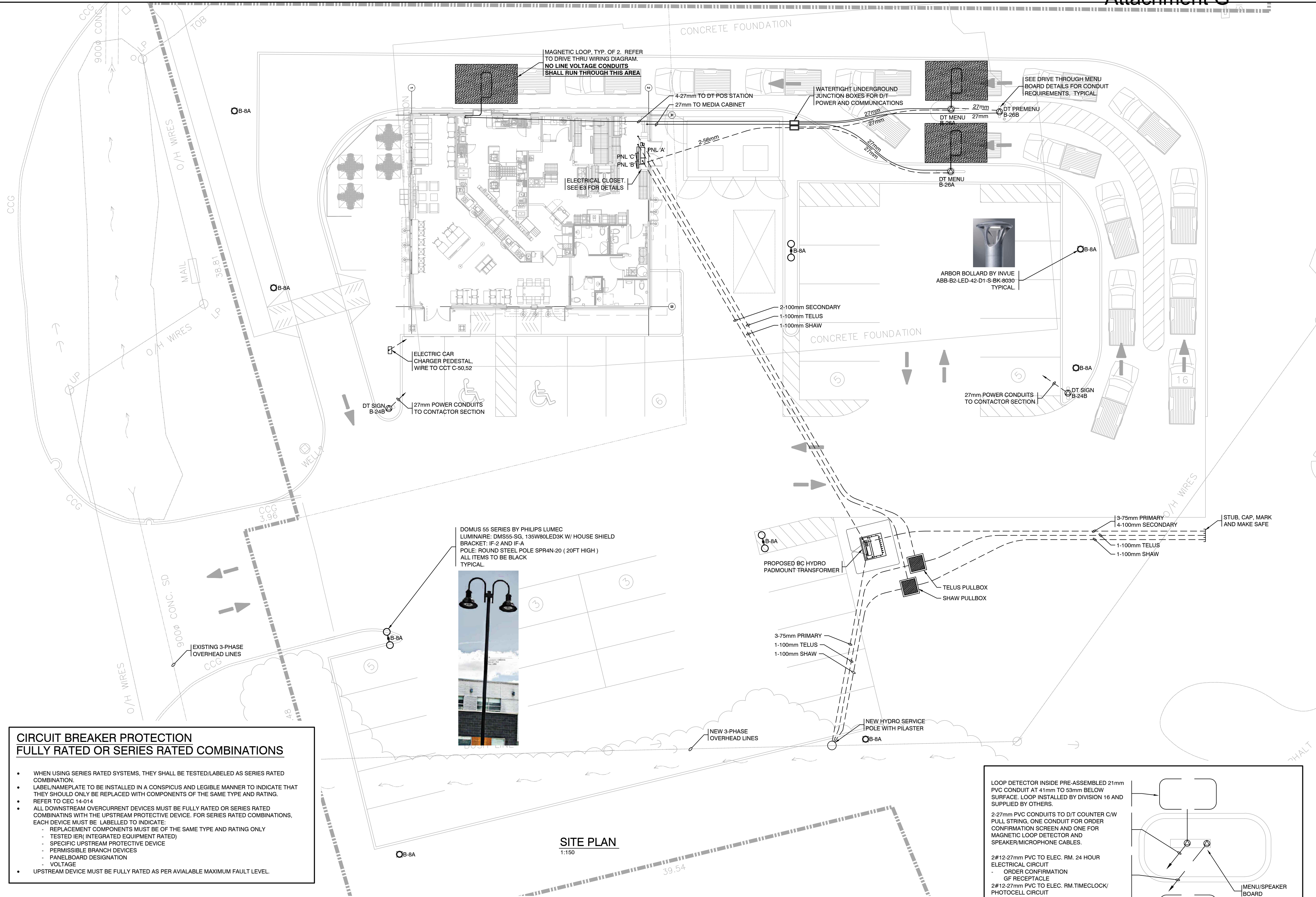
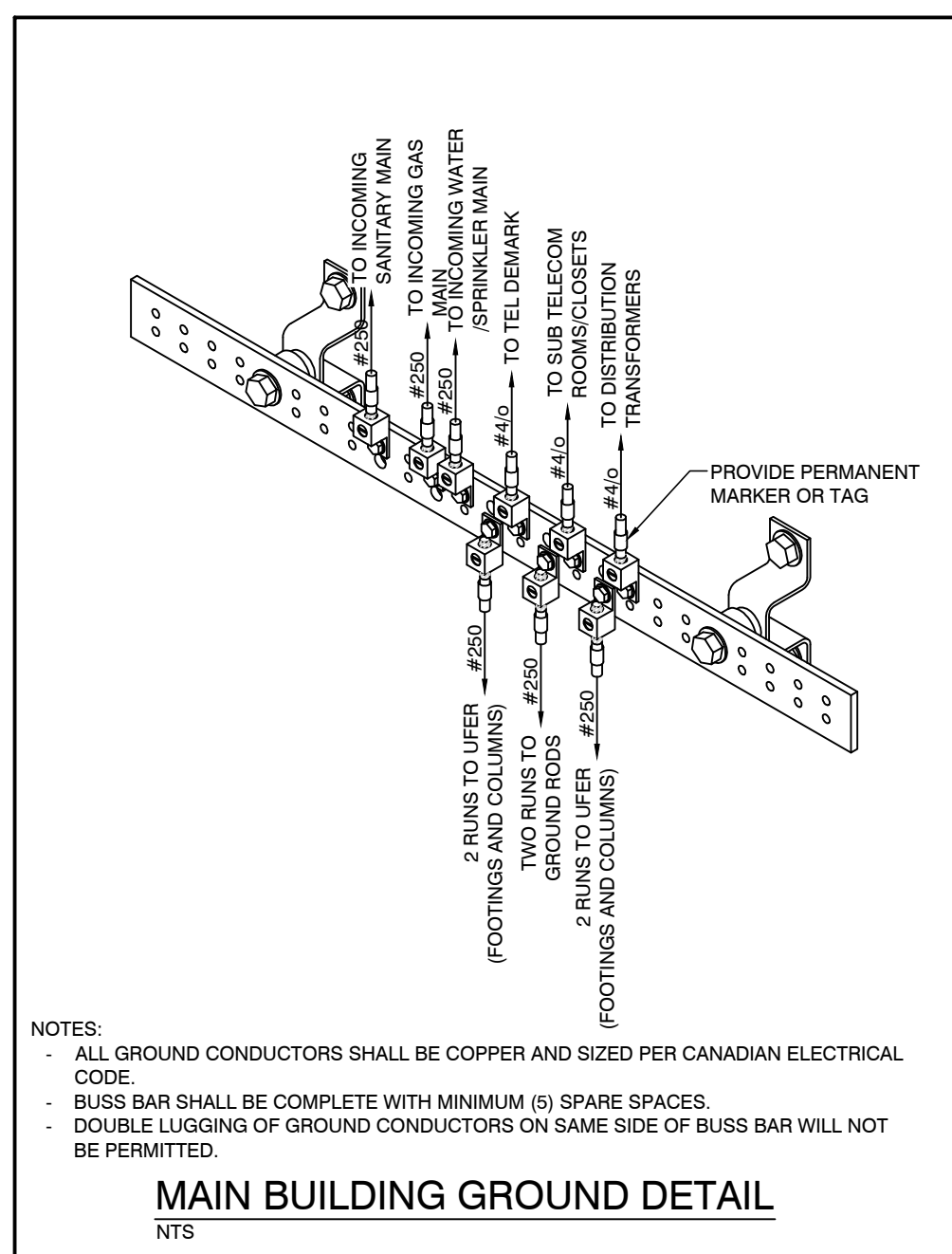
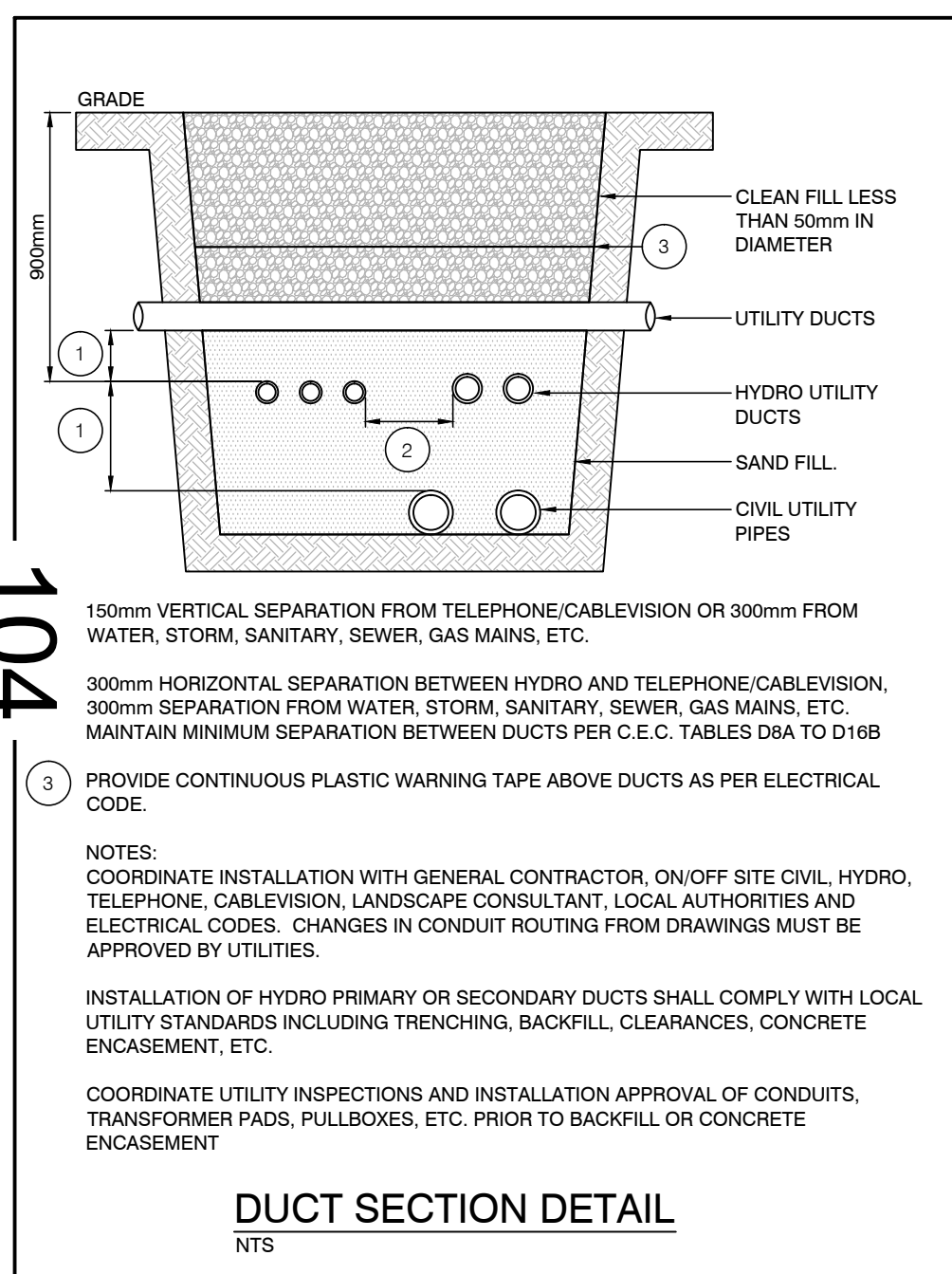
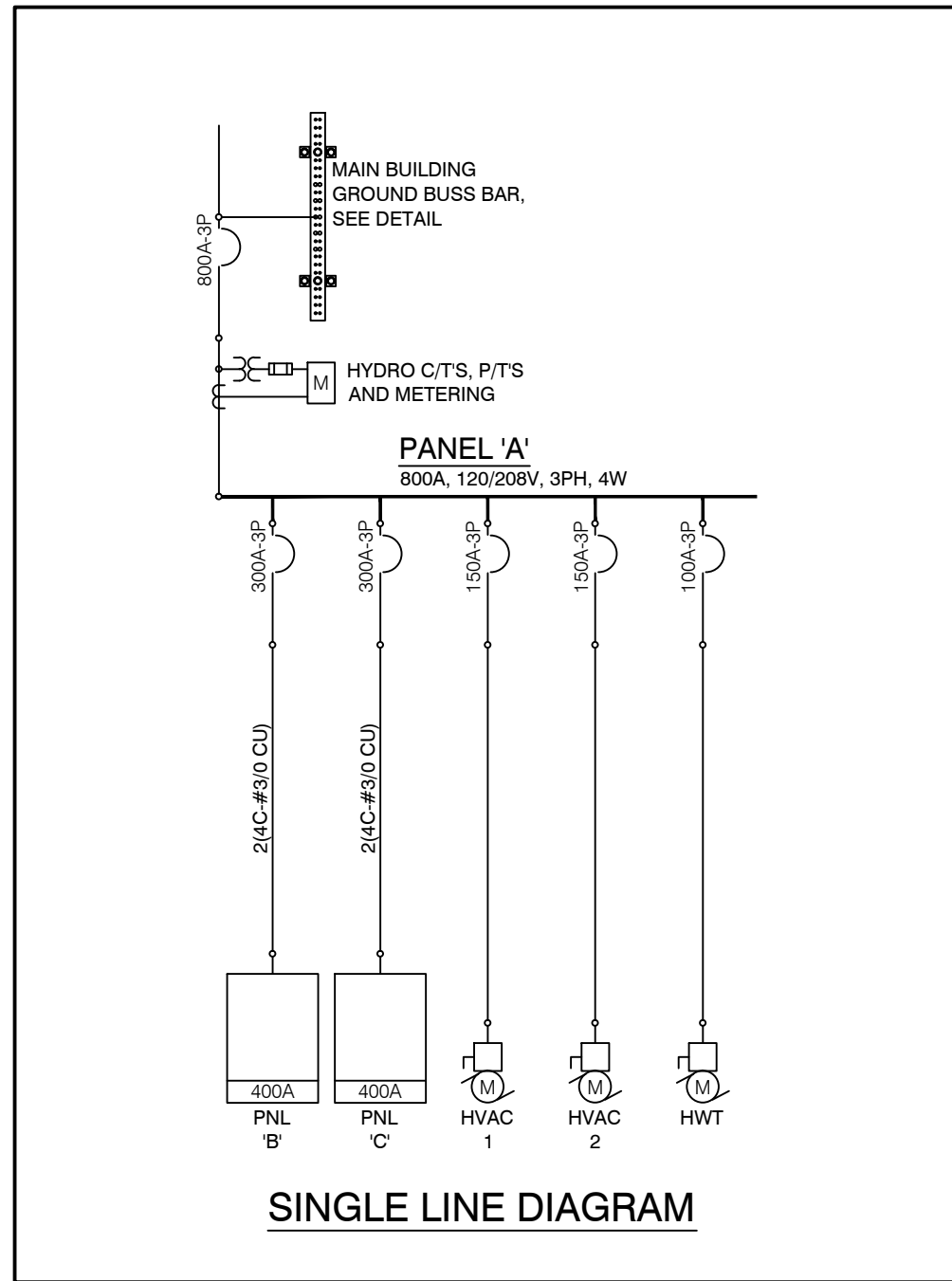
3701 Shenton Rd, Nanaimo, BC V9T 2H1
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Email: mail@heroldengineering.com

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EROSION & SEDIMENT CONTROL PLAN

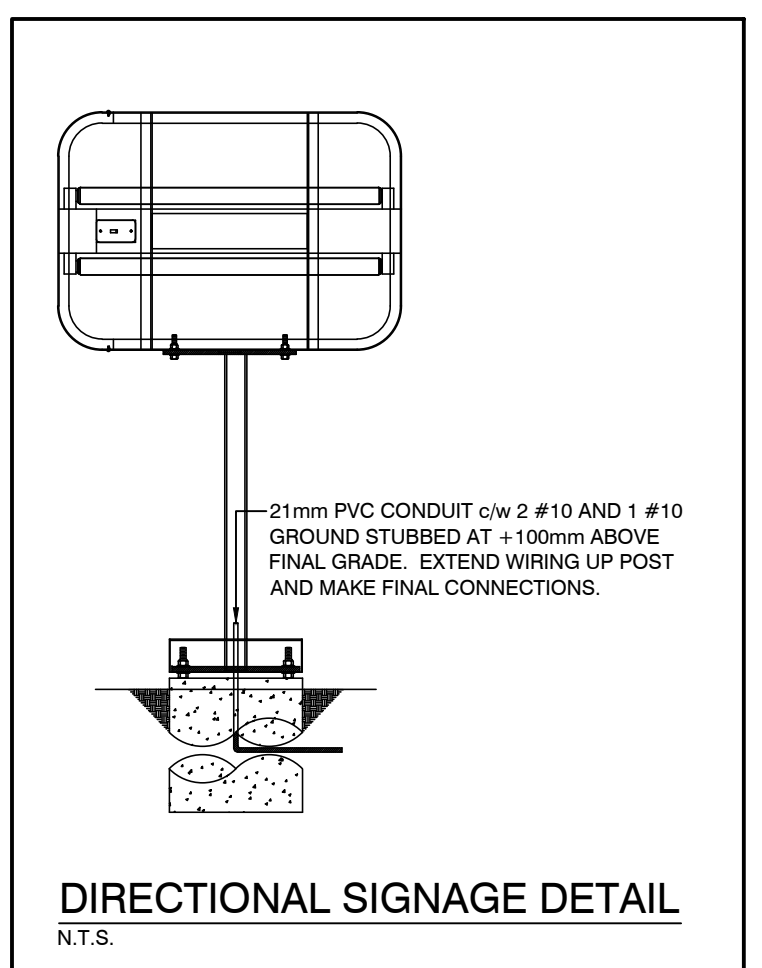
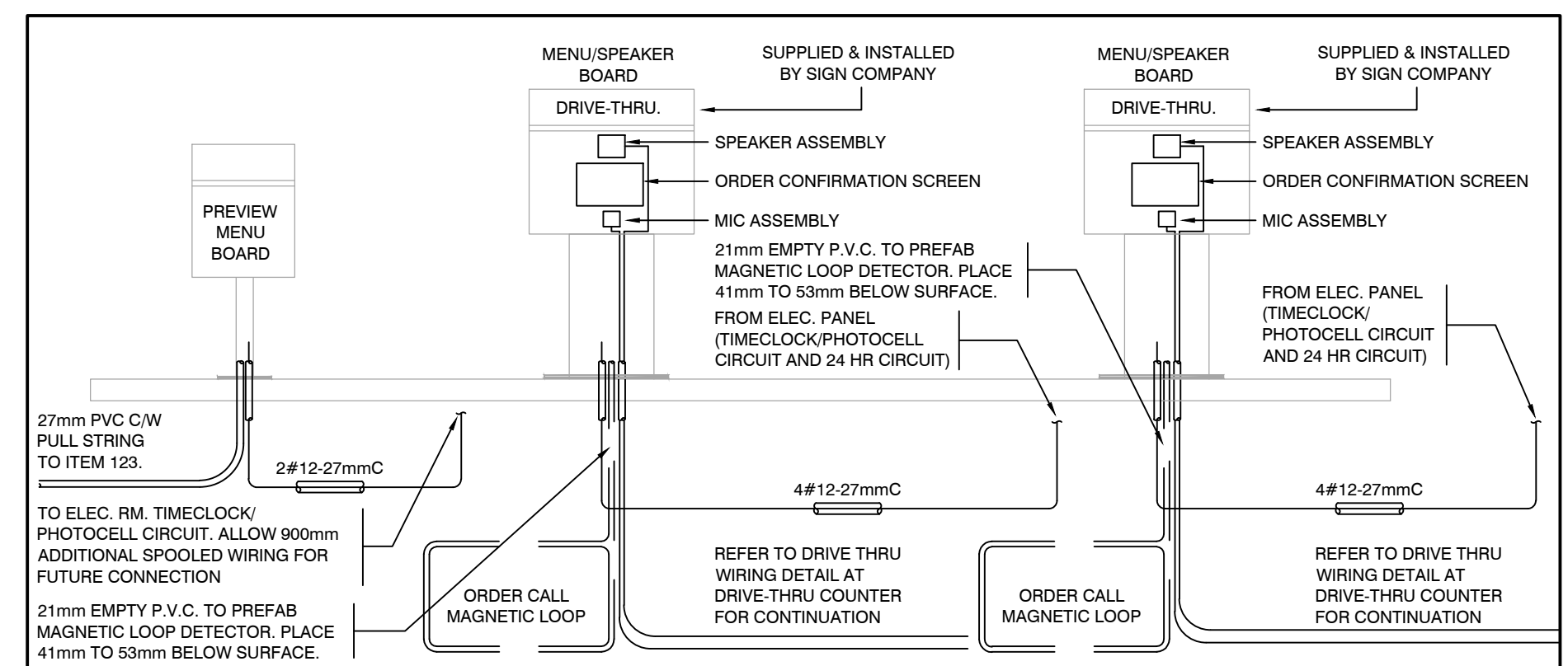
DESIGNED EGAP	ENGINEER'S SEAL
DESIGN REVIEW PGR	
DRAFTED EGAP	
DRAFTING REVIEW PGR	
PROJECT No. 1902-026	CLIENT
SCALE H: 1:500 V: NA	PERMIT
HEL DRAWING No. C05	

R3



CIRCUIT BREAKER PROTECTION FULLY RATED OR SERIES RATED COMBINATIONS

- WHEN USING SERIES RATED SYSTEMS, THEY SHALL BE TESTED/LABELLED AS SERIES RATED COMBINATION.
- LABEL NAMEPLATE TO BE INSTALLED IN A CONSPICUOUS AND LEGIBLE MANNER TO INDICATE THAT THEY SHOULD ONLY BE REPLACED WITH COMPONENTS OF THE SAME TYPE AND RATING.
- REFER TO CEC 14-014
- ALL DOWNSTREAM OVERCURRENT DEVICES MUST BE FULLY RATED OR SERIES RATED COMBINATIONS WITH THE UPSTREAM PROTECTIVE DEVICE. FOR SERIES RATED COMBINATIONS, EACH DEVICE MUST BE LABELLED TO INDICATE:
 - REPLACEMENT COMPONENTS MUST BE OF THE SAME TYPE AND RATING ONLY
 - TESTED (IETI: INTEGRATED EQUIPMENT RATED)
 - SPECIFIC UPSTREAM PROTECTIVE DEVICE
 - PERMISSIBLE BRANCH DEVICES
 - PANELBOARD DESIGNATION
 - VOLTAGE
- UPSTREAM DEVICE MUST BE FULLY RATED AS PER AVAILABLE MAXIMUM FAULT LEVEL.



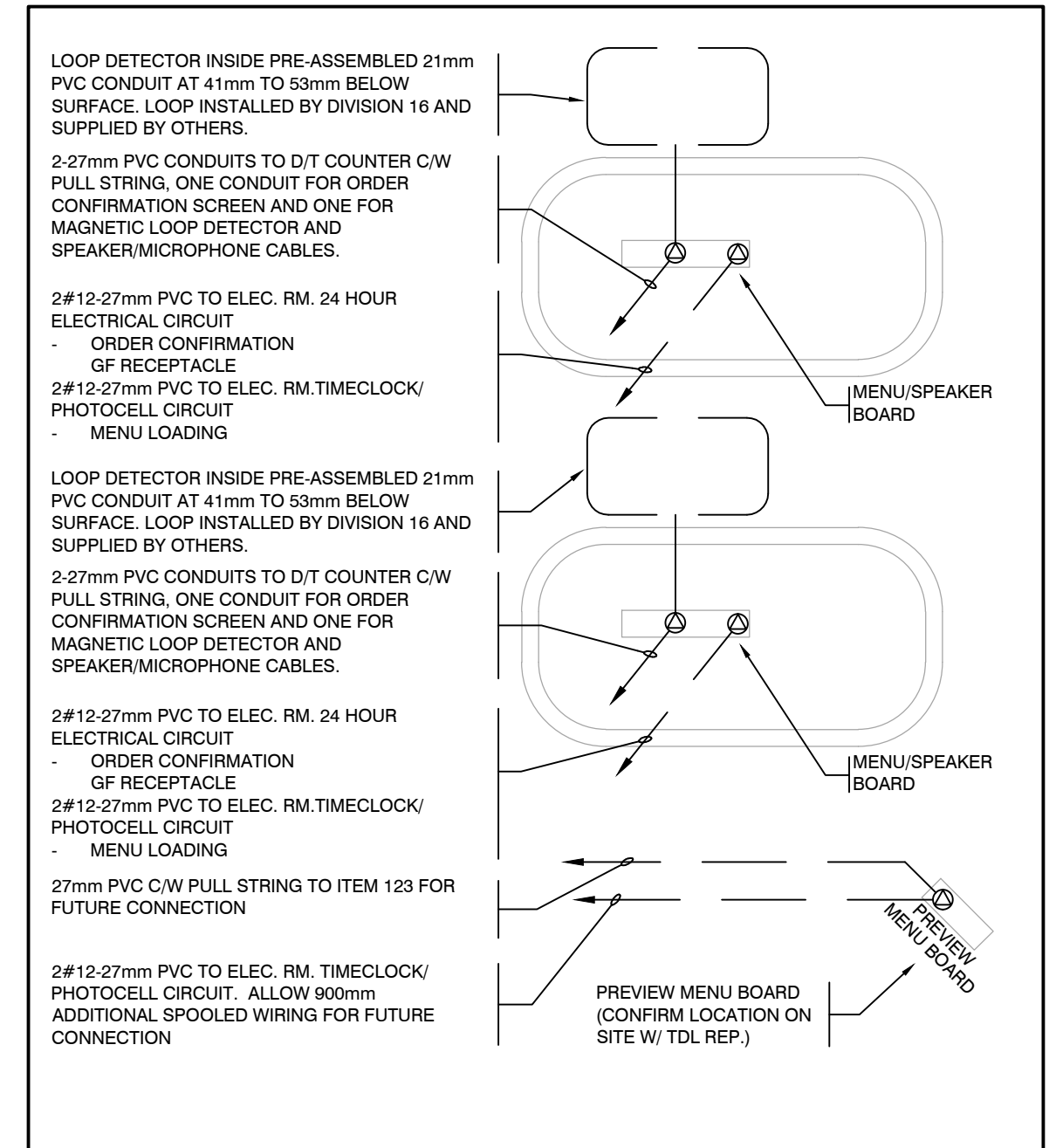
SITE SIGNAGE NOTES:

CONDUIT AND WIRING INDICATED ON SITE PLAN AND DETAILS ARE MINIMUM REQUIREMENTS. ELECTRICAL CONTRACTOR TO INCREASE WIRE SIZING TO SUIT VOLTAGE DROP AS PER CANADIAN ELECTRICAL CODE.

ALL CONDUIT RUNS TO BE MINIMUM 915mm BELOW FINAL GRADE. COORDINATE ALL TRENCHING AND INCOMING BASE LAYOUT WITH GENERAL CONTRACTOR, SIGNAGE CONTRACTOR AND THE TDL GROUP.

REFER TO DETAILS ON DRAWING E4.

ALL SIGNAGE TO BE SUPPLIED AND INSTALLED BY OTHERS, CONNECTED BY ELECTRICAL CONTRACTOR.



ISSUE TABLE

No.	Date (mm/dd/yy)	Description
02	04/18/2017	ISSUED FOR CHECKSET
03	05/25/2017	ISSUED FOR PERMIT/FINAL
04	11/15/2017	REVISED FOR DP COMMENT
05	01/11/2018	ISSUED FOR FINAL COORDINATION
06	01/12/2018	RE-ISSUED FOR BUILDING PERMIT

REVISIONS

No.	Date	Description

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description

EDG Corp.
Electrical Consultants
200 - 2764 Barnet Highway, Coquitlam, BC V3B 1B9
www.EDGCorp.ca
Phone: 604-474-4080 EDG # 13446

LOVICK SCOTT ARCHITECTS
3707 1st AVENUE
BURNABY, BRITISH COLUMBIA
V5C 3V6 E-MAIL: admin@lovickscott.com
tel: 604-298-3700 fax: 604-298-6081
Member of the AIBC Member of the SAA
Member of the RAIC Member of the AAA
Architectural Seal

Tim Hortons

Project
RESTAURANT #108367
NS #04948
4790 TRANSCANADA HWY
DUNCAN, BC

Store Type
MODEL 2700 - 17

Location
RESTAURANT #108367
NS #04948
4790 TRANSCANADA HWY
DUNCAN, BC

Drawing Title
SITE PLAN

Drawn
NY

Scale
AS NOTED

Project No.
108367

Check
Date
Drawn

TIM HORTONS MODEL 2700 - 17 - RESTAURANT #108367 - NS 04948 - 4790 TRANSCANADA HWY DUNCAN, BC

14.1 DEVELOPMENT PERMIT AREAS

A Development Permit Area is a designation in the Official Community Plan pursuant to the Municipal Act. Where property is identified to be within a development permit area by the plan, it may require a development permit before a building permit can be issued or subdivision being approved. Development Permit Areas may be established for any one or a combination of the following purposes:

- to protect the natural environment;
- to protect development from hazardous conditions;
- to protect provincial heritage areas;
- for revitalization of commercial areas designed by the Ministry of Municipal Affairs;
- to establish objectives and guidelines for the form and character of commercial, industrial or multi-family residential development;
- for the protection of farming.

The Official Community Plan describes the special conditions and objectives that justify the designation and provides guidelines respecting the manner by which conditions will be alleviated any objectives and guidelines will be achieved.

A development permit may, however, not be the only permit requirement and approval of senior levels of government may be required prior to subdivision, construction on, or alteration of land.

14.2 Policies: Trans Canada Highway Development Permit Area

POLICY 14.1.1: CATEGORY

The Trans Canada Highway Development Permit Area shall be utilized to establish objectives and to provide guidelines for the form and character of future industrial, commercial or multi-family development in the permit area and protection of the natural environment.

POLICY 14.1.2 JUSTIFICATION

- a) The Trans Canada Highway is the principle transportation corridor through the community and is a major contributor to the image of Cowichan-Koksilah.
- b) Cowichan-Koksilah residents are concerned about aesthetics and safety along the Trans Canada Highway, particularly in areas developed for commercial or industrial use.

- c) Cowichan-Koksilah residents desire to enhance the visual characteristics and form of land developed for commercial or industrial use.
- d) Cowichan-Koksilah residents desire improved highway safety and visual representation of the community along the Trans Canada Highway.

POLICY 14.1.3 GUIDELINES

Prior to commencing any construction on lands within the development permit area, the owner shall obtain a development permit which conforms to the following guidelines:

a) Vehicular Access

Vehicular access shall not be provided directly to the travelling surface of the Trans Canada Highway. All such points of access shall be located on secondary roads or frontage roads and shall require access permits from the Ministry of Transportation and Highways.

Unnecessary duplication of access points is discouraged. Where two or more commercial facilities abut one another, it is strongly encouraged that road access points be shared and internal parking areas be physically linked and protected by legal agreements.

b) Vehicle Parking

Parking surfaces should be constructed of asphalt or concrete to Ministry of Transportation and Highways standards and should be located a minimum of three metres from any parcel line fronting on the Trans Canada Highway or any major network road (as identified in the Official Community Plan).

Parking areas shall be designed to physically separate pedestrian and vehicular traffic except at crossing points.

c) Pedestrian Access

Within a development site, pedestrian routes should be clearly defined by means of separate walkways, sidewalks or paths in order to encourage and accommodate safe pedestrian access on and off the site. Where public sidewalks, pedestrian routes and crosswalks exist, the on-site walkways should tie in with these.

d) Landscaping

Landscaping should be provided as a buffer between any commercial/industrial use and public roads. Combinations of low shrubbery, ornamental trees and flowering perennials is recommended.

The intermittent use of landscaped berms and raised planter benches as a visual and noise barrier between commercial/industrial uses and the Trans Canada Highway is strongly encouraged. Such raised features need not exceed 1.5 metres but should be at least

0.75 metres in height.

Landscaping may include lawn areas, however, such areas should not exceed 50% of the total landscaping on the site.

e) Signage

Signs are to be in compliance with the CVRD Sign Bylaw, the Motor Vehicle Act or current Ministry of Transportation and Highways policies and the following guidelines:

- Signage should be designed to reflect the architecture of the site and to be in harmony with the landscaping plans for the site.
- Where multiple free standing signs are required on a site, these signs shall be consolidated into a single comprehensive sign grouping or panel.
- Free standing signage should be low and should not exceed 5 metres in height, except where a site is lower than the adjacent road surface. In these cases, variations may be appropriate and should be considered on their own merit.
- Facia or canopy signs may be considered, provided that they are designed in harmony with the architecture of the structure proposed.
- Projecting signs should be discouraged since they tend to compete with one another and are difficult to harmonize with the architectural elements of commercial buildings.
- Where signs are illuminated, favourable consideration should be given to external lighting sources or low intensity internal sources. High intensity panel signs should be avoided.

f) Lighting

Parking areas and pedestrian routes on a site should be well lit, however, lighting should be designed to illuminate the surface of the site without undue glare spill-over to adjacent parcels or to adjacent roads.

g) Overhead Wiring

On-site overhead wiring should be discouraged in favour of underground wiring.

h) Building Design

Buildings and structures shall be designed in harmony with the aesthetics of the surrounding lands, on-site signage and landscaping plans. All building designs should be referred to the Advisory Planning Commission or other local advisory body for comment before being approved by the Regional Board.

POLICY 14.1.4 SCOPE OF TRANS CANADA HIGHWAY DEVELOPMENT PERMIT AREA

a) Area

The Trans Canada Highway Development Permit Area No. E-1 includes all those lands zoned commercial, industrial, multi-family residential within 200 metres of the centre line of the Trans Canada Highway within the Plan Area. The Trans-Canada Highway Development Permit Area does not apply to parcels within the **Koksilah Development Permit Area**.

b) Exemptions

Notwithstanding clause a) above, the terms of this development permit area SHALL NOT APPLY to the following:

- Parcels that are zoned residential, agricultural (except veterinary clinics), forest or parks and institutional;
- Interior renovation of existing structures;
- Any construction or renovation of single-family dwellings;
- Changes to the text or message on existing commercial signage;
- Any subdivision or other alteration of parcel lines;
- Signs less than 3.0 square metres in area;
- Signs which are not on property facing the Trans Canada Highway; and.
- Signs which conform to the Cowichan Valley Regional District sign bylaw.

c) Variances

Where a proposed development plan adheres to the guidelines of this development permit area, the Regional Board may give favourable consideration to variances of the terms of its zoning, sign and parking bylaws, where such variances are deemed by the Regional Board to have no negative impact on adjacent parcels and would enhance the aesthetics of the site in question. Such variances may be incorporated into the development permit.

POLICY 14.1.5: APPLICATION REQUIREMENTS

An application for a development permit shall include the following:

- a) A brief text description of the proposed development;
- b) A scalable site plan showing the general arrangement of land uses including: parcel lines, buildings, parking and loading areas, vehicular access points, pedestrian walkways and outdoor illumination design.
- c) A scalable site landscaping plan, identifying the plant species or general species type proposed for all landscaping areas;
- d) A signage plan showing all proposed signs or sign areas;
- e) A preliminary building design including proposed roof and exterior finish details.

14.7 RIPARIAN AREAS REGULATION DEVELOPMENT PERMIT AREA

No person shall subdivide or alter land (including the removal of trees) or construct a building or structure on land that is in the Riparian Areas Regulation Development Permit Area, prior to the owner receiving a development permit from the CVRD.

14.7.1 CATEGORY

This development permit area is designated pursuant to Section 919.1(1)(a) of the *Local Government Act* – protection of the natural environment, its ecosystems and biological diversity.

14.7.2 DEFINITIONS

For the purposes of this Development Permit Area, the terms used herein have the same meaning that they do under the *Riparian Areas Regulation* (BC Reg. 376/2004).

14.7.3 JUSTIFICATION

The province of British Columbia's *Riparian Areas Regulation (RAR)*, under the *Fish Protection Act*, aims to protect fish habitat. This regulation requires that residential, commercial or industrial development as defined in the *RAR*, in a Riparian Assessment Area near freshwater features, be subject to an environmental review by a Qualified Environmental Professional (QEP).

14.7.4 RIPARIAN ASSESSMENT AREA

The Riparian Area Regulation Development Permit Area is coincidental with the Riparian Assessment Area as defined in the *Riparian Areas Regulation*. It is indicated in general terms on Figure 14 (see *RAR Bylaw No 2749*). Notwithstanding the areas indicated on Figure 14 (see *RAR Bylaw No 2749*), the actual Riparian Areas Regulation Development Permit Area will in every case be measured on the ground, and it will be:

- a) For a stream, the 30 metre strip on both sides of the stream measured from the high water mark;
- b) or a 3:1 (vertical/horizontal) ravine less than 60 metres wide, a strip on both sides of the stream measured from high water mark to a point that is 30 metres beyond the top of the ravine bank, and
- c) or a 3:1 (vertical/horizontal) ravine 60 metres wide or greater, a strip on both sides of the stream measured from the high water mark to a point that is 10 metres beyond the top of the ravine bank.

14.7.5 APPLICABILITY

A development permit must be applied for, and issued by the Cowichan Valley Regional District, prior to any of the following activities occurring in the Riparian Areas Regulation Development Permit Area, where such activities are directly or indirectly related to existing or proposed residential, commercial or industrial land uses in any Zone or Land Use Designation:

- a) removal, alteration, disruption or destruction of vegetation;
- b) disturbance of soils;
- c) construction or erection of buildings and structures;
- d) creation of nonstructural impervious or semi-impervious surfaces;
- e) flood protection works;
- f) construction of roads, trails, docks, wharves and bridges;
- g) provision and maintenance of sewer and water services;
- h) development of drainage systems;
- i) development of utility corridors;
- j) subdivision as defined in section 872 of the *Local Government Act*.

14.7.6 GUIDELINES

Prior to undertaking any of the development activities listed in Section 13.7.5 above, an owner of property within the Riparian Areas Regulation Development Permit Area shall apply to the CVRD for a development permit, and the application shall meet the following guidelines:

- a) A qualified environmental professional (QEP) will be retained at the expense of the applicant, for the purpose of preparing a report pursuant to Section 4 of the *Riparian Areas Regulation*. The QEP must certify that the assessment report follows the assessment methodology described in the regulations, that the QEP is qualified to carry out the assessment and provides the professional opinion of the QEP that:
 - i) if the development is implemented as proposed there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian area; and
 - ii) the streamside protection and enhancement area (SPEA) that is identified in the report is protected from the development and there are measures identified to protect the integrity of those areas from the effects of development; and
 - iii) the QEP has notified the Ministry of Environment and Fisheries and Oceans Canada, both of whom have confirmed that a report has been received for the CVRD; or
 - iv) confirmation is received from Fisheries and Oceans Canada that a harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian area has been authorised in relation to the development proposal.
- b) Where the QEP report describes an area designated as Streamside Protection and Enhancement Area (SPEA), the development permit will not allow any development activities to take place therein, and the owner will be required to implement a plan for protecting the SPEA over the long term through measures to be implemented as a condition of the development permit, such as:
 - a dedication back to the Crown Provincial,
 - gifting to a nature protection organisation (tax receipts may be issued),
 - the registration of a restrictive covenant or conservation covenant over the SPEA confirming its long-term availability as a riparian buffer to remain free of development;
 - management/windthrow of hazard trees;
 - drip zone analysis;
 - erosion and stormwater runoff control measures;
 - slope stability enhancement.
- c) Where the QEP report describes an area as suitable for development with special mitigating measures, the development permit will only allow the development to occur in strict compliance with the measures described in the report. Monitoring and regular reporting by professionals paid for by the applicant may be required, as specified in a development permit;
- d) information or some other change, a QEP will be required to submit an amendment report, to be filed on the notification system;
- e) Wherever possible, QEPs are encouraged to exceed the minimum standards set out in the *RAR* in their reports;

- f) The CVRD Board requires the QEP report to have regard for "Develop With Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia", published by the Ministry of Environment.

14.7.7 EXEMPTIONS

In the following circumstances, a development permit will not be required:

- a) Renovations, repairs and maintenance to existing buildings that are protected by Section 911 of the *Local Government Act*;
- b) Minor interior and exterior renovations to existing buildings, excluding any additions or increases in building volume;
- c) Removal of invasive non-native vegetation such as Gorse, Scotch Broom, and its immediate replacement with native vegetation.

14.7.8 VIOLATION

Every person who:

- a) violates any provision of this Development Permit Area;
 - b) causes or permits any act or thing to be done in contravention or violation of any provision of this Development Permit Area;
 - c) neglects to do or refrains from doing any act or thing required under this Development Permit Area;
 - d) carries out, causes or permits to be carried out any development in a manner prohibited by or contrary to this Development Permit Area;
 - e) fails to comply with an order, direction or notice given under this Development Permit Area; or
 - f) prevents or obstructs or attempts to prevent or obstruct the authorised entry of the Administrator, or person designated to act in the place of the Administrator;
- commits an offence under this Bylaw. Each day's continuance of an offence constitutes a new and distinct offence.

14.7.9 CONCURRENT DEVELOPMENT PERMIT AREAS

Where more than one development permit area applies to land in the Riparian Areas Regulation Development Permit Area (RARDPA), a single development permit may be issued. Where other DPA guidelines would conflict with those of the RARDPA, the latter shall prevail.

9.3 C-4 ZONE - TOURIST RECREATIONAL COMMERCIAL

Subject to compliance with the General Requirements in Part Five of this Bylaw, the following provisions apply in this Zone:

(a) Permitted Uses

The following *uses*, *uses* permitted under Section 4.4, and no others are permitted in a C-4 zone:

- (1) *campground*;
- (2) *golf driving range and mini-golf facility*;
- (3) *restaurant*;
- (4) *tourist accommodation*;
- (5) *accessory retail sales, gift shop*;
- (6) *one single family dwelling per parcel accessory to a use permitted in Section 9.3(a)(1) to (4).*

(b) Conditions of Use

For any *parcel* in a C-4 zone:

- (1) the *parcel coverage* shall not exceed 20 percent for all *buildings* and *structures*;
- (2) the *height* of all *buildings* and *structures* shall not exceed 10 metres;
- (3) the minimum *setbacks* for the types of *parcel* lines set out in Column I of this section are set out for all *buildings* and *structures* in Column II:

COLUMN I Type of Parcel Line	COLUMN II Buildings & Structures
Front	6.0 metres
Interior & Exterior Side	6.0 metres
Rear	6.0 metres

(c) Minimum Parcel Size

Subject to Part 12, the minimum *parcel* size shall be:

- (1) 0.2 Ha. for *parcels* served by a *community water* and *sewer system*;
- (2) 0.4 Ha. for *parcels* served by a *community water system* only;
- (3) 1.0 Ha. for *parcels* served neither by a *community water* or *sewer system*.



COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT

FILE NO: 02-E-17DP

DATE: FEBRUARY XX, 201

REGISTERED PROPERTY OWNER:

0918713 B.C. LTD.

422-2640 BEVERLY STREET

DUNCAN BC V9L 4E3

1. This Development Permit is issued and is subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands within the Regional District described below:

*Lot A, Section 7, Range 1, Cowichan District, Plan EPP73127
PID: 030-184-789*
3. Authorization is hereby given for a development of a commercial building and associated works, in accordance with the requirements listed below;
 - a) Development shall occur in accordance with the attached Schedules.
4. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.
5. The following Schedules are attached:
 - Schedule A – Site Plan
 - Schedule B – Elevations
 - Schedule C – Landscape Plan
 - Schedule D – Lighting and Pathway Plan
 - Schedule E – Site Servicing Plan
 - Schedule F - Electrical Plan
 - Schedule G – Water Treatment Shed Details

- 6. **This Permit is not a Building Permit.** No building permit shall be issued unless it is consistent with the requirements of this permit. No certificate of final completion by the Cowichan Valley Regional District shall be issued until all items of this Development Permit have been complied with to the satisfaction of the Land Use Services Department.

ISSUANCE OF THIS PERMIT HAS BEEN AUTHORIZED BY RESOLUTION NO. 18-XXX.X PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE XXTH DAY OF FEBRUARY, 2018.

NOTE: Subject to the terms of this Permit, if the holder of this Permit does not receive subdivision approval within 2 years of its issuance, this Permit will lapse.

I HEREBY CERTIFY that I have read the terms and requirements of the Development Permit contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with MARK MITCHELL (agent) on behalf of 0918713 B.C. Ltd., other than those contained in this Permit.

DRAFT

Owner/Agent (signature)	Witness (signature)
Print Name	Print Name
Date	Date



STAFF REPORT TO COMMITTEE

DATE OF REPORT January 23, 2018

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Development Services Division
Land Use Services Department

SUBJECT: Development Permit Application No. 01-C-16DP/VAR (Development Permit Revision Request for 1357 Ball Road)

FILE: 01-C-16DP/VAR

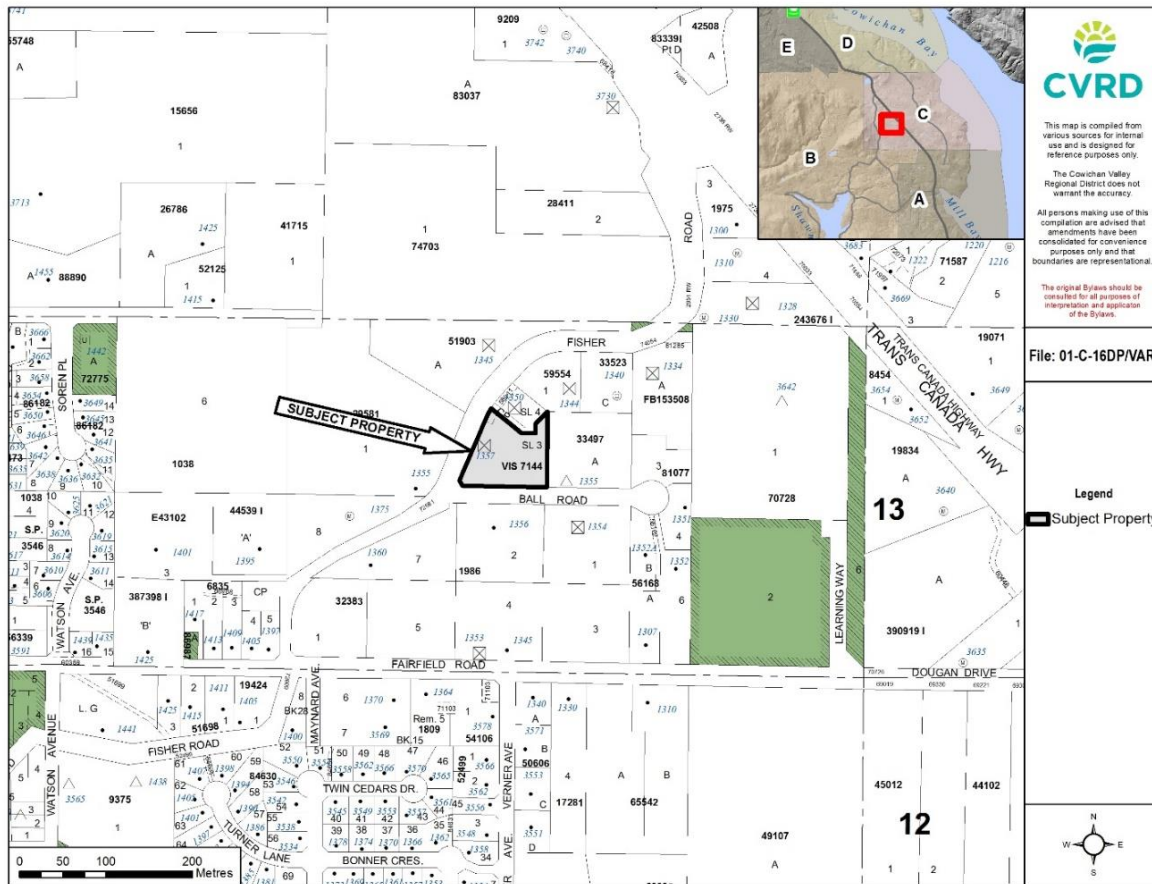
PURPOSE/INTRODUCTION

The purpose of this report is to present a request to revise Development Permit Application No. 01-C-16DP/VAR.

RECOMMENDED RESOLUTION

That it be recommended to the Board that the request to amend Development Permit Application No. 01-C-16DP/VAR be denied, and the applicant be advised that a new Development Permit application is required in order for proposed changes at 1357 Ball Road to be considered.

LOCATION MAP



BACKGROUND

The applicants have requested to modify the finishing materials on the new building as noted in their letter.

- **See Attachment A – Applicant Letter of Rationale**

The new building has been completed and landscaping installed. Since the original report to Committee was prepared, a new tenant has occupied the front building which has a significant exterior storage component, not originally contemplated when the original Development Permit application was considered.

APPLICATION SUMMARY

For complete background information, please refer to previous staff report:

- **See Attachment B – Staff Report to June 1, 2016, Electoral Area Services Committee**

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

This request for revision was not referred to the Electoral Area C – Cobble Hill Advisory Planning Commission (APC).

A referral to the APC is an option noted below.

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

For complete background information, please refer to previous staff report:

- **See Attachment B – Staff Report to June 1, 2016 Electoral Area Services Committee**

CVRD Fees and Procedures Bylaw does not provide an option to “amend” a Development Permit. If the Committee is inclined to approve this request, a new Development Permit will be issued.

PLANNING ANALYSIS

The subject property is zoned I-1C (Light Industrial 1C), and is subject to the Development Permit Area guidelines for Cobble Hill Village. A new warehouse was permitted on the property subject to the terms of the Development Permit.

The intent of the guidelines is to ensure high quality, attractive development appropriately screened and landscaped.

There is no planning rationale for reducing the amount of natural finishing materials supplied on the new building. However, as this building is located behind an existing building (that was also recently renovated), the applicant is proposing to relocate the investment in natural exterior building finishes from the rear building (Ball Road warehouse) to that located closer to the main road and which is in view of the public realm (Fisher Road).

The renovation to the existing building resulted in new metal siding and a new metal roof being applied to the existing building. Landscaping has been installed, however no certification from a landscape architect has been supplied confirming that the landscaping has been installed in accordance with appropriate industry standards per the CVRD’s Landscape Security Policy.

- **See Attachment B – Staff Report to June 1, 2016 Electoral Area Services Committee**
- **See Attachment C – Development Permit Signed and Issued**
- **See Attachment D – Revised Building Finishing**
- **See Attachment E – CVRD Landscape Security Policy**

• **See Attachment F – Photos of the Site**

Due to the significant changes proposed: exterior storage, new fencing and signage, relocation of materials, staff is of the opinion that a new Development Permit application is warranted. This would involve referral to the Advisory Planning Commission in accordance with the CVRD Fees and Procedures Bylaw.

As noted above, with the addition of new tenants, there is a significant exterior storage component on the property that was not present when the application was first evaluated. In consideration of this, more attention to screening uses is required.

No curbs or parking areas have been delineated to define the new landscaped area from the exterior uses, which will likely result in the landscaping being damaged and not surviving.

Option 1 is recommended.

OPTIONS

Option 1:

That it be recommended to the Board that the request to amend Development Permit Application No. 01-C-16DP/VAR be denied, and the applicant be advised that a new Development Permit application is required in order for proposed changes at 1357 Ball Road to be considered.

Option 2:

That it be recommended to the Board

1. That Development Permit Application No. 01-C-16DP/VAR (1357 Ball Road) be amended and re-issued to:
 - a. Substitute steel panelling for the previously approved cedar panelling on the new Ball Road warehouse; and
 - b. Install cedar fascia and cedar panels on the Fisher Road warehouse.
2. Cedar fence screen and signage is not approved as part of the amendment to Development Permit Application No. 01-C-16DP/VAR, and requires a separate Development Permit.
3. That the General Manager of Land Use Services be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 3510.

Prepared by:

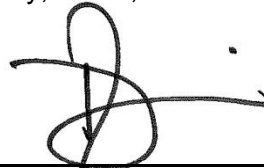
Reviewed by:



Rachelle Rondeau, MCIP, RPP
Planner II



Rob Conway, MCIP, RPP
Manager



Ross Blackwell, MCIP, RPP, A. Ag.
General Manager

ATTACHMENTS:

- Attachment A – Applicant Letter of Rationale
- Attachment B - Staff Report to June 1, 2016 Electoral Area Services Committee
- Attachment C - Development Permit Signed and Issued
- Attachment D – Revised Building Finishing
- Attachment E – CVRD Landscape Security Policy
- Attachment F – Photos of the Site

curtis paxton miles
architect
aibc assoc aia

Rachelle Rondeau, MCIP, RPP
Planner, Development Services Division
Planning and Development Department CVRD

Nov 24, 2017

RE: REQUEST for a CHANGE to the Exterior panels on the Cobble Hill Warehouse

BACKGROUND

Milou Holdings (Stuart Wood) the owner of the Warehouse on Ball Road is concerned about the long term viability (Building Envelope and Maintenance) of the Cedar panels and the cost to install the panels.

The Cedar panels on the new Warehouse have very little impact on its' presentation to Fisher Road --- given its' location behind an existing warehouse and its' very small presence to Ball Road

PROPOSAL

It would be prudent, as well as in keeping with a desire to upgrade the Fisher Road streetscape --- that improvement to the existing warehouse (facing Fisher) would have a greater effect on improving this Industrial site than what could be achieved thru introducing cedar paneling to the new Warehouse

REQUEST

1. I request that the cedar panels on the Ball Road Warehouse be deleted and substituted for steel paneling (to match the paneling now installed)
2. I request that the issued DP be revised as an amendment.
3. Improvement to the Fisher Road Warehouse will include:
 - A new Cedar Fascia
 - Cedar on the Office portion of the warehouse
 - A large entry sign structure
 - Cedar fencing panels

The Cedar panels on the Ball Road warehouse are estimated to cost \$20,000

The improvements to Fisher Road warehouse will cost aprox \$25,000

All of the above will be installed under a Building permit

4. A rendering of Fisher Road Warehouse Streetscape has been forwarded
5. The Building is completed and is Code compliant and ready for occupancy.
6. Landscaping as per the approved Development Permit has been completed

Curtis P Miles Architect AIBC Assoc AIA



STAFF REPORT TO COMMITTEE

DATE OF REPORT May 24, 2016

MEETING TYPE & DATE Electoral Area Services Committee Meeting of June 1, 2016

FROM: Development Services Division
Planning & Development Department

SUBJECT: Development Permit Application No. 01-C-16 DP/VAR
(1357 Fisher Road)

FILE: 01-C-16 DP/VAR

PURPOSE/INTRODUCTION

The purpose of this report is to consider a Development Permit application for construction of an industrial building.

RECOMMENDED RESOLUTION

That it be recommended to the Board

1. That Development Permit with Variance Application 01-C-16DP/VAR be approved;
2. That Section 13.4(2) be varied to increase the maximum impervious surface coverage to 81%; and
3. That the General Manager of Planning & Development be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 3510.

BACKGROUND

Location of Subject Property: 1357 Fisher Road, Cobble Hill

Legal Description: Strata Lot 1, Section 13, Range 6, Shawnigan District, Strata Plan VIS7144, Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form V (PID: 029-000-831)

Date Application Received: February 1, 2016, Revised Plans March 14, 2016

Owner: 1056430 BC Ltd

Applicant: Curtis Miles, Architect

Size of Parcel: 0.64 ha (1.58 acres)

Existing Zoning: I-1C Light Industrial 1C Zone

Existing Plan Designation: Industrial (South Cowichan OCP)

Existing Use of Property: Industrial: Warehouse

Use of Surrounding Properties:

North:	Industrial
South:	Industrial
East:	Church
West:	Industrial

Road Access Fisher and Ball Roads

Water: Cobble Hill Improvement District

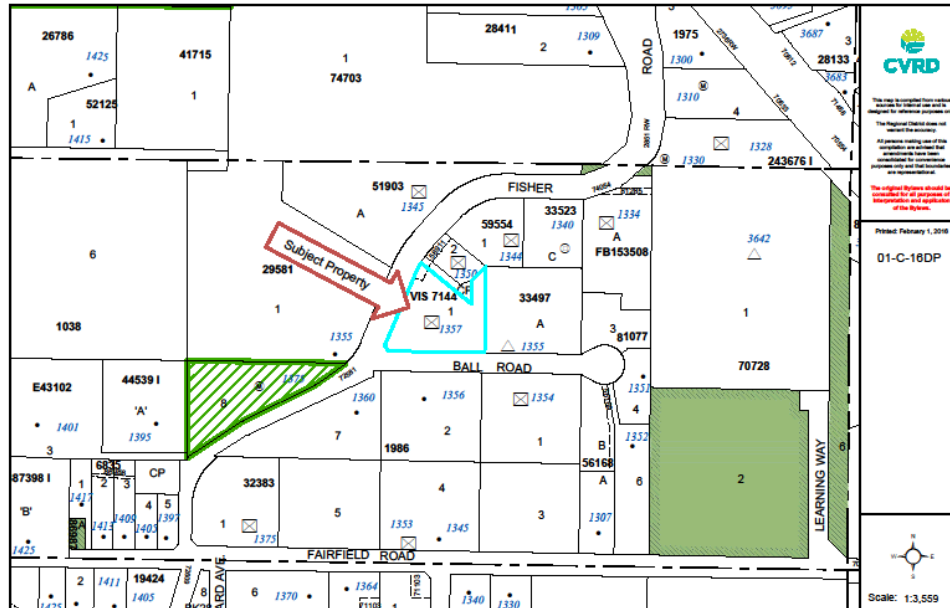
Sewage Disposal: On-site septic

Environmentally Sensitive Areas: No environmentally sensitive areas have been identified.

Wildfire Interface: Moderate

Archaeological Site: None identified

Environmental Management Act: Declaration Signed – No Schedule 2 uses noted. Stage 2 Environmental Report indicates site is not contaminated.

LOCATION MAP**APPLICATION SUMMARY**

This application proposes to remove an existing building, and replace it with a larger, 936 m² (10,080 sq. ft), industrial building.

The subject property is a 0.64 ha (1.6 acres) parcel at the corner of Fisher Road and Ball Road in the Fisher Road Industrial Area. It has access off both Fisher and Ball Roads.

The majority of the property is flat. Along the east side of the property, there is an embankment of approximately 10 metres (32 ft.) which has is covered with Scotch Broom. The lower section of the bank is bordered by a retaining wall.

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

No minutes have been received from the Electoral Area C Advisory Planning Commission (APC). Director Clement to provide verbal report.

Surrounding Property Owner Notification and Response:

A total of 21 letters were mailed-out or hand delivered as required pursuant to CVRD *Development Application and Procedures and Fees Bylaw No. 3275*. The notification letter described the purpose of this application and requested comments regarding this variance within a recommended time frame. To date, no response letters have been received.

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

The subject property is subject to the Cobble Hill Village Development Permit Area (DPA) guidelines.

Zoning

The applicants are redeveloping the site with one existing building being renovated and a new one being constructed. The exact uses of the building are not known, as it will depend on the tenants who lease the property.

The property is zoned I-1C, which allows a variety of industrial uses. For reference, please see attached Zoning excerpt from Bylaw No. 3520. The application complies with zoning regulations for height, setbacks and parcel coverage. The maximum permitted site coverage is 50%, and that proposed with the new building is 24.1%.

Parcel Coverage and Impervious Surface – Variance Request

The majority of the site is paved or has a building on it resulting in 71% impervious surface on the property. A variance is requested to increase the impervious surface coverage from the existing 71% to 81%. The maximum specified in the Zoning Bylaw is 60%.

PLANNING ANALYSIS**General Guidelines**

As noted, the bank on the east side of the property is covered in Scotch Broom. Pursuant to the Development Permit guidelines, the applicants originally intended to remove the Scotch Broom and replant with a mix of native plant species. However, given the extent of the coverage, the sandy soils making up the bank, continued maintenance requirements for removal over several years, and the presence of scotch broom on surrounding lands, it was determined that landscaping efforts would be better spent on other portions of the lot at this time.

To address the Development Permit guidelines, the applicant is required to remove the Scotch Broom and treat the bank to prevent new growth. Removing/cutting the Scotch Broom and replacing with landscape fabric and bark mulch is one treatment option, and the applicants will need to ensure that any treatment of the bank continues to provide slope stability and prevent surface erosion.

Building Design Guidelines

The guidelines state that commercial, industrial, mixed use and multiple family residential buildings should demonstrate a range of architectural features using a mix of natural exterior finish materials.

The proposed building is a large warehouse structure finished in pre-finished metal cladding and metal roof. Cedar paneling and canopies are proposed to reduce the uniformity of the structure and provide breaks in the metal finishing. Garbage and refuse areas will be screened with a 2.0 metre (6 ft.) cedar panel enclosure. Wiring will be overhead from the existing building.

Landscaping, Rainwater Management, and Environmental Protection Guidelines

The rainwater management plan proposes a sandy swale along the east side of the new building to infiltrate roof runoff from the new building. To the applicant's knowledge there are no installed oil-water separators for parking areas or from the existing building. However, they intend to rectify this by collecting and treating the rainwater from existing impervious surfaces through oil-water separators prior to being discharged. This will be included as a requirement of the Development Permit.

All the landscaping proposed for the site is new:

- Street trees, conifers and shrubs along Fisher Road to screen the existing warehouse;
- A small feature garden with deciduous and evergreen shrubs at the corner of Ball and Fisher Roads to anchor business signage and visually soften entry; and
- Low conifers and ground cover plants along Ball Road.

In accordance with the CVRD's Landscape Security Policy, financial security is required to ensure the landscaping is installed and succeeds over a two year maintenance period.

There is existing black chain link fence along the Ball Road frontage.

Outdoor Lighting Guidelines

No new site lighting is proposed. Lighting at entrance points to the building will be shielded to direct lighting to the ground.

Parking, Vehicular Access, and Pedestrian Guidelines

There is extensive paved surface already on the property, and established vehicle access. With the addition of landscaping and curbs, access to the property will be improved. For any new commercial building, an access permit from the BC MoT is required.

Sign Guidelines

No new signage is proposed. A Development Permit will be required for the signage.

Maximum impervious surface limits are new to the South Cowichan and Cowichan Bay Zoning Bylaw, and the applicants have addressed rainwater infiltration by proposing an infiltration swale at the rear of the building, and retrofitting the existing impervious surfaces with an oil-water separator. The proposed industrial building and landscaping are significant improvements to development within the Fisher Road industrial park and the application complies with the guidelines of the DPA. Option 1 is recommended.

OPTIONS

Option 1:


That it be recommended to the Board

1. That Development Permit with Variance Application No. 01-C-16DP/VAR be approved;
2. That Section 13.4(2) be varied to increase the maximum impervious surface coverage to 81%; and
3. That the General Manager of Planning & Development be authorized to permit minor revisions to the permit in accordance with the intent of development permit guidelines of Official Community Plan Bylaw No. 3510.

Option 2:

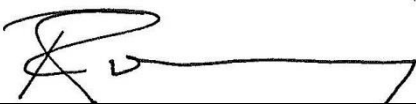
That it be recommended to the Board that Development Permit with Variance Application No. 01-C-16 DP/VAR be denied based on stated inconsistency with specific guidelines.

Prepared by:

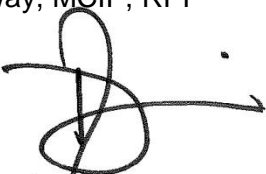


 Rachelle Rondeau, MCIP, RPP
 Planner I

Reviewed by:



 Rob Conway, MCIP, RPP
 Manager



 Ross Blackwell, MCIP, RPP, A. Ag.
 General Manager

ATTACHMENTS:

- Attachment A – Zoning Map
- Attachment B – Orthophoto Map
- Attachment C – Site Plan
- Attachment D – Building Elevations
- Attachment E – Landscaping Plan
- Attachment F – Rainwater Management Plan
- Attachment G – I-1C Light Industrial Zone Bylaw No. 3520
- Attachment H – Draft Development Permit



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

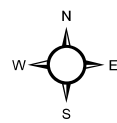
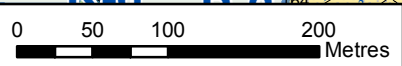
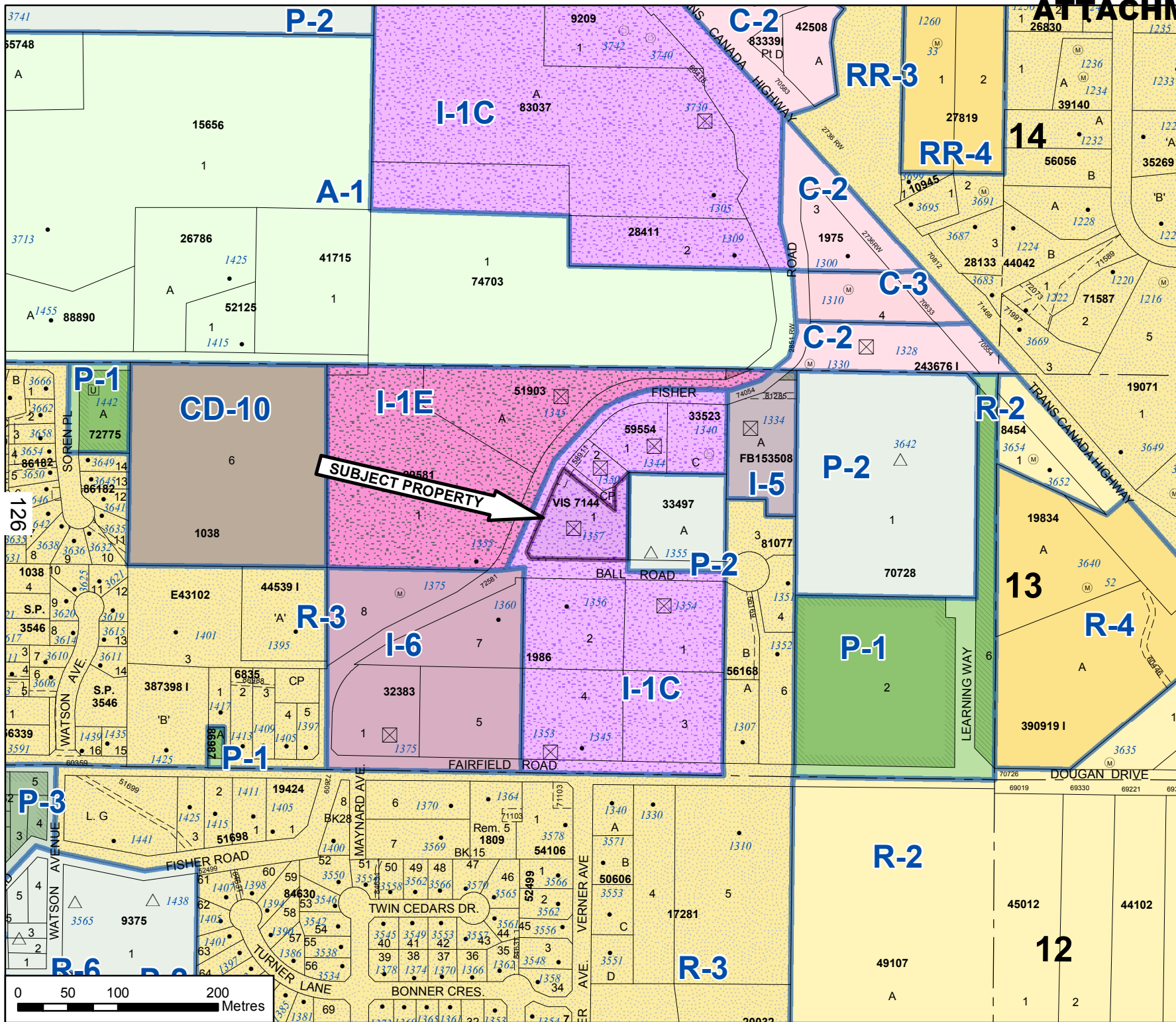
All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-C-16DP/VAR

ZONING

- Legend
- Zoning AC
 - Subject Property



R4



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

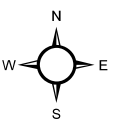
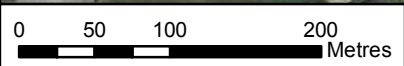
The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-C-16DP/VAR

Google Earth Photo (2015)



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R4

DEVELOPMENT PERMIT DATA

ZONING LEGAL I- 1C Light Industrial
 Strata Lot 1 Section 13 Range 6 Shawnigan District
 Plan VIS7144
 Together with an interest in the Common Property

CIVIL 1357 Fisher Road - Cobble Hill

PERMITTED USES -
 Allowed - Warehouse
 Given - Warehouse

SITE AREA 1.580 Acres (68,824 Sq.ft)
 Common area not included

COVERAGE
 Allowed - 50%
 Given - 11,402 + 2,280 Existing = 13,682 = 19.8%
 - 11,402 Existing + 10,080 New = 21,482 = 31.2%

SETBACKS
 Side Allowed - 14.7 feet
 Given - 16'-0"
 Rear Allowed - 30 feet
 Given - 48'-0"

HEIGHT
 Allowed - 10m (32'-8")
 Given - 9.45m to Ridge (31'-0")

LANDSCAPING
 The Industrial site has 48,480 sq.ft. of impervious surfaces (71 %)
 The replacement of an existing 2,290 sq.ft. existing warehouse with a new 10,080 warehouse will lift the impervious area to 56,280 sq.ft (81%)

There is no opportunity to remove valuable loading and delivery aprons from the existing industrial site. The new warehouse however borders a 11,400 sq. ft. embankment which contains existing soil and serves as a (30 foot high) raised future landscaped area to the North. Existing invasive growth will be removed and replanted with shrubs and ground cover. Additional landscaping will be inserted along Ball with a landscape feature at the corner of Ball and Fisher (See landscaping plan)

PARKING
 12 designated (10' x 20') parking stalls will be provided to serve both warehouses

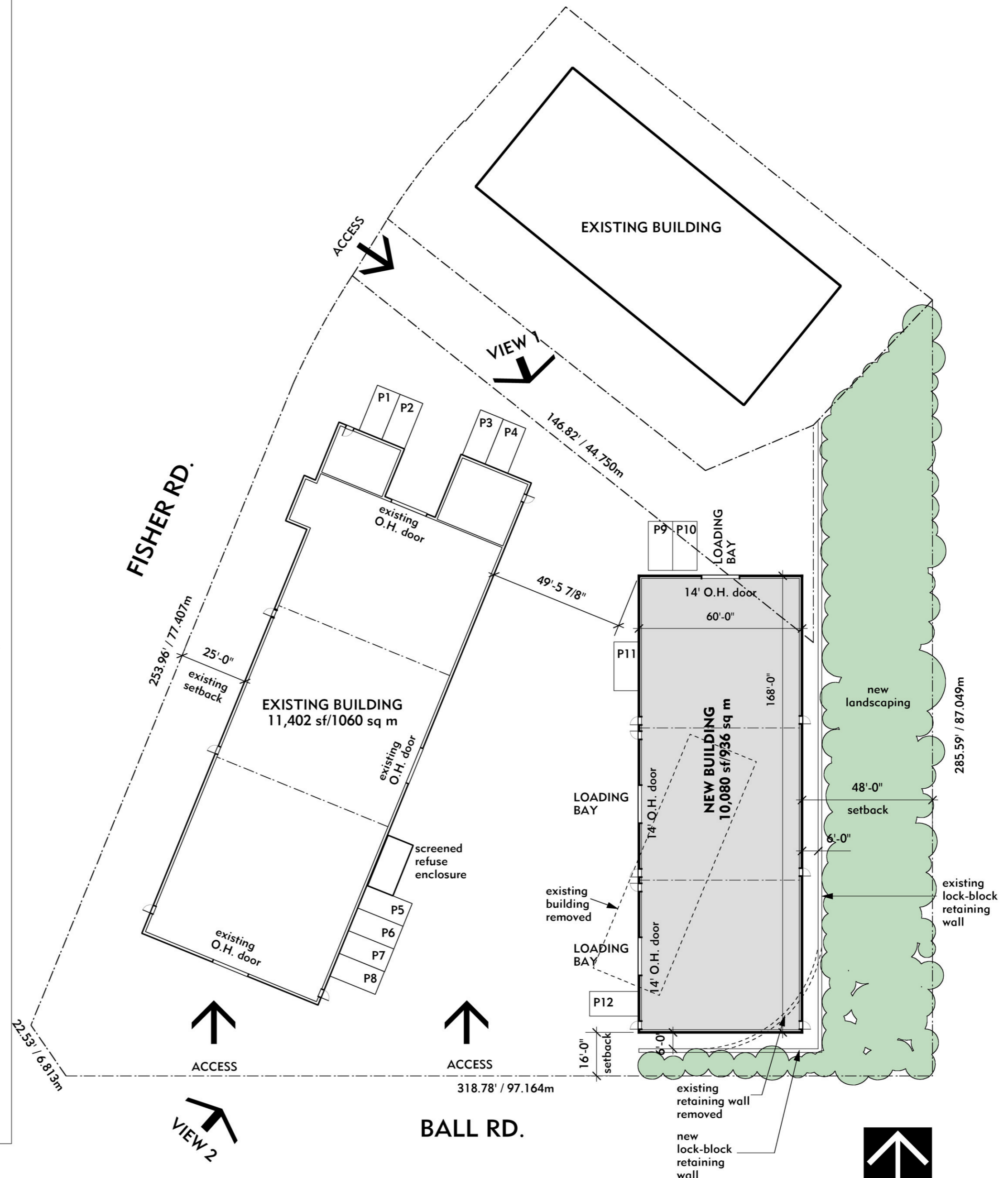
SEPTIC
 The existing warehouse is served by a 750 Gal tank with discharge to a perc field. A new perc field will be constructed on the East Bank

LIGHTING
 All exterior building and apron lighting will be non-glare with minimum spillage

SCREENING
 A 10' x 20' screened refuse enclosure will be provided on the North side of the existing warehouse (See Plan)
 Screening will be 6' high cedar panels (gated)
 The enclosure will serve both warehouses

STORM WATER MANAGEMENT
 Existing roof and surface storm water runs directly to a ditch on Fisher Road
 Roof water and surface from the New building will be detected to a pervious system East of the building. See Civil Engineer's Letter of Intent

ATTACHMENT C



SITE PLAN scale 1/32" = 1-0"

NEW WAREHOUSE
 1357 Fisher Rd.
 Cobble Hill

SITE PLAN & DATA

curtis paxton miles

architect maibc assoc aia
 10924 inwood rd. n. saanich

ph: 250.656.2259
 email: carchitect@shaw.ca

REVISION	SHEET N	R4
DATE: mar.14, 2016	1	

ATTACHMENT D



129

VIEW 2



VIEW 1

NEW
WAREHOUSE
1357 Fisher Rd.
Cobble Hill

curtis
paxton
miles

architect maibc assoc aia
10924 inwood rd. n. saanich

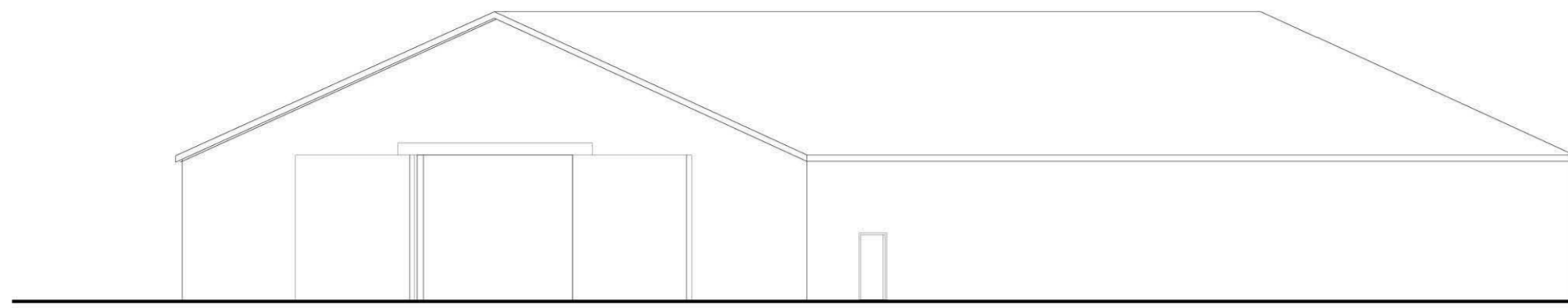
ph: 250.656.2259
email: carchitect@shaw.ca

REVISION SHEET N

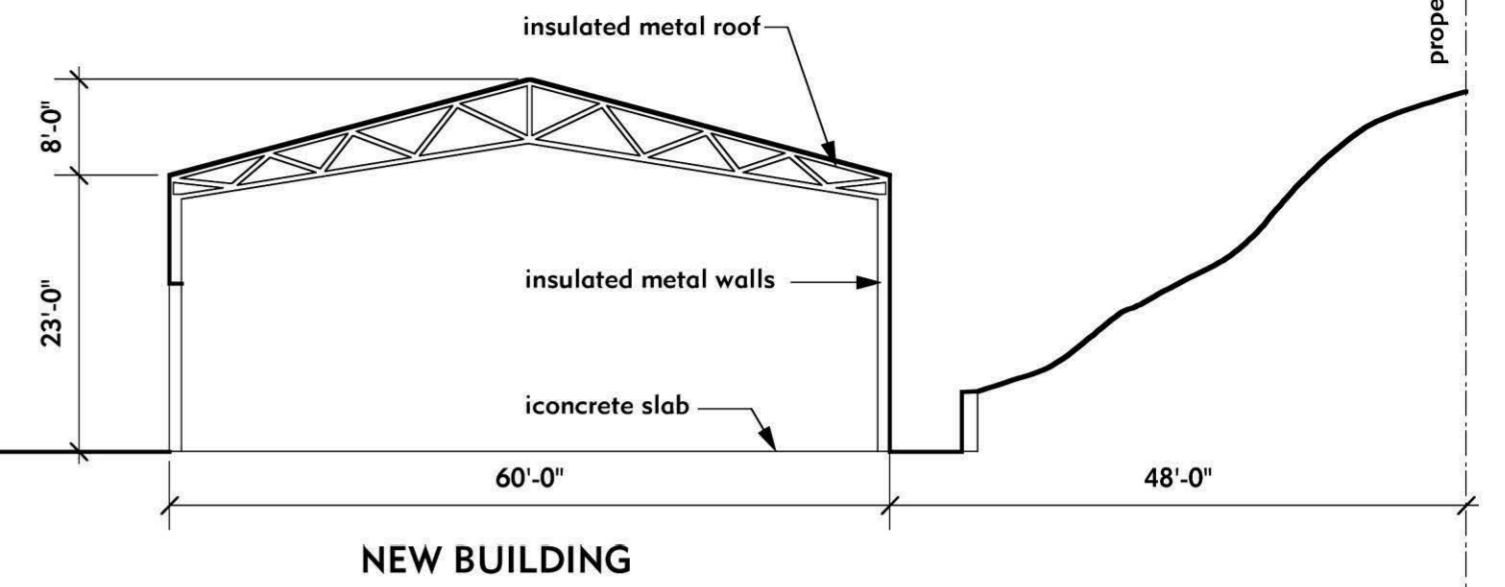
DATE:
mar. 14, 2016

2

R4



EXISTING BUILDING



NEW BUILDING

SITE SECTION



130

VIEW 1

- v joint cedar panels - natural finish
- prefinished metal roof - Cool Ocean Blue
- prefinished metal cladding - Cool Ocean Blue
- prefinished metal cladding - Cool Shell Gray



VIEW 2

**NEW
WAREHOUSE**
1357 Fisher Rd.
Cobble Hill

SECTION
& IMAGES

**curtis
paxton
miles**

architect maibc assoc aia
10924 inwood rd. n. saanich

ph: 250.656.2259
email: carchitect@shaw.ca

REVISION SHEET N

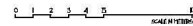
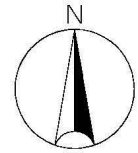
DATE:
mar. 14, 2016

2

R4

ATTACHMENT E

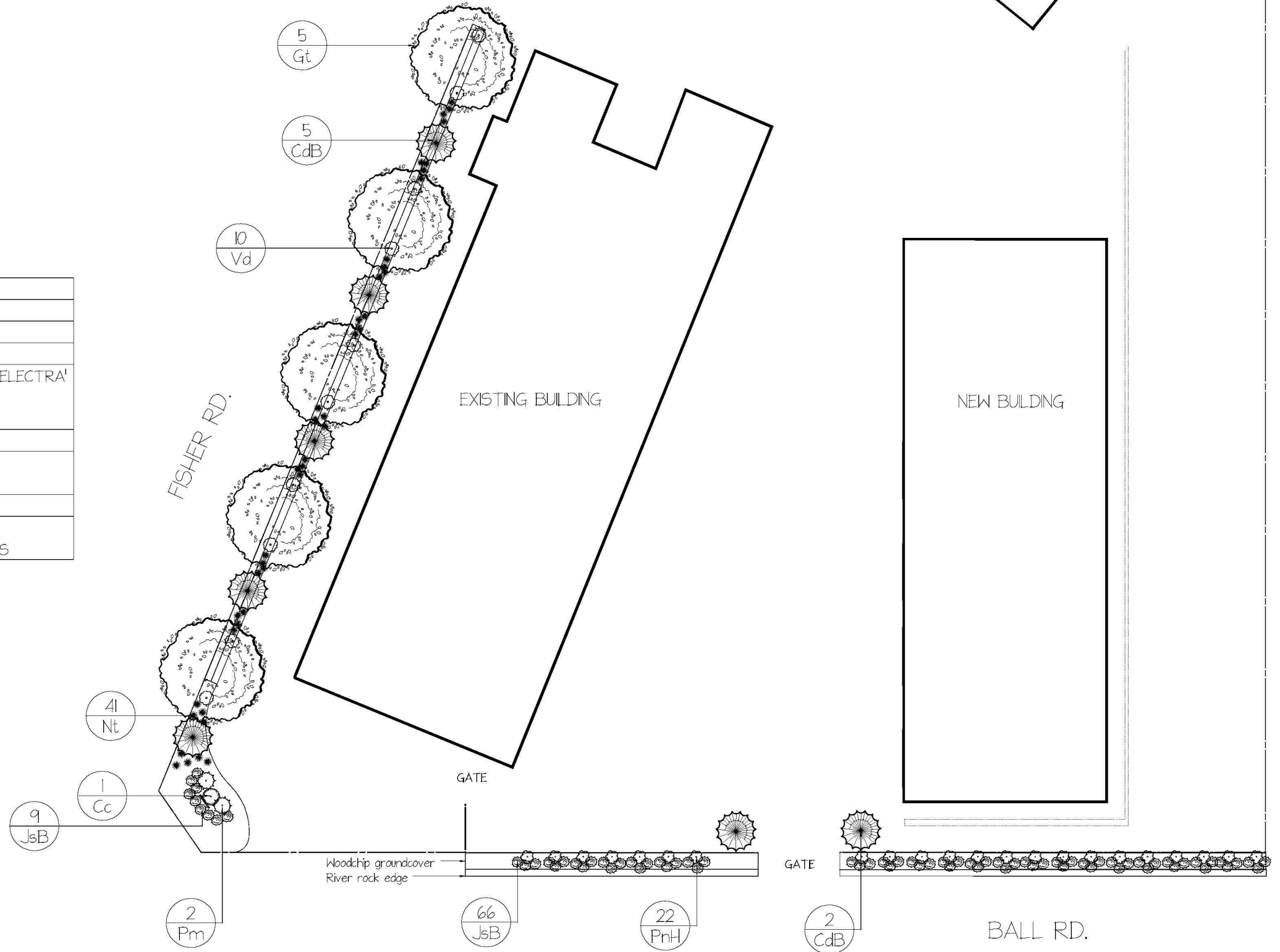
New Warehouse Project 1357 Fisher Rd, Cobble Hill		
client:		
scale	date	revision
NTS	May 20, 2016	Revision 3
drawn by	checked by	drawing #
Kristi Gesshe	Ceres	2 of 2



All measurements are approximate.

Key	Qty	Botanical Name	Common Name
Trees			
Gt	5	<i>Gleditsia triacanthos</i>	HONEY LOCUST
Conifers			
CdB	7	<i>Cedrus deodara</i> 'Bush's electra'	DEODAR CEDAR 'BUSH'S ELECTRA'
Pm	2	<i>Pinus mugo</i>	MUGO PINE
PnH	22	<i>Pinus nigra</i> 'Helga'	DWARF AUSTRIAN PINE
Shrubs			
Cc	1	<i>Chaenomeles cathayensis</i>	FLOWERING QUINCE
Vd	10	<i>Viburnum davidii</i>	DAVID VIBURNUM
Groundcovers			
JsB	75	<i>Juniperus squamata</i> 'Blue Star'	BLUE STAR JUNIPER
Nt	41	<i>Nasella tenuissima</i>	MEXICAN FEATHER GRASS

131



Note: Ball Rd plantings
'Subject to survey'

R4

LEGAL SERVICES
MUNICIPAL ENGINEERING
LAND DEVELOPMENT AND MANAGEMENT



SINCE 1959
J.E. ANDERSON
& ASSOCIATES
SURVEYORS - ENGINEERS

May 24, 2016

File No. 29464

Curtis P. Miles, Architect
10924 Inwood Road
North Saanich, BC V8L 5H9

Dear Sir,

RE: 1357 Fisher Road – Site Drainage

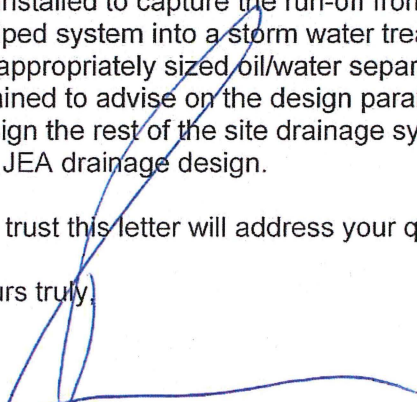
The JEA letter dated February 22, 2016 was intended to assess design requirements for storm water management and retention for the new hard surface being created by the new development. This new hard surface will primarily collect clean roof water. The bioswale at the rear of the building will allow for a significant amount of ground water recharge, and will retain the peak flow that leaves the site. The bioswale is not intended to provide a high degree of treatment for contaminated run-off. We do not intend to direct drainage from the paved parking and yard areas directly to the new bioswale. As a result, infiltration of contaminants is not expected to occur.

The swale will permit the drainage to flow slowly downhill to the south along the swale. The Conceptual Drainage Plan prepared by JEA and dated May 10, 2016 shows that the swale and catch basins will be set at a minimum of 250mm below the new floor slab.

The C.V.R.D. has expressed concerns regarding the drainage from the existing buildings and paved surfaces. In order to treat the existing drainage run-off, a concrete curb or asphalt water control will be installed to capture the run-off from the paved surface and direct it to a catch basin, and then via a piped system into a storm water treatment system. The treatment system would likely consist of an appropriately sized oil/water separator. We recommend that an environmental consultant be retained to advise on the design parameters for the storm water treatment system. JEA would design the rest of the site drainage system and incorporate the recommended treatment system into the JEA drainage design.

We trust this letter will address your questions.

Yours truly,



J.E. Anderson and Associates

P.C. Buchanan, P. Eng.

PCB/fc

Encls: JEA Letter dated Feb 22, 2015
JEA Conceptual Drainage Plan dated May 10, 2016

February 22, 2016

File No. 29464

Curtis P. Miles, Architect
10924 Inwood Road
North Saanich, BC V8L 5H9

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RE: 1357 Fisher Road – Site Drainage

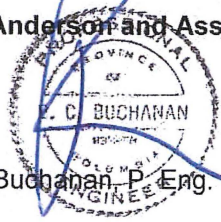
We have been retained to provide Civil Engineering services for the above site. Our work will include site services (sewer and water), the sewerage system, and drainage. This letter will discuss our drainage concept for the project.

The site soils in the area consist of permeable sands and gravels. The new building and access will add approximately 900 sq.m. of hard surface to the site. Best practices for drainage should include storm water treatment and retention so that the additional hard surface will not adversely effect downstream properties or the environment. Our design solution will include a combination of surface and subsurface storage placed along the east and south side of the new building. The new drainage system will function well as a bioswale.

It is our intention to discuss the details with CVRD staff at the design phase of the project, and to follow the requirements set out in the applicable bylaws.

We trust this summary will address your present requirements.

J.E. Anderson and Associates

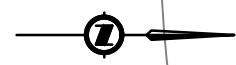


P.C. Buchanan, P. Eng.

PCB/fc

V:_Engineering\29464 - Fisher Rd\02 - Drawings (Eng)\Working Drawings\Fisher Rd\29464 - Concept.dwg Printed: May 10, 2016

131



BALL ROAD

EXISTING DITCH

PROPERTY LINE

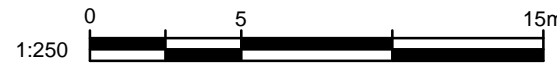
PROPOSED 6" OVERFLOW
TO EXISTING DITCH
90° BEND
c/w CLEAN-OUT

NEW BUILDING
10,080 sf/936 sq m

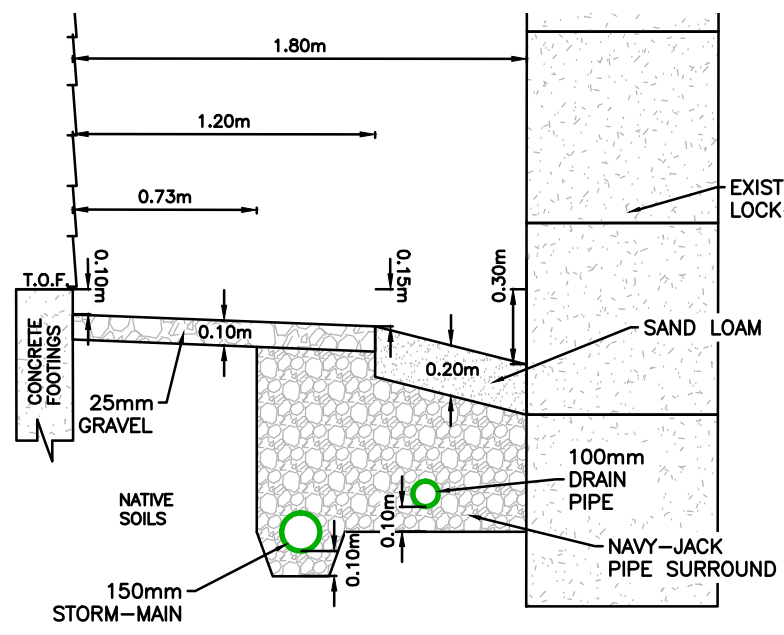
90° BEND
NEW LOCK-BLOCK
RETAINING WALL
EXISTING LOCK-BLOCK
RETAINING WALL

D150mm
D100mm

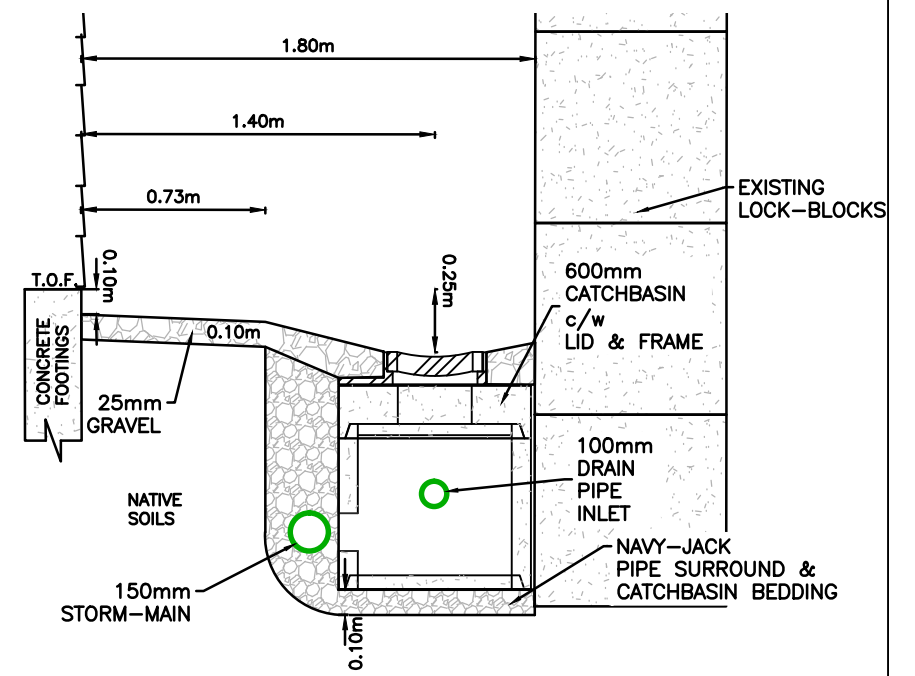
PROPOSED
GRAVELS
PROPOSED
SANDY LOAM
SWALE



PLAN - ROAD A
H 1:250



(A) SECTION AT SWALE



(B) SECTION AT CATCHBASIN

JEA J.E. ANDERSON
& ASSOCIATES
SURVEYORS -- ENGINEERS
4212 GLANFORD AVE, VICTORIA, BC, V8Z 4B7
TEL: 250 - 727 - 2214 FAX: 250 - 727 - 3395
E-MAIL : info@jeanderson.com

CLIENT CURTIS PAXTON MILES

PROJECT NEW WAREHOUSE

1357 FISHER ROAD
CONCEPTUAL DRAINAGE PLAN

DRAWN: KHG SCALE: 1:250

DATE: MAY 10, 2016

SHEET 1 OF 1

29464 - 01 - C1

ENG: 29464

R4

13.4 I-1C LIGHT INDUSTRIAL 1C ZONE

Subject to compliance with the general regulations set out in Parts 4, 5, 6 and 7 of this Bylaw, the following regulations apply in the I-1C Zone:

1. Permitted Uses

The following principal uses and no others are permitted in the I-1C Zone:

- a. Auto parts sales, excluding automobile wrecking;
- b. Automobile service shop and automobile workshop;
- c. Building supply sales and storage, lumber yard;
- d. Café, restaurant;
- e. Contractors workshop, yard and storage;
- f. Door and window manufacturing;
- g. Electric and electronic equipment manufacturing;
- h. Equipment sales, rental, repair and storage;
- i. Feed, seed and agricultural supplies, sales and storage;
- j. Food and dairy products manufacturing and processing facility, storage and packaging;
- k. Furniture and cabinet manufacturing, within a wholly enclosed building;
- l. Gardening and landscaping supplies and sales;
- m. Kennel, veterinary clinic;
- n. Laboratory;
- o. Manufacturing of consumer products;
- p. Modular log or pre-fabricated homes, truss and structure manufacturing;
- q. Motor vehicle sales;
- r. Offices;
- s. Parking garage;
- t. Production bakery;
- u. Refundable container depot;
- v. Research and development, high technology centre, education centre;
- w. Restaurant, cooking school, catering;
- x. Retail sales, unrelated to any other principal permitted use, limited to a maximum of 250 m² in total retail floor area;
- y. Warehouse, including mini-warehouse;
- z. Welding shop;

The following accessory uses and no others are permitted in the I-1C Zone:

- aa. One single family dwelling per parcel of land or one dwelling unit within each industrial building;
- bb. Retail sales.

2. Impervious Surfaces and Parcel Coverage Limit

Impervious surface coverage of a parcel in the I-1C Zone shall not exceed 60%, of which not more than 50% may be parcel coverage.

3. Height

The height of all buildings and structures in the I-1C Zone shall not exceed 10 metres.

4. Setbacks

The following setbacks for buildings and structures apply in the I-1C Zone:

Type of Parcel Line	For all uses, where the adjacent parcel is zoned other than Industrial	For all uses, where the adjacent parcel is zoned Industrial
Front parcel line	4.5 metres	4.5 metres
Interior side parcel line	9 metres	0 metres
Exterior side parcel line	4.5 metres	4.5 metres
Rear parcel line	9 metres	0 metres

5. Minimum Parcel Size

The minimum parcel size in the I-1C Zone is:

- a. 0.2 hectares for parcels serviced by a community water and sewer system;
- b. 0.4 hectares for parcels serviced by a community water system only;
- c. 2 hectares for parcels serviced by neither a community water system nor a community sewer system.

6. Special Regulation

A refundable container depot shall only be located within a wholly enclosed building or structure.



COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT WITH VARIANCE

FILE NO: 1-C-16DP/VAR

DATE: _____

REGISTERED PROPERTY OWNER(S):

1056430 BC Ltd.

10-10114 MACDONALD PARK

SIDNEY BC V8L 5X8

1. This Development Permit with Variance is issued and is subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit with Variance applies to and only to those lands within the Regional District described below (legal description):

Strata Lot 1, Section 13, Range 6, Shawnigan District, Strata Plan VIS7144, Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as Shown on Form V (PID: 029-000-831)

3. **Authorization is hereby given for construction of an industrial building in accordance with the following requirements:**

- Development shall occur in accordance with the attached Schedules;
- Section 13.4(2) is varied to increase impervious surface coverage to 81%;
- Rainwater runoff from the new building will be managed in accordance with the Rainwater Management Plan;
- Existing impervious surfaces will be retrofitted with oil-water separator(s) to collect and treat runoff prior to discharge - to be confirmed at the Building Permit stage;
- Removal of Scotch Broom and treatment of the bank at the east side of the property to prevent new growth of Scotch Broom;
- Prior to issuance of the Development Permit, a letter of credit or other acceptable financial security will be provided in the amount of 125% of the landscaping.

4. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.

5. The following Schedules are attached:

- Schedule A – Site Plan
- Schedule B – Building Elevations
- Schedule C – Landscaping Plan
- Schedule D – Rainwater Management Plan

- 6. **This Permit is not a building permit or subdivision approval.** No certificate of final completion or recommendation of subdivision approval by the Cowichan Valley Regional District shall be issued until all items of this Development Permit with Variance have been complied with to the satisfaction of the Planning & Development Department.

ISSUANCE OF THIS PERMIT HAS BEEN AUTHORIZED BY RESOLUTION NO. XXXX PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE XTH DAY OF MONTH, 2016.

Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

I HEREBY CERTIFY that I have read the terms and requirements of the Development Permit contained herein. I understand and agree that the Cowichan Valley Regional District has made no representations, covenants, warranties, guarantees, promises or agreements (verbal or otherwise) with CURTIS MILES on behalf of 1056430 BC LTD. other than those contained in this Permit.

Owner/Agent (signature)

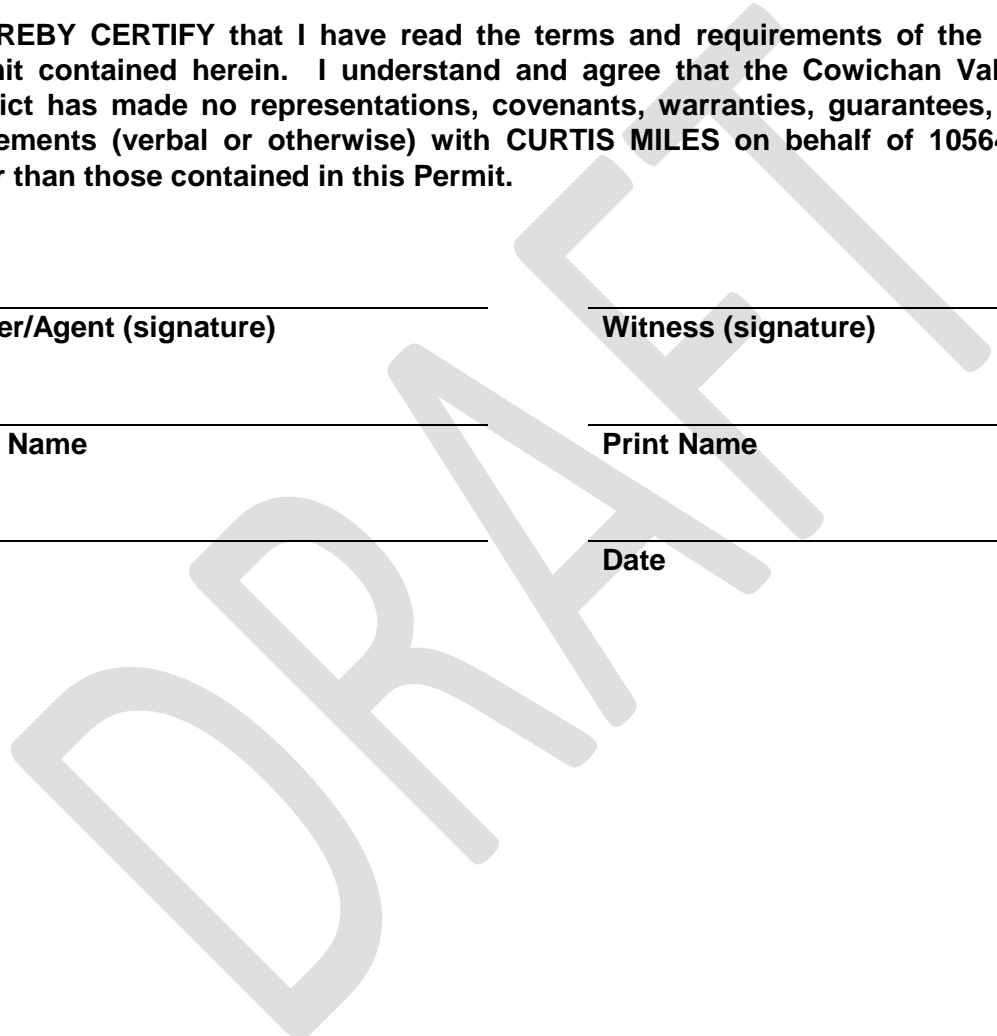
Witness (signature)

Print Name

Print Name

Date

Date





COWICHAN VALLEY REGIONAL DISTRICT

DEVELOPMENT PERMIT WITH VARIANCEFILE NO: 01-C-16DP/VARDATE: JUNE 23, 2016**REGISTERED PROPERTY OWNER:**1056430 BC LTD.10-10114 MACDONALD PARK ROADSIDNEY BC V8L 5X8

1. This Development Permit with Variance is issued subject to compliance with all of the bylaws of the Regional District applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit with Variance applies to and only to those lands within the Regional District described below (legal description):

*Strata Lot 1, Section 13, Range 6, Shawnigan District, Strata Plan VIS7144,
Together with an Interest in the Common Property in Proportion to the Unit
Entitlement of the Strata Lot as Shown on Form V
(PID: 029-000-831)*

3. Authorization is hereby given for construction of an industrial building in accordance with the following requirements:
 - Development shall occur in accordance with the attached Schedules;
 - Building to be sited completely on the subject property, in conformity with applicable setbacks;
 - Section 13.4(2) of Zoning Bylaw No. 3520 is varied to increase impervious surface coverage to 81%;
 - Rainwater runoff from the new building will be managed in accordance with the Rainwater Management Plan;
 - Existing impervious surfaces will be retrofitted with oil-water separator(s) or equivalent system to collect and treat runoff prior to discharge - to be confirmed at the Building Permit stage;
 - Removal of Scotch Broom and treatment of the bank at the east side of the property to prevent new growth of Scotch Broom; and
 - Prior to issuance of the Development Permit, a letter of credit or other acceptable financial security will be provided in the amount of 125% of the landscaping.
4. The land described herein shall be developed in substantial compliance with the terms and provisions of this Permit and any plans and specifications attached to this Permit shall form a part thereof.
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 - Schedule A – Site Plan
 - Schedule B – Building Elevations
 - Schedule C – Landscaping Plan
 - Schedule D – Rainwater Management Plan

6. **This Permit is not a building permit.** No certificate of final completion by the Cowichan Valley Regional District shall be issued until all items of this Development Permit with Variance have been complied with to the satisfaction of the Planning & Development Department.

ISSUANCE OF THIS PERMIT HAS BEEN AUTHORIZED BY RESOLUTION NO. 16-293.7.1, 7.2, and 7.3 PASSED BY THE BOARD OF THE COWICHAN VALLEY REGIONAL DISTRICT THE 8TH DAY OF JUNE, 2016.

Subject to the terms of this Permit, if the holder of this Permit does not substantially start any construction within 2 years of its issuance, this Permit will lapse.

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Owner/Agent (signature)

Stuart Wood
Print Name

Feb 10 2017
Date


Witness (signature)

Rachelle Randeau
Print Name

Feb 10 2017
Date

DEVELOPMENT PERMIT DATA

ZONING LEGAL I-1C Light Industrial
 Strata Lot 1 Section 13 Range 6 Shawnigan District
 Plan VIS7144
 Together with an interest in the Common Property

CIVIL 1357 Fisher Road - Cobble Hill

PERMITTED USES -
 Allowed - Warehouse
 Given - Warehouse

SITE AREA 1.580 Acres (68,824 Sq.ft.)
 Common area not included

COVERAGE
 Allowed - 50%
 Given - 11,402 + 2,280 Existing = 13,682 = 19.8%
 - 11,402 Existing + 10,080 New = 21,482 = 31.2%

SETBACKS
 Side Allowed - 14.7 feet
 Given - 16'-0"
 Rear Allowed - 30 feet
 Given - 48'-0"

HEIGHT
 Allowed - 10m (32'-8")
 Given - 9.45m to Ridge (31'-0")

LANDSCAPING

The Industrial site has 48,480 sq.ft. of impervious surfaces (71 %)
 The replacement of an existing 2,290 sq.ft. existing warehouse with a new 10,080 warehouse will lift the impervious area to 56,280 sq.ft. (81%)

There is no opportunity to remove valuable loading and delivery aprons from the existing Industrial site. The new warehouse however borders a 11,400 sq. ft. embankment which contains existing soil and serves as a (30 foot high) raised future landscaped area to the North. Existing invasive growth will be removed and replanted with shrubs and ground cover. Additional landscaping will be inserted along Ball with a landscape feature at the corner of Ball and Fisher (See landscaping plan)

PARKING

12 designated (10' x 20') parking stalls will be provided to serve both warehouses

SEPTIC

The existing warehouse is served by a 750 Gal tank with discharge to a perc field
 A new perc field will be constructed on the East Bank

LIGHTING

All exterior building and apron lighting will be non-glare with minimum spillage

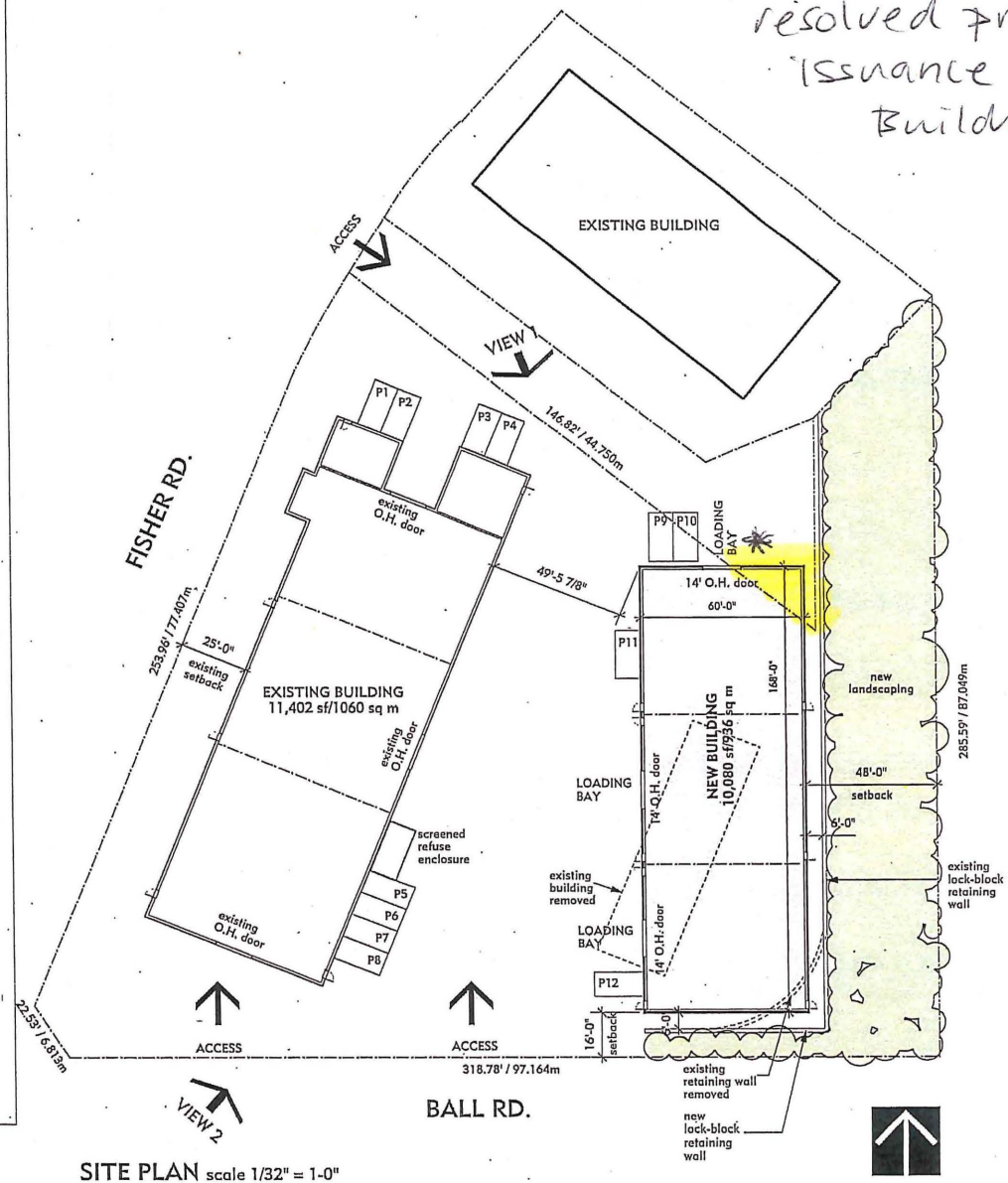
SCREENING

A 10' x 20' screened refuse enclosure will be provided on the North side of the existing warehouse (See Plan)
 Screening will be 6' high cedar panels (gated)
 The enclosure will serve both warehouses

STORM WATER MANAGEMENT

Existing roof and surface storm water runs directly to a ditch on Fisher Road
 Roof water and surface from the New building will be detected to a pervious system East of the building. See Civil Engineer's Letter of Intent

** encroachment to be resolved prior to issuance of Building Permit*



SITE PLAN scale 1/32" = 1-0"

NEW WAREHOUSE
 1357 Fisher Rd.
 Cobble Hill

SITE PLAN & DATA

curtis
 paxton
 miles

architect maibc assoc aia
 10924 inwood rd. n. saanich

ph: 250.656.2259
 email: carchitect@shaw.ca

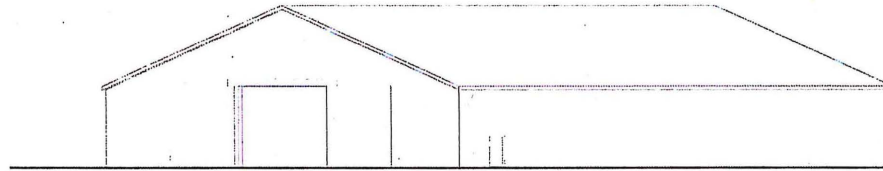
REVISION SHEET No.

DATE: mar. 07, 2016

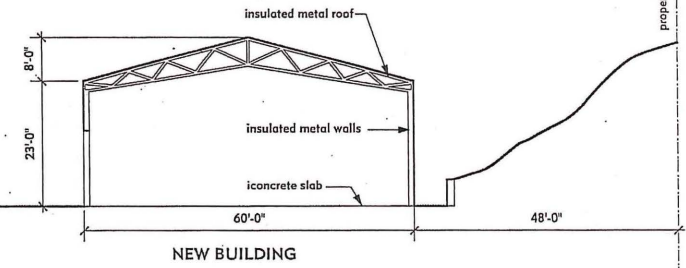
1 of 2

141

R4



EXISTING BUILDING



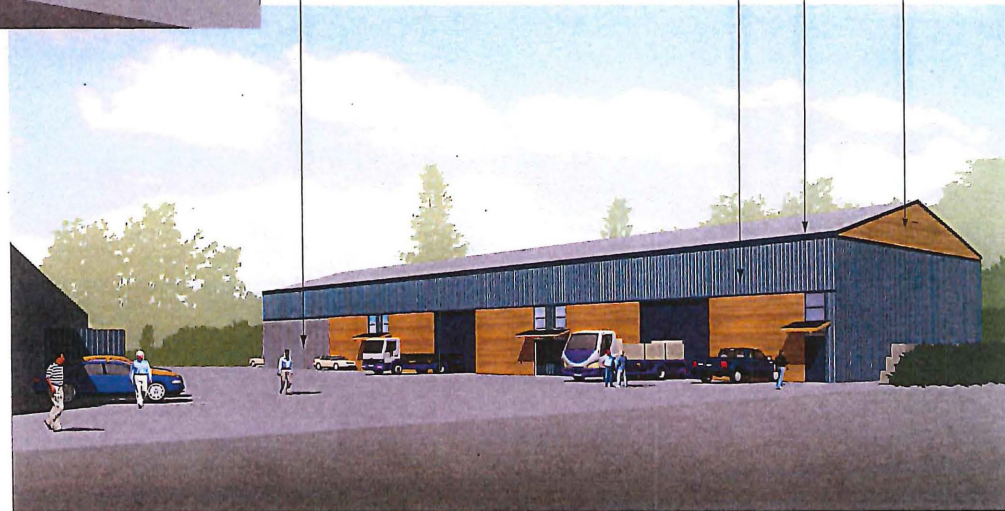
NEW BUILDING

SITE SECTION



VIEW 1

- v joint cedar panels - natural finish
- prefinished metal roof - Cool Ocean Blue
- prefinished metal cladding - Cool Ocean Blue
- prefinished metal cladding - Cool Shell Gray



VIEW 2

142

**NEW
WAREHOUSE**
1357 Fisher Rd.
Cobble Hill

SECTION
& IMAGES

**curtis
paxton
miles**

architect maibc assoc aia
10924 inwood rd. n. saanich

ph: 250.656.2259
email: carchitect@shaw.ca

REVISION SHEET No.

DATE:
mar. 14, 2016

2 of 3

R4



VIEW 2



VIEW 1

NEW
 WAREHOUSE
 1357 Fisher Rd.
 Cobble Hill

curtis
 paxton.
 miles

architect malbc assoc aia
 10924 inwood rd. n. saanich

ph: 250.656.2259
 email: carchitect@shaw.ca

REVISION	SHEET No.
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DATE: mar. 14, 2016	2 of 3
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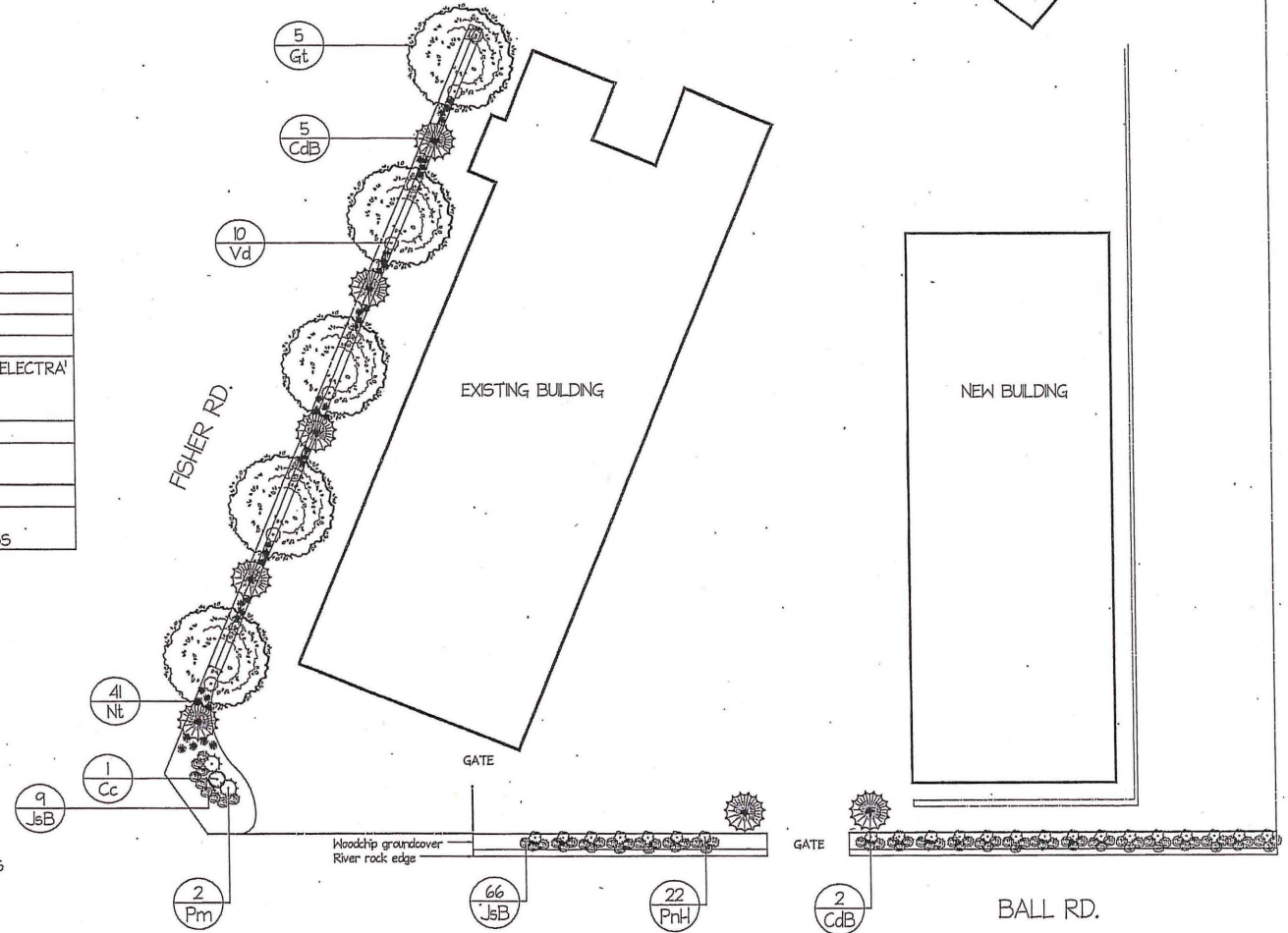
New Warehouse Project			
B57 Fisher Rd, Cobble Hill			
date:	scale:	date:	revision:
NTS	May 20, 20%	May 20, 20%	Revision 3
drawn by:	checked by:	drawn #:	drawing #:
Kristi Gesshe	Ceres		2 of 2



All measurements are approximate.

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JsB	75	Juniperus squamata 'Blue Star'	BLUE STAR JUNIPER
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Note: Ball Rd plantings
'Subject to survey'





May 24, 2016

File No. 29464

Curtis P. Miles, Architect
 10924 Inwood Road
 North Saanich, BC V8L 5H9

Dear Sir,

RE: 1357 Fisher Road – Site Drainage

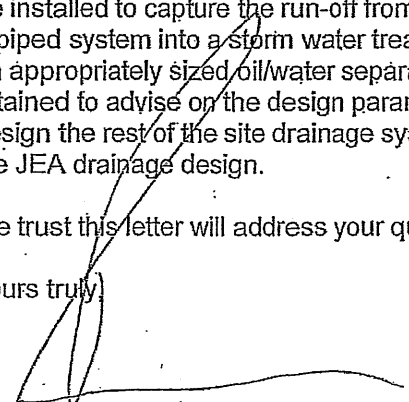
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We trust this letter will address your questions.

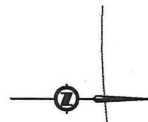
Yours truly,


J.E. Anderson and Associates

P.C. Buchanan, P. Eng.

PCB/fc

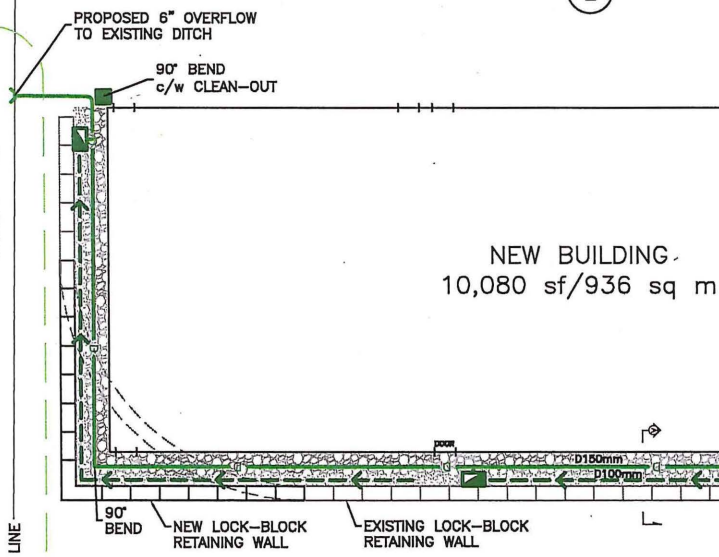
Encls: JEA Letter dated Feb 22, 2015
 JEA Conceptual Drainage Plan dated May 10, 2016



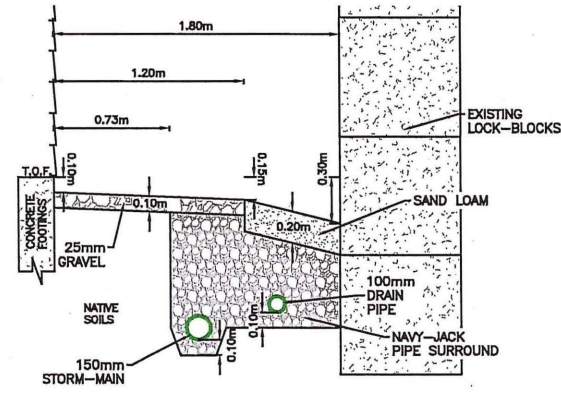
BALL ROAD

EXISTING DITCH

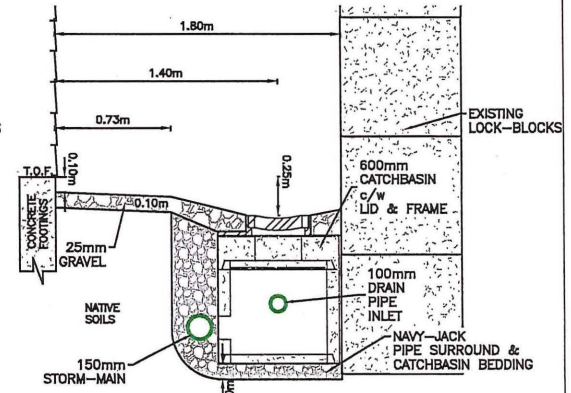
PROPERTY LINE



PLAN - ROAD A
H 1:250



(A) SECTION AT SWALE



(B) SECTION AT CATCHBASIN

J.E. ANDERSON & ASSOCIATES SURVEYORS — ENGINEERS 4212 GLANFORD AVE. VICTORIA, BC, V8Z 4B7 TEL: 250 - 727 - 2214 FAX: 250 - 727 - 3395 E-MAIL: info@jeanderson.com	CLIENT	CURTIS PAXTON MILES
	PROJECT	NEW WAREHOUSE 1357 FISHER ROAD CONCEPTUAL DRAINAGE PLAN
DRAWN: KHG	SCALE: 1:250	
DATE: MAY 10, 2016		29464 - 01 - C1
SHEET 1 OF 1	ENG: 29464	

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R4



LANDSCAPE SECURITY POLICY

Applicability: Planning & Development

Effective Date: December 12, 2012

PURPOSE:

This policy is intended to establish standards for the submission of landscape plans, and provide clarity with respect to the submission and release of securities, pursuant to Section 925 of the *Local Government Act* and relevant Official Community Plans and Zoning Bylaws.

POLICY:

As a condition of issuing a development permit, the Cowichan Valley Regional District (CVRD) may require that certain works be completed respecting landscaping, resolution of unsafe conditions, or rehabilitation of the natural environment. Plans of proposed works must be submitted to and approved by the CVRD, and the applicant will be required to post a security to cover the costs of completing the works in the event of default. All works are to be completed in accordance with applicable development permits issued by the CVRD. Additionally, commitments made in other development applications may require the submission and approval of landscaping or other plans, and the posting of a security to ensure agreed upon works are completed.

Landscape Plan Submission/Approval Procedure

1. Landscape plans must be submitted in compliance with relevant development permit area guidelines, zoning bylaw requirements, or commitments made in association with development applications.
2. Plans must be prepared by a member of the British Columbia Society of Landscape Architects (BCSLA) or British Columbia Landscape and Nursery Association (BCLNA), collectively referred to as “qualified professionals” within this policy.
3. The landscape plan(s) will indicate the following information, as applicable to the proposed development:
 - a. the location and extent of existing and proposed property lines, setback lines, structures, and vehicle and pedestrian circulation routes;
 - b. the extent of existing and proposed landscape areas;
 - c. details of proposed plantings showing the location, species, proposed planting size, quantities, and spacing of all introduced vegetation, and a separate planting list;
 - d. the extent of existing vegetation and soils to be retained, relocated, or removed including the location, size, and species of all trees, and the outline of natural shrub and ground cover;
 - e. where the retention of native trees and ground cover is proposed and accepted, a letter from a professional landscape architect or registered professional forester

shall be submitted, indicating the mitigation measures required during and after construction to ensure the health of the vegetation is maintained;

- f. details of watering provisions;
 - g. the location of site furniture, lighting, pedestrian areas and linkages, and signage;
 - h. the extent, location, elevations, materials, and finish of terracing and required retaining walls;
 - i. where onsite rainwater management measures are proposed, the location and extent of rainwater infrastructure (rain gardens, bioswales, etc.) and permeable surfaces must also be indicated; and
 - j. where rehabilitation of the natural environment or removal of invasive plant species is required as a condition of a permit, restoration plans are to be prepared by a qualified environmental professional, and must include the relevant information outlined above.
4. A comprehensive cost estimate of the proposed landscaping must be prepared by a qualified professional, and must include all materials and labour necessary to complete hard and soft landscape works.

Posting of Security

1. A security shall be provided upon receiving CVRD Board approval, and will be required prior to the issuance of the development permit.
2. The security may be in the form of an irrevocable letter of credit (LOC) or a certified cheque with documentation. The LOC or cheque will equal 125% of the comprehensive cost estimate. In no case will the amount of the security be less than \$2000.
3. The letter of credit or certified cheque with documentation must clearly indicate the following:
 - a. the amount of the security;
 - b. the name and mailing address of the property owner posting the security;
 - c. the name and mailing address of the issuing institution of the letter of credit;
 - d. the purpose for which the security is being established, including, if applicable, the legal description to which the security pertains;
 - e. the date and time of the security, and confirmation that the term of the security is automatically renewable; and
 - f. the Cowichan Valley Regional District as the holder of the security and confirmation that the security may be unilaterally drawn upon by the CVRD upon written notice.
4. Upon receipt of written confirmation by a qualified professional that the installed landscaping is in substantial compliance with recognized landscape industry standards and the approved landscape plans, the CVRD will release 70% of the security. Upon

completion of the two year maintenance period and confirmation by a qualified professional or CVRD staff that the landscaping is established and maintained in accordance with industry standards, the remaining security will be released.

Release of Security

1. A written request from the applicant can be submitted for partial (70%) release of the security upon installation of the landscaping. Following a two year maintenance period from the date of installation, a full release request may be submitted. The request for release must be accompanied by a qualified professional's confirmation that the landscape works have been successfully completed in substantial conformity with the original plans. No security deposited shall be returned unless and until all requirements for which the security has been posted have been completed to the satisfaction of the CVRD.
2. In the event that substantial changes to the landscape plan are required, the applicant should submit revised landscape plans prior to undertaking any work, including the rationale for the revision, and obtain approval from the General Manager of the CVRD Planning & Development Department.
3. If the landscaping is not completed after two years of the posting of the security, or is not completed in accordance with the terms, conditions, timelines, and plans of the permit or zoning bylaw, the following steps may be taken:
 - a. The CVRD will provide the applicant with written notice that the works must be completed by a specified deadline and in accordance with the approved plans.
 - b. The applicant will be notified that if the works are not completed, the CVRD will draw on the funds posted in the security for the purpose of entering the property and completing the works.
 - c. In the event that the deadline passes without full compliance, the CVRD will provide a minimum 7 days' notice of the dates when the CVRD or contracted employees will undertake the landscaping works.
 - d. The CVRD will call for and receive the funds posted in the security, and will apply the funds to completing the landscape works. Any excess funds will be returned to the permit holder.

Bylaw and Legislation References

1. *Local Government Act*, Section 925.
2. CVRD Development Applications and Procedures Bylaw No. 3725, as amended.
3. Official Community Plan Bylaw Nos. 3510, 925, 1490, 1945, 2500, 1497, and 2650, as amended.
4. Zoning Bylaw Nos. 2000, 985, 1405, 1015, 1840, 2600, 2524, 1020, and 2465, as amended.

Approved by: CVRD Board Approval date: December 12, 2012

CVRD Landscape Security Policy



Fisher Road
frontage pre-
renovation
(February 2016)



Ball Road
frontage pre-
development
permit for new
building, and
prior to
removal of
smaller building
(February 2016)



Renovation to Fisher Road building complete, new tenant, and planters installed for landscaping. Planters contrary to DP Permit

01-C-16DPVAR

(October 2017)



New Ball Road Building

No canopies, no cedar panelling, contrary to DP Permit

01-C-16DP/VAR

(October 2017)



Fisher Road
Frontage
(October
2017)



Ball Road
Frontage and
Building
(October
2017)



Fisher Road frontage

Landscaping installed (December 2017)



Ball Road warehouse canopies installed, no cedar panelling

(December 2017)



Fisher Road
Frontage
Landscaping
Installed
(December
2017)



Fisher Road
frontage
Landscaping
Installed
(December
2017)



STAFF REPORT TO COMMITTEE

DATE OF REPORT January 26, 2018

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Development Services Division
Land Use Services Department

SUBJECT: Rezoning Application No. 01-I-16RS (Official Community Plan and Zoning Amendment Application for PID: 000-222-348)

FILE: 01-I-16RS

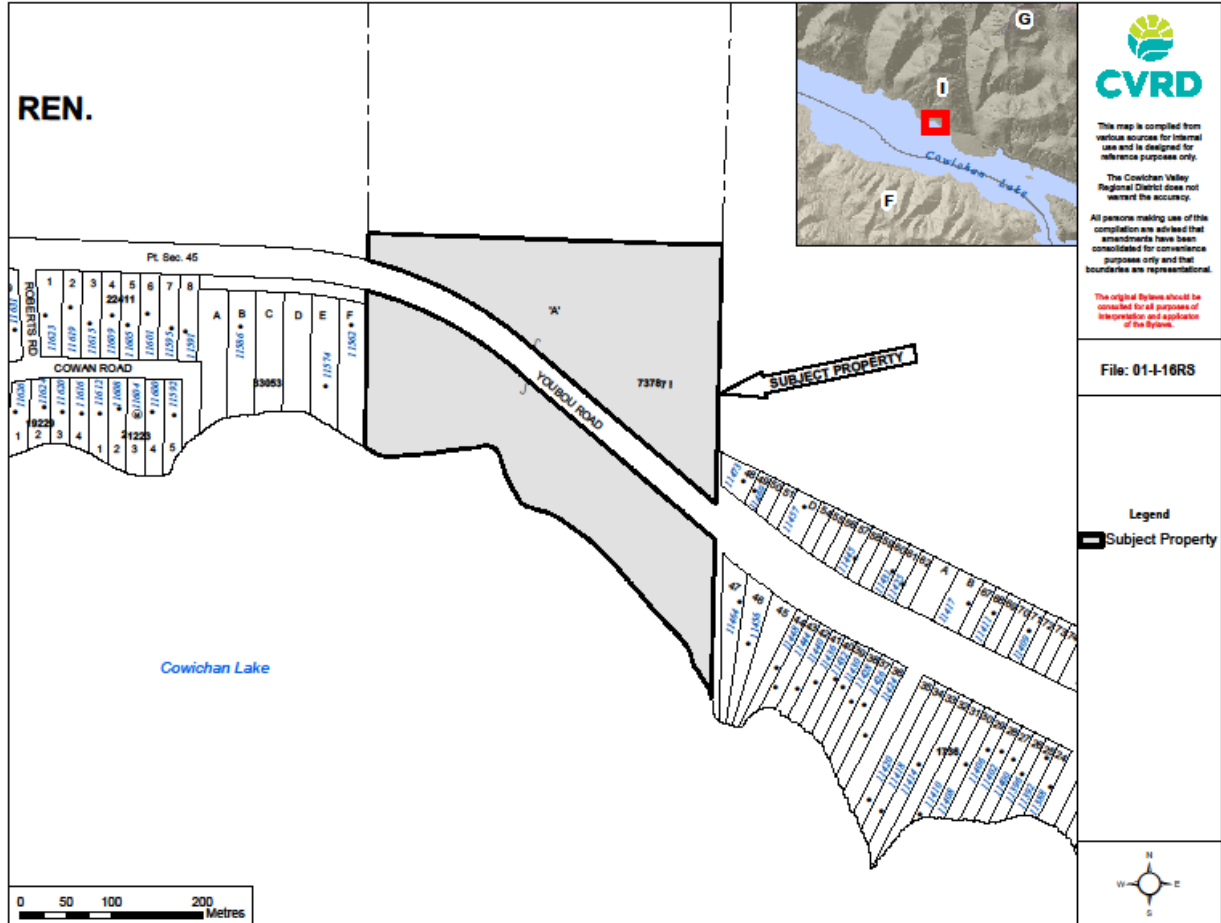
PURPOSE/INTRODUCTION

The purpose of this report is to present proposed Official Community Plan and Zoning Amendment Bylaws that would permit subdivision and establishment of single family dwelling(s) and camping on the subject properties.

RECOMMENDED RESOLUTION

For direction.

LOCATION MAP



BACKGROUND

At the November 8, 2017, Regional Board meeting, the following resolution was made:

1. *That Zoning and Official Community Plan Amendment Bylaws be drafted for Application No. 01-I-16RS; and*
2. *That the draft amendment bylaws be referred to the Electoral Area Services Committee for consideration.*

APPLICATION SUMMARY

Please see the Attachment A - Electoral Area Services Committee report dated November 1, 2017, for complete background information.

At this meeting, it was noted that the amenity contribution would be increased from the previously proposed \$50,000 to \$75,000.

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

CVRD has received a letter from Cowichan Tribes subsequent to the above-noted Board resolution.

- **See Attachment B – Letter from Cowichan Tribes dated November 23, 2017.**

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

A thorough discussion of OCP plan policies was presented in the staff report formerly considered with regards to this application.

- **See Attachment A - November 1, 2017, Electoral Area Services Committee Report.**

Draft amendment bylaws have been provided as Attachment C (OCP) and D (Zoning Bylaw).

Additionally, staff recommend that a new Development Permit Area be established at the subdivision stage to enact measures that would limit the potential wildfire hazard resulting from subdivision and development of these lands.

The subject properties are classified as “High” and adjacent to lands classified as “Extreme” for wildfire interface hazard in the Cowichan Valley Regional District Community Wildfire Protection Plan. The “interface” refers to any area where combustible wildland fuels (trees, shrubs, grasslands) are located next to homes or other buildings, and can include areas where there is either a defined boundary between forest and development or where the buildings are intermixed with forested areas.

A combination of factors – lack of public road access and poor road conditions, terrain, and forest cover type (coniferous forests are more combustible) contribute to the classifications as “high” and “extreme” for wildland interface hazard.

Wildfire could arise from activities on the subject property during land development, construction, or from the recreational use (e.g. campfires) or could be initiated off the property in the surrounding forested lands, and impose a risk to buildings and persons in the development.

As a result, if the properties are rezoned and subsequently subdivided, staff recommend that a Wildfire Protection Development Permit Area be applied to the lands that would require a wildfire interface hazard assessment by a professional specifying measures to mitigate the risk to the development and surrounding lands. Implementation of the recommended wildfire protection measures would occur at the subdivision and building permit stage.

PLANNING ANALYSIS

A thorough planning analysis was presented in formerly considered staff report.

- **See Attachment A – November 1, 2017 EASC Staff Report**

If the application proceeds, a covenant will be required to be registered on the title of the land prior to the adoption of amendment bylaws securing the amenities (as appropriate):

Covenant items:

- Payment of \$75,000 amenity contribution at the time of subdivision;
- Dedication of a 20 metre wide road allowance at the west end of the parcel (intended to be pursuant to the subdivision requirements of the *Land Title Act* – the applicants intend to work with the Ministry of Transportation and Infrastructure (BC MoT) and CVRD so that this land can instead be dedicated to the CVRD as parkland);
- Registration of a restrictive covenant protecting the 15 metre Streamside Protection and Enhancement Area (SPEA). The owners propose to remove any currently encroaching structures at the time of subsequent building permit;
- Establishment of a no-build/no-camping space setback of 20 metres from the high water mark of Cowichan Lake.

Developer Proposal Commitments (non-covenanted):

Staff is not recommending that these items be included in a covenant. Recent experience indicates that ground conditions are not static, requirements change over time, and covenants of this nature can be onerous to administer. As a result, these aspects of the proposal will not be enforceable. If the committee wants to ensure that these become enforceable conditions of the development, they should be included in a covenant.

- Restrict number of driveway accesses to southern portion of the lot to the current six driveways;
- Locate septic systems on the northern side of the road in order to reduce the concentration of development from the waterfront portions of the proposed parcels. Section 3.10(3) of Zoning Bylaw No. 2465 prohibits these proposed lots from being subdivided along the road as they were not in existence at the time of adoption of the Zoning Bylaw, and they would not be 1 ha on each side (the total area for each proposed lot is 1 ha);
- All docks to be constructed in accordance with most recent Best Management Practices and limit dock size to 400 sq. ft.;
- No fencing, which would allow continued movement of wildlife through the site.

Per the Board's direction, please see attached Amendment Bylaws for consideration.

OPTIONS

Option 1 (Attached draft bylaws)

1. That the Official Community Plan and Zoning Amendment Bylaw for Application No. 01-I-16RS (PID: 000-222-348) **be forwarded** to the Board for consideration of 1st and 2nd Readings;
2. That referrals to Ministry of Transportation and Infrastructure, Lake Cowichan First Nation, Cowichan Tribes, Ditidaht First Nation, Youbou Volunteer Fire Department, Island Health, School District 79, Ministry of Forests, Lands, and Natural Resource Operations (Nanaimo), RCMP (Lake Cowichan Detachment), and BC Transit be accepted;
3. That covenants be drafted to secure proposed amenities and environmental protection measures; and
4. That a public hearing be scheduled with Directors from Electoral Areas I, F and D as delegates.

Option 2

That it be recommended to the Board that Application No. 01-I-16RS (PID: 000-222-348) **be denied**, and a partial refund of fees be given in accordance with CVRD Fees and Procedures Bylaw No. 3275.

Option 3

That the Official Community Plan and Zoning Amendment Bylaw for Application No. 01-I-16RS (PID: 000-222-348) **be revised as directed by the Committee.**

Prepared by:

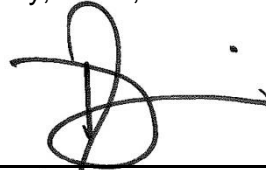
Reviewed by:



Rachelle Rondeau, MCIP, RPP
Planner II



Rob Conway, MCIP, RPP
Manager



Ross Blackwell, MCIP, RPP, A. Ag.
General Manager

ATTACHMENTS:

- Attachment A – November 1, 2017, EASC Staff Report
- Attachment B – Letter from Cowichan Tribes Dated November 23, 2017
- Attachment C – Draft OCP Amendment Bylaw
- Attachment D – Draft Zoning Amendment Bylaw



STAFF REPORT TO COMMITTEE

DATE OF REPORT October 12, 2017

MEETING TYPE & DATE Electoral Area Services Committee Meeting of November 1, 2017

FROM: Development Services Division
Land Use Services Department

SUBJECT: Rezoning Application No. 01-I-16RS (Official Community Plan and Zoning Amendment Application for PID: 000-222-348)

FILE: 01-I-16RS

PURPOSE/INTRODUCTION

The purpose of this report is to consider an Official Community Plan and Zoning Amendment application to permit subdivision of a property on Cowichan Lake into ten 1.0 ha parcels.

RECOMMENDED RESOLUTION

That it be recommended to the Board that Application No. 01-I-16RS (PID: 000-222-348) be denied, and a partial refund of fees be given in accordance with CVRD Fees and Procedures Bylaw No. 3275.

BACKGROUND

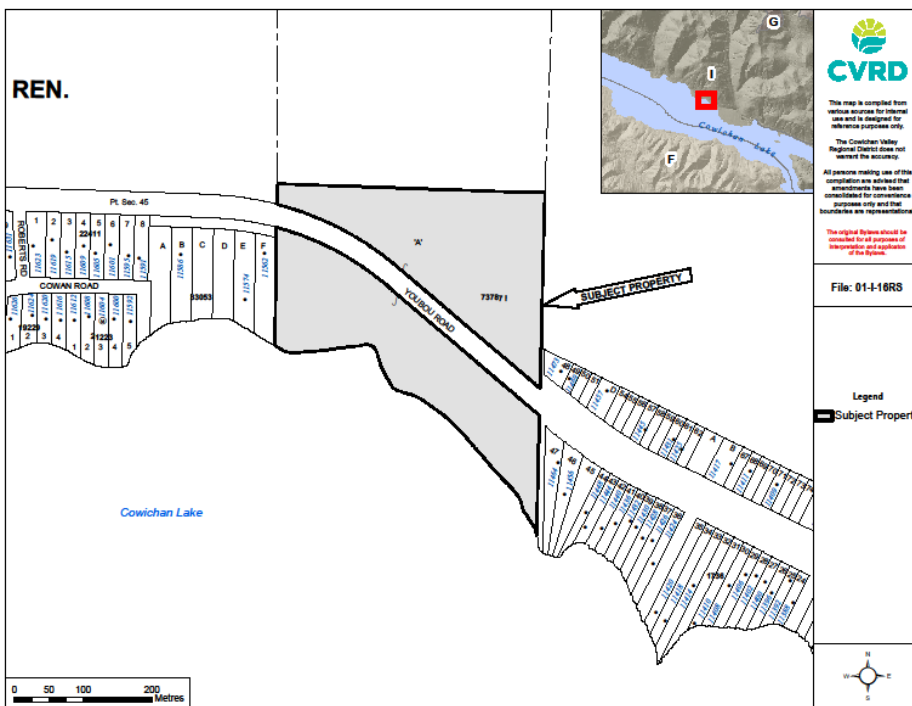
At the June 21, 2017, the following resolution was made upon the applicant's request:

That Item R6, Application No. 01-I-16RS – Report from Development Services Division, be deferred to a future Electoral Area Services Committee meeting.

Since that time, the applicants have conducted additional research with regards to the proposed areas for septic disposal (Attachment C), and have committed to implementing a setback from Cowichan Lake for buildings of 20 metres, which would provide a five metre buffer from the 15 metre Streamside Protection and Enhancement Area (SPEA) established for the property. This is included in the new supplemental information provided by the applicants (Attachment B).

For additional background information, please see Attachment A – Staff Report to June 21, 2017 Electoral Area Services Committee (EASC).

LOCATION MAP



APPLICATION SUMMARY

Proposal Summary:

The applicants propose to subdivide the property into ten 1.0 ha lots that can be used either residentially or recreationally for camping.

In support of their application, they propose the following:

- Payment of \$50,000 at the time of subdivision. Their preference is that these funds be provided to the Electoral Area I Parks Capital Fund, although any funding distribution as determined appropriate by the Board is also acceptable;
- Dedication of a 20 metre wide road allowance at the west end of the parcel pursuant to the subdivision requirements of the *Land Title Act* – the applicants intend to work with the Ministry of Transportation and Infrastructure (BC MoT) and CVRD so that this land can instead be dedicated to the CVRD as parkland;
- Registration of a restrictive covenant protecting the 15 metre Streamside Protection and Enhancement Area (SPEA). The owners propose to remove any currently encroaching structures at the time of subsequent building permit;
- Establishment of a building setback of 20 metres from the high water mark of Cowichan Lake;
- Restrict number of driveway accesses to southern portion of the lot to the current six driveways;
- Locate septic systems on the northern side of the road in order to reduce the concentration of development from the waterfront portions of the proposed parcels. Section 3.10(3) of Zoning Bylaw No. 2465 prohibits these proposed lots from being subdivided along the road as they were not in existence at the time of adoption of the Zoning Bylaw, and they would not be 1 ha on each side (the total area for each proposed lot is 1 ha);
- All docks to be constructed in accordance with most recent Best Management Practices and limit dock size to 400 sq. ft.;
- No fencing, which would allow continued movement of wildlife through the site.

If the application proceeds through the subdivision stage, the applicants propose payment of 5% cash-in-lieu of parkland contribution to satisfy the requirements of Section 510 of the *Local Government Act*.

Prior to adoption of any amendment bylaws, a covenant must be registered on the title securing the amenities and the above-noted development restrictions.

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

Cowichan Tribes has expressed concern that their revised referral response was misinterpreted in the June 21, 2017 staff report and have provided a follow-up email. Please see Attachment D for reference.

Additionally, the applicants have presented concerns that the Park Referral Response was not adequately presented in the original staff report. Please see Attachment E for reference.

The other referral responses are included in Attachment A – Staff Report to June 21, 2017, Electoral Area Services Committee.

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

For reference, please see Attachment A – Staff Report to June 21, 2017, Electoral Area Services Committee.

PLANNING ANALYSIS

A thorough analysis of the Official Community Plan policies, Zoning Bylaw and servicing considerations are presented in Attachment A.

In 2007, the CVRD increased the minimum parcel size of forestry zoned parcels from 20 ha (49 acres) to 80 ha (198 acres) in an effort to maintain large parcels of land for forestry and control the expansion of rural residential uses into forestry areas. Adjacent parcels to the east and west located on the south side (waterside) of the road comprise of historic subdivisions dating from 1918 and 1979 respectively. The subject property on the north side of the road is adjacent to large (approximately 20+ hectares and 80+ hectares) forestry blocks.

In the most recent OCP update for the area in 2004, no allowances were provided to infill forestry-designated parcels with residential development, and an urban containment boundary was established around the more densely populated areas of Youbou as well as the Youbou lands proposed development (Attachment F).

Policy 3.12 states that residential growth will not be encouraged west of the Cottonwood Creek future development area.

Policy 4.1 specifies that *“In order to keep the residential areas as compact as possible, and to maintain rural areas and working resource lands, lands within any residential or tourist recreational commercial designation, including any future residential designations intended to accommodate principal residential uses, are required to be within the Urban Containment Boundary”*

Further, Policy 4.3 *“The Urban Containment Boundary will only be amended through a comprehensive plan review, and not through an amendment application process.”*

For these reasons, it is staff’s opinion, that the Plan policies clearly discourage any form of residential development in the forestry areas outside the urban containment boundary.

Option "1" is recommended.

OPTIONS

Option 1:

That it be recommended to the Board that Application No. 01-I-16RS (PID: 000-222-348) be denied, and a partial refund of fees be given in accordance with CVRD Fees and Procedures Bylaw No. 3275.

Option 2:

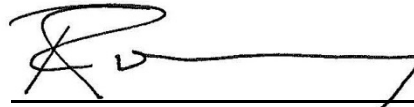
1. That it be recommended to the Board that Zoning and Official Community Plan Amendment Bylaws be drafted for Application No. 01-I-16RS (PID: 000-222-348); and
2. That the draft Amendment Bylaws be referred to the Electoral Area Services Committee for consideration.

Prepared by:

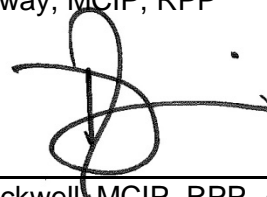
Reviewed by:



Rachelle Rondeau, MCIP, RPP
Planner II



Rob Conway, MCIP, RPP
Manager



Ross Blackwell, MCIP, RPP, A. Ag.
General Manager

ATTACHMENTS:

- Attachment A – Staff Report to June 21, 2017, Electoral Area Services Committee
- Attachment B – Applicant Supplementary Information
- Attachment C – Assessment for Onsite Wastewater Systems
- Attachment D – Cowichan Tribes' Referral Response
- Attachment E – Parks' Referral Response
- Attachment F – Youbou Urban Containment Boundary



STAFF REPORT TO COMMITTEE

DATE OF REPORT June 12, 2017

MEETING TYPE & DATE Electoral Area Services Committee Meeting of June 21, 2017

FROM: Development Services Division
Land Use Services Department

SUBJECT: Official Community Plan and Zoning Amendment Application for
PID: 000-222-348

FILE: 01-I-16RS

PURPOSE/INTRODUCTION

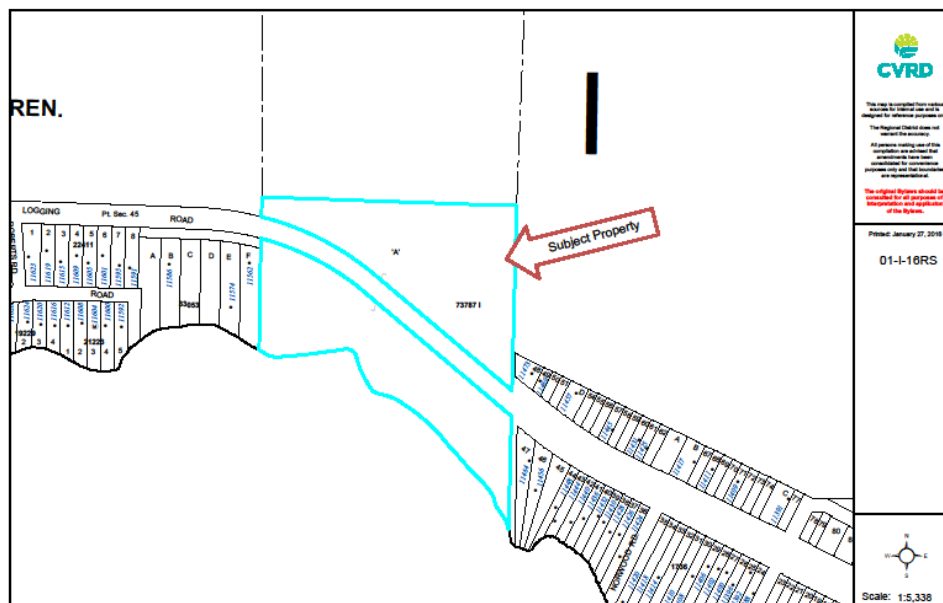
The purpose of this report is to consider an Official Community Plan and Zoning Amendment application to permit subdivision of the property into ten 1.0 ha parcels on Cowichan Lake.

RECOMMENDED RESOLUTION

That it be recommended to the Board that Application No. 01-I-16RS (PID: 000-222-348) be denied, and a partial refund of fees be given in accordance with CVRD Fees and Procedures Bylaw No. 3275.

BACKGROUND

<u>Location:</u>	Approximately 5 km west of Youbou, this section of road is known as North Shore Road and is privately owned
<u>Subject Parcel:</u>	Parcel A (DD 73787 ¹), of Section 45, Renfrew District (PID: 000-222-348)
<u>Owner:</u>	17 owners divided into 10 ownership interests
<u>Size of Land:</u>	Approximately 10 ha (30 acres)
<u>Use of Property:</u>	Recreational - camping
<u>Water:</u>	Proposed onsite
<u>Sewage Disposal:</u>	No approved septic system. On-site disposal consists of pit privies, composting toilet and RV holding tanks. Proposed septic systems
<u>Agricultural Land Reserve:</u>	N/A
<u>Fire Protection:</u>	Youbou Volunteer Fire Department
<u>Existing Plan Designation:</u>	Forestry/Natural Resource
<u>Proposed Plan Designation:</u>	Recreational, Residential
<u>Existing Zoning:</u>	F-1 (Forest Resource)
<u>Proposed Zoning:</u>	Recreational Residential
<u>Environmentally Sensitive Areas:</u>	Cowichan Lake shoreline, two wetlands and stream Declaration Signed – No Schedule 2 uses identified
<u>Contaminated Sites:</u>	None identified
<u>Archaeological Sites:</u>	

LOCATION MAP**APPLICATION SUMMARY****Property Context:**

The subject property is being used recreationally with some of the original owners having used the property since 1963. Over time, new owners have bought interests in the property for camping either in recreational vehicles (RVs) or small cabins.

Currently, ownership of the property is divided into 10 interests operating in a cooperative agreement for use and entitlement to the property. There is concern among the owners that this model of joint ownership is not sustainable in the long-term.

The applicant indicates that in the late 1920's, a former owner cleared portions of the property for farming, and the property has been in various states of residential or recreational use since then. (See Attachment F).

Currently, portions of the property are cleared areas where camping occurs, and there are some forested areas. The shoreline has been modified as a result of the recreational use, and there are multiple access points to the lake. Sections of the shoreline have intact riparian vegetation.

Adjacent properties on the west are full-time residences or recreational properties, to the east are privately owned properties and the Pine Point Recreation Site/Campground, and to the north are forestry lands. There are currently six driveways onto the property from North Shore Road, which is a private road.

A Riparian Areas Regulation Assessment has been prepared which identifies Streamside Protection and Enhancement Areas (SPEAs) for the two wetlands, streams/ditches and the lakeshore. The portion of the property north of North Shore Road is forested.

Proposal Summary:

The applicants propose to subdivide the property into ten 1.0 ha lots that can be used either residentially or recreationally for camping.

In support of their application, they propose the following:

- Payment of \$50,000 at the time of subdivision to the Electoral Area I Nature and Habitat Trust Fund or Electoral Area I Parks Capital Fund (funding distribution to be determined by the Regional Board);
- Dedication of a 20 metre wide road allowance at the west end of the parcel pursuant to the subdivision requirements of the *Land Title Act* – the applicants intend to work with the Ministry of Transportation and Infrastructure (BC MoT) so that this land can instead be dedicated to the CVRD as parkland;
- Compliance with the 15 metre Streamside Protection and Enhancement Area (SPEA). The owners propose to remove any encroaching structures at the time of subsequent building permit;
- Restrict number of driveway accesses to southern portion of the lot to the current six driveways;
- All docks to be constructed in accordance with most recent Best Management Practices and limit dock size to 400 sq ft;
- No fencing, which would allow continued movement of wildlife through the site.

If the application proceeds through the subdivision stage, the applicants propose payment of 5% cash-in-lieu of parkland contribution to satisfy the requirements of Section 510 of the *Local Government Act*.

Prior to adoption of any amendment bylaws, a covenant must be registered on the title securing the amenities, the above-noted development restrictions, and outlining acceptance of cash-in-lieu of parkland for Section 510 of the *Local Government Act*.

COMMISSION / AGENCY / DEPARTMENTAL CONSIDERATIONS

The Electoral Area I Advisory Planning Commission recommends approval of the application (see Attachment G).

Additionally, this application has been referred to the following agencies for comment:

- Island Health – *See attached*
- Ministry of Transportation & Infrastructure – *See attached*
- School District 79 – *No comments*
- Ministry of Forests Lands & Natural Resource Operations – *No comments*
- Cowichan Tribes – *Originally opposed the proposal, subsequently met with the applicants and resolved a list of conditions if development is to proceed.*
- Town of Lake Cowichan – *No comments*
- RCMP (Lake Cowichan Detachment) – *As attached. Concerns that unofficial access is over a private road and official access is via water access only, which could prevent timely access to emergencies.*
- Lake Cowichan First Nation – *No comments*
- Ditidaht First Nation – *No comments*
- Youbou Volunteer Fire Department – *No comments*
- CVRD Parks & Trails Division – *The protection of the riparian zone is imperative; at least one lot should be set aside for park dedication; in addition there should be a funding contribution to the Area I Nature and Habitat Fund established for Cowichan Lake.*
- CVRD Public Safety Division – *See attached. Concerns regarding timely delivery of*

emergency services. All accesses must be designed and constructed to allow access to emergency vehicles.

- CVRD Facilities & Transit Division – *No opportunity for transit given the density and remote location.*
- CVRD Engineering Services Department – *No comments*

OFFICIAL COMMUNITY PLAN/POLICY CONSIDERATIONS

An excerpt from the Official Community Plan (OCP) is attached outlining policies that pertain to lands designated as Forestry/Natural Resource, and the Residential land use policies.

On the south side of North Shore Road, the subject property is bound on the west and east by two historic subdivisions created in 1964-1979 and 1918 respectively. To the north of the road, the property is contiguous with large forestry blocks owned by the Crown (northwest of the subject property) and privately held (on the northeast of the subject property).

The policies of the plan intend to support a long-term land base for resource extraction activities such as logging. The policies also encourage conservation, protection of environmentally sensitive areas, and outdoor wilderness recreation.

Despite the historic subdivisions in the area that pre-date the CVRD and land use bylaws, Policy 3.12 of the OCP strongly discourages residential development west of Cottonwood Creek (near the Youbou Lands development at the western edge of Youbou), citing such potential impacts as:

- green space fragmentation;
- impacts to wildlife habitat;
- reduction of the working land base for resource extraction;
- increased vehicle traffic on a private road;
- increased development pressures on the shoreline and Cowichan Lake; and
- negative effects on the forestry-residential interface.

In this case, large forestry operations would not be well-suited to the southern portion of the property because of its connection with the Cowichan Lake shoreline, and the adjacent subdivisions. However, the north side of the road being contiguous with large blocks of forestry land is also not suited to residential/recreational development. A decision was made in developing the OCP to designate even the smaller adjacent subdivisions as “Forestry” to acknowledge that they are not within the area generally prescribed for residential use, and not accessible by public road.

Residential objectives of the Plan are found in Section 4 of the Plan, and these include:

- Locating residential development away from environmentally sensitive areas and forestry lands;
- Avoiding urban sprawl by locating residential development in and adjacent to Youbou and existing residential lands;
- Reducing auto dependency;
- Establishing/maintaining buffers between residential and forestry lands;
- Locating residential development within the urban containment boundary.

Furthermore, the Plan dictates that any land designated residential will not be located outside the urban containment boundary, and that only through a comprehensive plan revision will the urban containment boundary be modified – not on an individual application basis.

In considering further designation of lands for residential purposes, Policy 4.4 of the OCP states that the Regional Board will give preference to the following:

- (a) *The proposed residential development will be located within the Urban Containment Boundary;*
- (b) *Residential development will be encouraged to provide for buffering between the residence and the Cowichan Lake shoreline;*
- (c) *Lands designated for residential use will be required to locate adjacent to existing residential subdivisions;*
- (d) *Lands designated for residential uses will be required to locate in close proximity to community amenities and services; and*
- (e) *Lands designated for residential use will be encouraged to connect to existing community water systems and community sewer systems.*

Zoning and Use of the Property:

The current zoning of the subject lands is F-1 (Forest Resource), which permits the following principal and accessory uses:

Principal	Accessory
Agriculture	Bed and Breakfast accommodation
Silviculture	Accessory buildings
Single family dwelling	Home-based business

Under existing zoning, one dwelling is permitted on the subject property. Camping and seasonal dwellings are not permitted, although there may be a claim of legal non-conforming status for some degree of recreational use given the historic use of the property.

Servicing

Policy 11.16 of the Official Community Plan states that new subdivisions should not be permitted in areas rated as high or extreme for interface wildfire hazard. The subject property is rated as “Extreme” for fire hazard.

Fire protection is provided by the Youbou Volunteer Fire Department.

The majority of the road to the subject property is owned by TimberWest; therefore, there is no access to a public road, and legal access to the subdivision would be via water access only.

As outlined in the referral response provided by the RCMP, responding to emergencies in this area is extremely challenging, and the addition of increased summer population will only exacerbate the problem. As the road to the site is privately owned, access could be restricted at any time, and the RCMP has concerns that “water access only” will restrict timely access for emergencies.

PLANNING ANALYSIS

Under the current proposal, the most likely scenario is that the intensive uses of land will occur on the waterfront portion of the lots, with the property on the north side of North Shore Road remaining unused.

If this application proceeds, having the properties hooked across the road is not ideal, and there could be other configurations that provide better protection for the lake. These have been explored with the applicants, but the attached site plan illustrates their preferred lot configuration, which would see the ten individual interests in the property divided equally among the membership.

There is growing demand for recreational properties and lake access which has prompted an increase in development in certain areas along Cowichan Lake. Changes in the forestry sector have resulted in sales of large tracts of land to owners for non-forestry uses.

In 2007, the CVRD increased the minimum parcel size of forestry zoned parcels from 20 ha (49 acres) to 80 ha (198 acres) in an effort to maintain large parcels of land for forestry and control the expansion of rural residential uses into forestry areas.

The *Cowichan Lake Shoreline Habitat Assessment: Foreshore Inventory and Mapping Project*¹ identified the primary land use around the lake at 48% as forestry followed by single family development at 30.5%. However, the report notes that 64% of the disturbance to the shoreline of Cowichan Lake is in areas where single family development predominates.

The direction in the OCP is that residential development should not occur beyond Cottonwood Creek, that subdivision should not occur in areas rated “High” or “Extreme” for fire hazard, and that lands designated residential should be in close proximity to community amenities and services and away from environmentally sensitive areas and forestry areas.

Until such time as public road access is provided for these properties, they should remain in a forestry designation, and further subdivision should not be permitted.

Strictly speaking, Policy 3.12 and 4.4 of the OCP apply to residential development. The applicants have indicated that the proposed subdivision would be primarily recreational in the near future, but also request zoning that would allow permanent single family homes. Despite whether it is recreationally used or residential, many of the same impacts and issues arise. For example, both residential and the proposed recreational development involve the construction of sewer and water infrastructure, roads, and permanent structures.

If the Committee is inclined to approve this application, OCP amendments to Policy 3.12 and Section 4 (Residential designations) are required. The Committee should also consider whether this application justifies amending Policy 4.3 “*The Urban Containment Boundary will only be amended through a comprehensive plan review, and not through an amendment application process.*”

In staff’s opinion, the Policies within the Plan clearly discourage any form of residential development in the forestry areas beyond Youbou lands.

Option “1” is recommended.

OPTIONS

Option 1:

That it be recommended to the Board that Application No. 01-I-16RS (PID: 000-222-348) be denied, and a partial refund of fees be given in accordance with CVRD Fees and Procedures Bylaw No. 3275.

Option 2:

1. That it be recommended to the Board that Zoning and Official Community Plan Amendment Bylaws be drafted for Application No. 01-1-16RS (PID: 000-222-348).
2. That the draft Amendment Bylaws be referred to the Electoral Area Services Committee for consideration.

¹ British Columbia Conservation Foundation prepared for Fisheries and Oceans Canada. “Cowichan Lake Shoreline Habitat Assessment: Foreshore Inventory and Mapping P 170 Volume I – Report”. October 2012.

Prepared by:

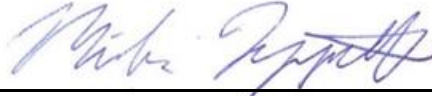


Rachelle Rondeau, MCIP, RPP
Planner II

Reviewed by:



Rob Conway, MCIP, RPP
Manager



Mike Tippett, MCIP, RPP
A/General Manager

ATTACHMENTS:

- Attachment A – Zoning Map
- Attachment B – Orthophoto Map
- Attachment C – Wildfire Hazard Map
- Attachment D – Revised Site Plan
- Attachment E – Riparian Areas Regulation Assessment
- Attachment F – Applicant’s History on Carley Cove Property
- Attachment G – Advisory Planning Commission Minutes
- Attachment H – Referral Agency Comments
- Attachment I – OCP Excerpt, Bylaw No. 2650
- Attachment J – Zoning Excerpt, Bylaw No. 2465

REN.

F-1

ATTACHMENT A



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

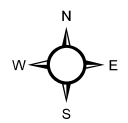
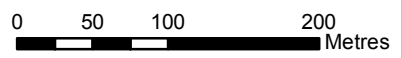
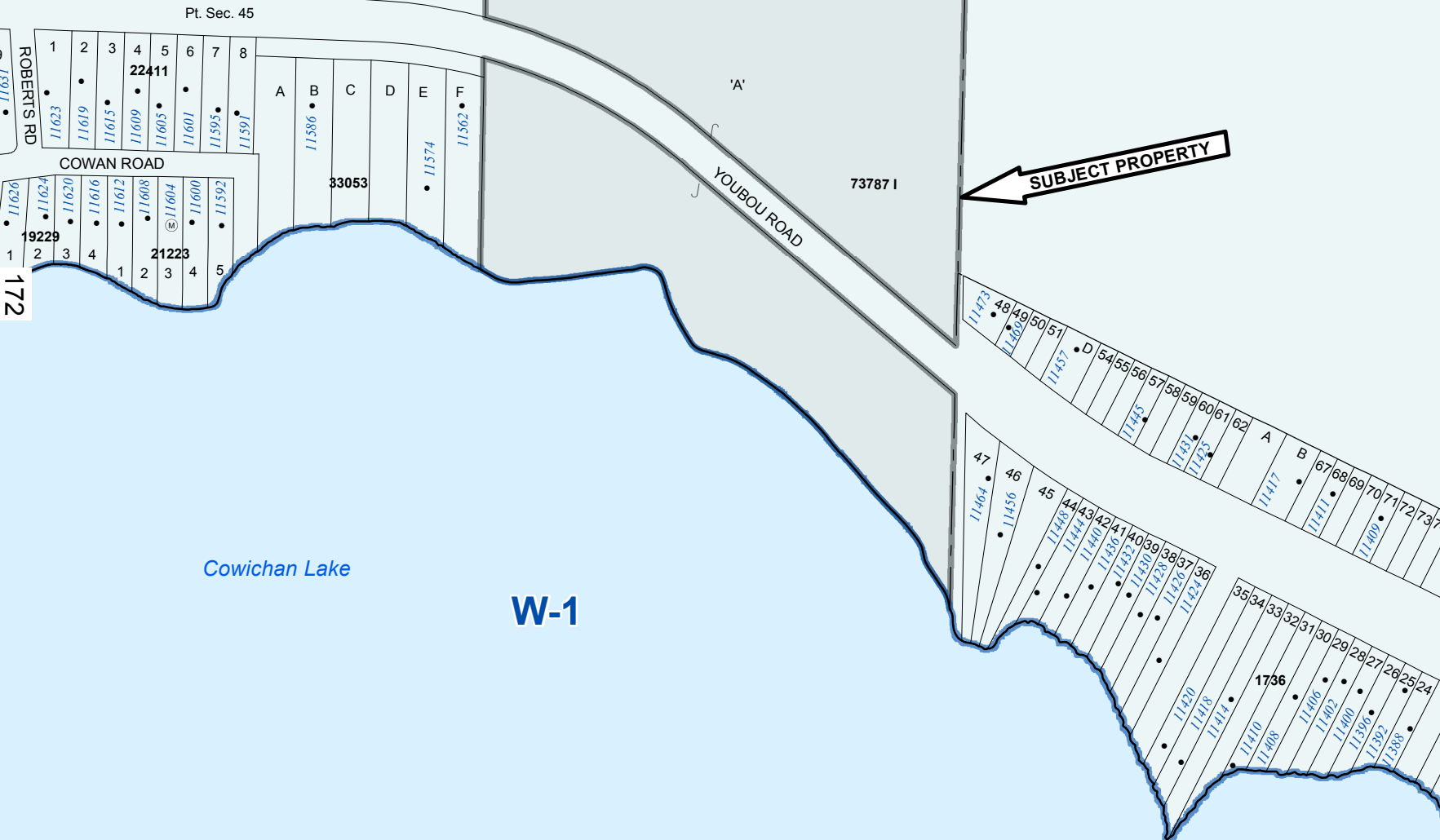
The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-I-16RS

ZONING

Legend

- Subject Property
- Zoning I



R5



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

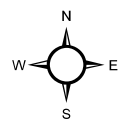
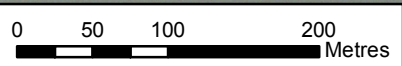
The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-I-16RS

**Orthophoto
(2008)**



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R5



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Cowichan Valley Regional District does not warrant the accuracy.

All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

File: 01-I-16RS

Urban Wildfire Hazard Interface

Legend

Subject Property

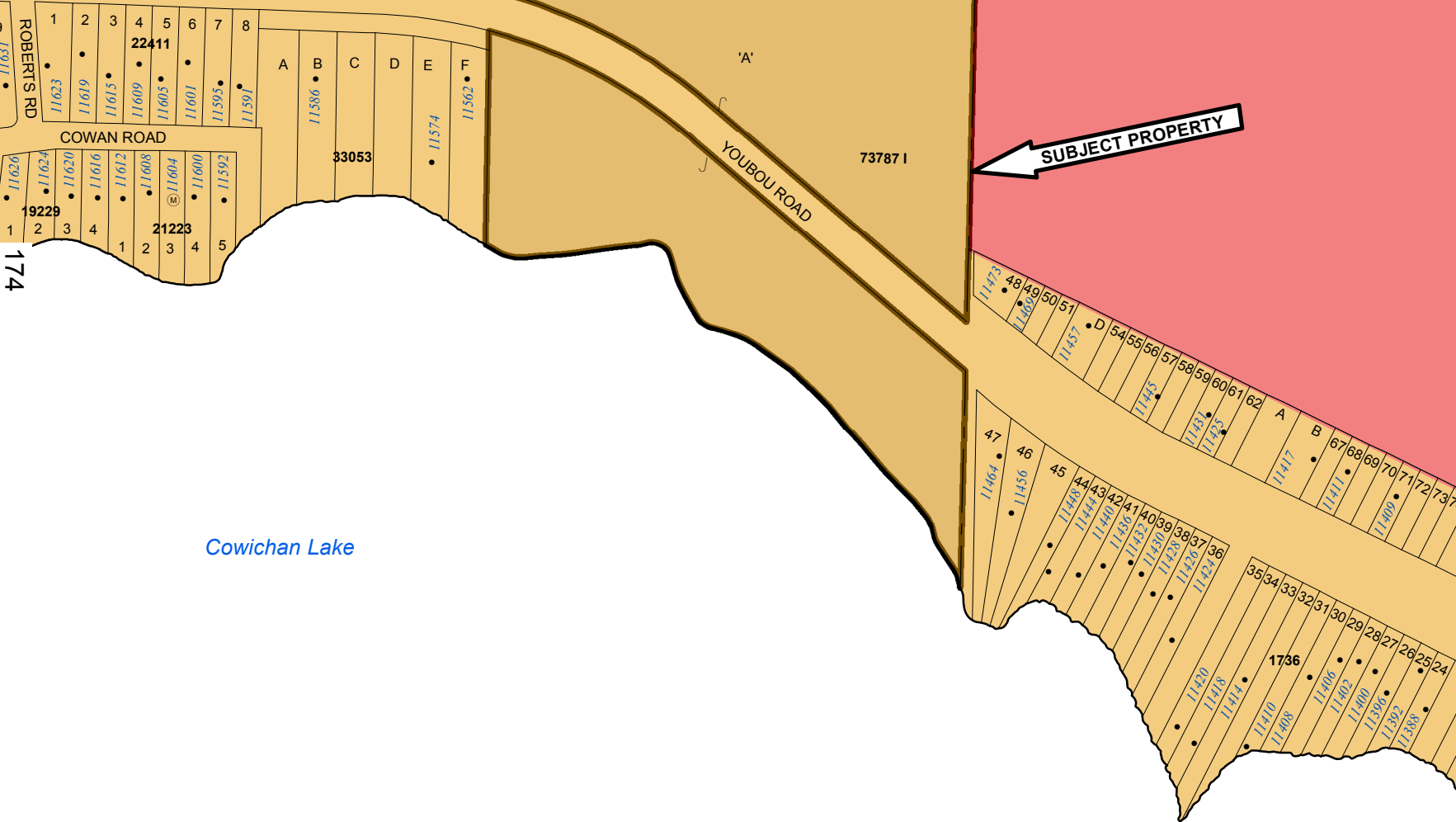
Hazard Level

High

Extreme

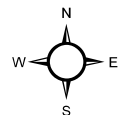
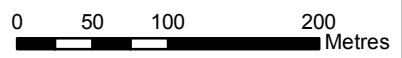
REN.

Pt. Sec. 45



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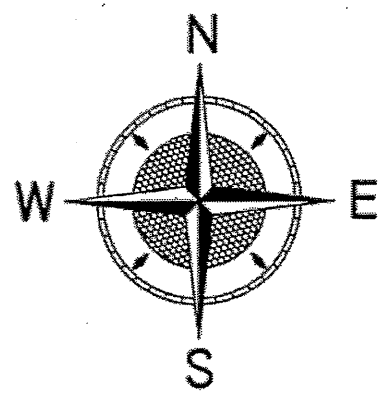
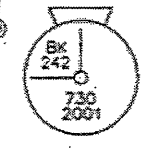
Cowichan Lake



R5

SECTION 45

BLOCK 242



CNR R/W PLAN 1210 O.S.

PLAN 33053

BLOCK 1394

AREAS:

LOTS A TO E	11.053 HA
ROAD DEDICATION	0.603 HA
CNR RAILROAD	1.415 HA
TOTAL	13.071 HA

PLAN OF PROPOSED SUBDIVISION

OF PARCEL A (DD 73787-I), SECTION 45,
 RENFREW DISTRICT, LOCATED IN COWICHAN LAKE DISTRICT,
 EXCEPT CNR RIGHT OF WAY PLAN 1210 O.S.



LEGEND

- Bearings are astronomic and were derived from plan 33053.
- OIPipe denotes iron pipe found
 - OIP denotes iron post found
 - ⊙ PP denotes standard pipe post found
 - denotes 1/4" rebar set
 - ⊗ denotes B" spike set

COWICHAN LAKE

CARLEY COVE

HWM surveyed June 18, 2002

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report

Riparian Areas Regulation: Assessment Report

Please refer to submission instructions and assessment report guidelines when completing this report.

Date 2015-09-03

I. Primary QEP Information

First Name	Justin	Middle Name		
Last Name	Lange			
Designation	R.P.Bio.	Company Madrone Environmental Services Ltd.		
Registration #	2406	Email Justin.lange@madrone.ca		
Address	1081 Canada Avenue			
City	Duncan	Postal/Zip	V9L 1V2	Phone # 250 746 5545
Prov/state	BC	Country	Canada	

II. Secondary QEP Information (use Form 2 for other QEPs)

First Name		Middle Name		
Last Name				
Designation		Company		
Registration #		Email		
Address				
City		Postal/Zip		Phone #
Prov/state		Country		

III. Developer Information

First Name	Craig	Middle Name		
Last Name	Gibson			
Company				
Phone #	(250) 709-1888	Email: craiggibsondesign@telus.net		
Address	P.O. Box 98			
City	Westholme	Postal/Zip	V0R 3C0	
Prov/state	BC	Country	Canada	

IV. Development Information

Development Type	Subdivision		
Area of Development (ha)	11.29	Riparian Length (m)	1061
Lot Area (ha)	11.29	Nature of Development	New
Proposed Start Date	2015-08-015	Proposed End Date	2016-08-15

V. Location of Proposed Development

Street Address (or nearest town)	Parcel A – North Shore Road		
Local Government	Cowichan Valley Regional District	City	Youbou
Stream Name	Cowichan Lake		
Legal Description (PID)	000-222-348, Parcel A, Section 45, Renfrew District, located in Cowichan Lake District	Region	1
Stream/River Type	Lake	DFO Area	South Island
Watershed Code	920-257700		
Latitude	48	53	30.96
Longitude	124	16	23.61

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Section 1. Description of Fisheries Resources Values and a Description of the Development proposal

(Provide as a minimum: Species present, type of fish habitat present, description of current riparian vegetation condition, connectivity to downstream habitats, nature of development, specific activities proposed, timelines)

Nature of Development/Specific Activities:

A proposal to rezone and subdivide Parcel A, North Shore Road, has been developed by the multiple landowners. Under the provincial Riparian Areas Regulation (RAR) process, subdivision is considered to be a form of “development” and in this case is the trigger for an assessment. An assessment is necessary as a portion of the subject property is encompassed within the 30 m Riparian Assessment Area (RAA) of Cowichan Lake. Also, portions of the the property are encompassed within the 30 m RAAs of two wetlands, one stream and three ditches (refer to site plan). The first phase of the proposal is to rezone the property from the current Forestry (F-1) designation to a Residential (R) type zoning designation. The second phase involves subdividing the 11.29 ha property into 9 single family lots, ranging in size from 1.05 ha to 1.20 ha. The assessment area is located approximately 5 km northwest of the Town of Youbou, on the northern shore of Cowichan Lake.

Currently, several families use the property recreationally from the period of May – October. During this time, travel trailers are transported to the site to provide accommodation. In addition, there are several construction footprints on site including sheds, gravel access roads and floating docks.

Fisheries Resource Values in Cowichan Lake:

Prior to conducting the field portion of the assessment, background research was conducted to gain a better understanding of fish distribution within and adjacent to the assessment area. Review of the Habitat Wizard (<http://maps.gov.bc.ca/ess/sv/habwiz/>) database determined that the subject ditches, streams and wetlands are un-gazetted and have no known fish occurrences. However, these waterbodies are tributaries of Cowichan Lake, which represents a significant fishery resource value.

Anadromous salmonids known to occur in Cowichan Lake include Steelhead (*Oncorhynchus mykiss*), Chinook Salmon (*Oncorhynchus tshawytscha*), Coho Salmon (*Oncorhynchus kisutch*) and Chum Salmon (*Oncorhynchus keta*). These salmonids migrate from the ocean, up the Cowichan River and into Cowichan Lake, at which point they enter various tributary streams of the lake in order to spawn. Resident forms of both Rainbow Trout (*Oncorhynchus mykiss*) and Cutthroat Trout (*Oncorhynchus clarkii clarkii*) also exist in the lake and tributary streams. Brown Trout (*Salmo trutta*), Dolly Varden Char (*Salvelinus malma*) and Lake Lamprey (*Lampetra macrostoma*) also exist in Cowichan Lake. Protected under the *Species at Risk Act* (SARA), the

Cowichan Lake Lamprey is completely endemic to Cowichan and Mesachie Lakes. Cowichan Lake Lamprey spawn in shallow water where creeks flow out into the lakes, where the substrate is suitable (small gravel).

Description of Riparian Area and Fish Habitat Attributes:

Cowichan Lake Riparian Zone

The topography of the property within 30 m of Cowichan lake is relatively subdued, with a gradient of 2-5%. Due to historical anthropogenic use, limited functioning riparian vegetation exists in several areas within the 30 m RAA. The areas lacking riparian vegetation coincide with the portions of the property that have been historically used for camping. The camp sites are composed mainly of manicured lawn. Beyond the limits of the campsites, riparian vegetation is abundant and contributing to the overall health of the riparian zone by providing bank stability and nutrient input (*i.e.*, litter fall and insect drop).

Along the immediate foreshore of the lake, hydrophytic vegetation is abundant. However, due to the drought conditions that persisted in the months prior to the assessment, water levels in the lake were extremely low and vegetation along the foreshore was exposed. When the water levels within the lake are higher, the foreshore of the subject property represents ideal rearing habitat for juvenile salmonids. The vegetation provides refuge habitat from predators and the shallow shoal provides an abundant source of feeding opportunities for fish as it is likely a breeding ground for insects.

For a list of vegetation within the 30 m RAA and along the foreshore of Cowichan Lake, refer to Table 1.

Table 1. Foreshore Riparian Area Native Vegetation Species List

Common Name	Scientific Name
Trees	
Red alder	<i>Alnus rubra</i>
Shrubs	
Hardhack	<i>Spiraea douglasii</i>
Sweet gale	<i>Myrica gale</i>
Willows	<i>Salix spp.</i>
Salmonberry	<i>Rubus spectabilis</i>
Trailing blackberry	<i>Rubus ursinus</i>
Pacific ninebark	<i>Physocarpus capitatus</i>
Herbs	
Sedges	<i>Carex spp.</i>
Common rush	<i>Juncus effusus</i>
Sword fern	<i>Poystichum munitum</i>

The portion of the property from the 164 m elevational contour (high water mark – HWM), up to North Shore Road possesses topography that is subdued. The gradient

of this portion of property ranges between 4% and 8%, but short slopes in excess of 10% were also noted. Throughout this portion of the property, mature forested ecosystems dominate, but 2 wetlands, 3 ditches and 1 stream were also noted to occur within proposed Lot C, Lot D and Lot E (refer to site plan).

Wetland 1

Wetland 1, which is consistent with a seasonally flooded/fluctuating water table site, occurs in the southwest portion of the property and is approximately 25 m wide and 40 m long. A gravel access road runs in a north-south direction adjacent to the wetland. At the time of the assessment there was no water observed within the fluctuating water table site, likely a result of the persisting drought conditions. Throughout the wetland, the substrate is composed entirely of organic soil (decomposing leaf litter and woody debris). The tree layer adjacent to and within the fluctuating water table site is composed entirely of red alder (*Alnus rubra*). Shrub growth in and around Wetland 1 is composed mainly of salmonberry (*Rubus spectabilis*) and trailing blackberry (*Rubus ursinus*). Herb growth was observed as being abundant, and composed of common horsetail (*Equisetum arvense*), slough sedge (*Carex obnupta*), common rush (*Juncus effuses*) and sword fern (*Polystichum munitum*).

Stream 1

During the assessment, it was determined that Wetland 1 connects to Cowichan Lake by a drainage (Stream 1) that emerges from the western end of the wetland. At the outlet of the wetland, the stream flows under the gravel access road that leads to proposed Lot D and Lot E. Over its length, Stream 1 ranges between 0.40 m and 1.10 m and possesses an average gradient of 2%. The stream bed is composed mainly of organic material, however small alluvium in the form of sand and pea gravel was observed. Based on the channel morphology, Stream 1 is most consistent with that of a riffle-pool system. At the time of the assessment water was observed flowing in sections of the drainage, albeit minimal. Based on the lack of precipitation prior to the assessment, it is most likely that the area possesses an abundant source of groundwater.

Based on the dominance of organic substrate, lack of flow during the summer months and the fact that a portion of the stream flows subsurface, under a large root system it is unlikely fish inhabit the stream. The stream does, however, connect by surface flow to Cowichan Lake and contributes to the lake ecosystem by providing nutrient input.

Ditch 1

Ditch 1 flows adjacent to a gravel access road for approximately 40 m and enters Wetland 1 in the northwest corner. At the time of the assessment, it was difficult to discern the channel as it was overgrown with common horsetail. Over the assessed length, the stream bed is composed entirely of organic material and the bankfull width ranges between 0.40 m and 0.70 m. The gradient of the ditch is on average 3%.

Wetland 2

Wetland 2 is located in the western-most portion of proposed Lot C and is approximately 15 m wide by 20 m long. This feature is representative of a seasonally wetted/fluctuating water table site. Given this, no water was observed in Wetland 2 during the assessment. Throughout this area the substrate is composed of organic materials. Within the wetland common horsetail and common rush growth is dense. Adjacent to Wetland 2, tree growth is lacking due to clearing and logging that has occurred in the past, but several young regenerating red alder saplings were observed while traversing the area.

Ditch 2

Ditch 2 represents an outlet drainage, and flows from of the southern end of Wetland 2. The ditch flows adjacent to a gravel access road for approximately 20 m at which point it turns to a southerly direction of flow, under the gravel road and into Cowichan Lake. The ditch was excavated adjacent to a gravel access road to alleviate any potential issues related to stormwater runoff. Over the assessed area, the gradient of the ditch is on average 2%. The bankfull width of the ditch ranges between 0.30 m and 0.70 m. The upper portion of the ditch is fully vegetated with grasses (*Poa spp.*) and common rush. At the point where the ditch flows into Cowichan Lake, the riparian zone is overgrown with Himalayan blackberry (*Rubus discolor*). Ditch 2 possesses an ephemeral flow regime and it is likely that it only contains water after periods of prolonged rain. Due to the channel morphology and seasonal flow regime, Ditch 2 does not support any fish life processes. The ditch does, however, contribute water flow and nutrients to the lake ecosystem.

Ditch 3

Ditch 3 represents a man-made drainage that was constructed to direct stormwater runoff into Cowichan Lake. The ditch originates in the west-central portion of proposed Lot C and runs in a southerly direction, parallel to a gravel access road and into Cowichan Lake. On average, the gradient of the ditch is approximately 4% and the bankfull width between 0.80 m and 1.50 m. Ditch 3 possesses an ephemeral flow regime and based on the fact leaves had accumulated and vegetation was observed growing in the ditch at the time of the assessment, the drainage has not contained water for a prolonged period of time. Vegetation growth in the ditch is mainly represented by herb species such as sword fern, vanilla-leaf and grasses. Shrub species noted in the ditch at the time of the assessment included trailing blackberry and salmonberry. Ditch 3 does not represent fish habitat due to the fact it possesses a seasonal flow regime and lacks channel characteristics to support the life processes of fish. Given this the ditch does connect to Cowichan Lake via surface flow and contributes nutrients and water flow to the lake ecosystem.

Non-classified Drainage

This drainage originates from the roadside ditch adjacent to North Shore Road. Runoff is directed under North Shore Road and onto proposed Lot E. In the north-central portion of the lot, surface flow ceases and the drainage takes on a subsurface flow regime. Channel definition south of North Shore Road is lacking. It appeared as though the channel had been altered as drain rock was applied to an area immediately south of the road. The drain rock likely encourages subsurface flow. This drainage does not connect to fish habitat by surface flow and therefore the RAR does not apply.

The portion of the property north of the road did not appear to contain any RAR classified drainages. The topography steepens and in some areas the gradient was noted to be between 20% and 30%. Throughout this portion of the property mature forested ecosystems dominate, but it should be noted that young regenerating deciduous tree species were noted as being abundant. Table 2 represents a list of vegetation associated with the riparian zones of Stream 1, Ditch 1, Ditch 2, Ditch 3, Wetland 1 and Wetland 2. In addition, the following list of vegetation takes into account the dominate species observed north of North Shore Road.

Table 2. Upland Riparian Area Vegetation Species List

Common Name	Scientific Name
Trees	
Bigleaf maple	<i>Acer macrophyllum</i>
Red alder	<i>Alnus rubra</i>
Western hemlock	<i>Tsuga heterophylla</i>
Western redcedar	<i>Thuja plicata</i>
Shrubs	
Oceanspray	<i>Holodiscus discolor</i>
Salal	<i>Gaultheria shallon</i>
Trailing blackberry	<i>Rubus ursinus</i>
Salmonberry	<i>Rubus spectabilis</i>
Herbs	
Sedges	<i>Carex spp.</i>
Sword fern	<i>Polystichum munitum</i>
Bracken fern	<i>Pteridium aquilinum</i>
Vanilla-leaf	<i>Achlys triphylla</i>
Common rush	<i>Juncus effusus</i>
Common horsetail	<i>Equisetum arvense</i>
Herb-Robert	<i>Geranium robertianum</i>
False lily-of-the-valley	<i>Maianthemum dilatatum</i>

Section 2. Results of Riparian Assessment (SPEA width)

Attach or insert the Form 3 or Form 4 assessment form(s). Use enough duplicates of the form to produce a complete riparian area assessment for the proposed development

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: 2015-09-03

Description of Water bodies involved (number, type)

Cowichan Lake

Stream	
Wetland	
Lake	X
Ditch	
Number of reaches	n/a
Reach #	n/a

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point			I, Justin Lange, hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream			
downstream			
Total: minus high /low mean			
Channel Type	R/P	C/P	S/P

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Justin Lange</u> , hereby certify that: a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; b) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; c) I have carried out an assessment of the development proposal and

my assessment is set out in this Assessment Report; and
 d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Polygon No:

SPVT Type:

LC	SH	TR
<input type="text"/>	<input type="text"/>	X

Method employed if other than TR

Polygon No:

SPVT Type:

LC	SH	TR
<input type="text"/>	<input type="text"/>	<input type="text"/>

Method employed if other than TR

Polygon No:

SPVT Type:

<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>

Method employed if other than TR

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	15						
Litter fall and insect drop ZOS (m)	15						
Shade ZOS (m) max	30	South bank	Yes	<input type="text"/>	No	X	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)						
Ditch Fish Bearing	Yes	<input type="text"/>	No	<input type="text"/>	If non-fish bearing insert no fish bearing status report		
SPEA maximum	15 m	(For ditch use table3-7)					

I, Justin Lange, hereby certify that:

- I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: 2015-09-03

Description of Water bodies involved (number, type)

Wetland 1

Stream	
Wetland	X
Lake	
Ditch	
Number of reaches	n/a
Reach #	n/a

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point			I, Justin Lange, hereby certify that: e) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; f) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream			
downstream			
Total: minus high /low mean			
Channel Type	R/P	C/P	

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Justin Lange</u> , hereby certify that: e) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; f) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
Polygon No:			Method employed if other than TR

SPVT Type	LC	SH	TR	
			X	
Polygon No:		Method employed if other than TR		
SPVT Type	LC	SH	TR	
Polygon No:		Method employed if other than TR		
SPVT Type				

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	15					
Litter fall and insect drop ZOS (m)	15					
Shade ZOS (m) max	30	South bank	Yes	X	No	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes	No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	30 m	(For ditch use table3-7)				

I, Justin Lange, hereby certify that:

- e) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- f) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- g) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- h) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology	Date:	2015-09-03
Description of Water bodies involved (number, type)	Wetland 2	
Stream		
Wetland	X	

Lake	<input type="text"/>
Ditch	<input type="text"/>
Number of reaches	n/a
Reach #	n/a

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)	
starting point	<input type="text"/>	<input type="text"/>	I, Justin Lange, hereby certify that: i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; j) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	<input type="text"/>	<input type="text"/>	
	<input type="text"/>	<input type="text"/>	
	<input type="text"/>	<input type="text"/>	
downstream	<input type="text"/>	<input type="text"/>	
	<input type="text"/>	<input type="text"/>	
	<input type="text"/>	<input type="text"/>	
	<input type="text"/>	<input type="text"/>	
Total: minus high /low	<input type="text"/>	<input type="text"/>	
mean	<input type="text"/>	<input type="text"/>	
	R/P	C/P	S/P
Channel Type	<input type="text"/>	<input type="text"/>	<input type="text"/>

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons	<input type="text"/>	X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Justin Lange</u> , hereby certify that: i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; j) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
Polygon No:	<input type="text"/>		Method employed if other than TR
SPVT Type	LC	SH	TR
	<input type="text"/>	<input type="text"/>	X
Polygon No:	<input type="text"/>		Method employed if other than TR

SPVT Type	LC	SH	TR	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Polygon No:	<input type="checkbox"/>			Method employed if other than TR
SPVT Type	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	15					
Litter fall and insect drop ZOS (m)	15					
Shade ZOS (m) max	30	South bank	Yes	X	No	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes		No		If non-fish bearing insert no fish bearing status report	
SPEA maximum	30 m	(For ditch use table3-7)				

I, Justin Lange, hereby certify that:

- i) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- j) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- k) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- l) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date:

Description of Water bodies involved (number, type)

Stream	<input checked="" type="checkbox"/>
Wetland	<input type="checkbox"/>
Lake	<input type="checkbox"/>
Ditch	<input type="checkbox"/>
Number of reaches	1
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

Channel Width(m)		Gradient (%)	
starting point	0.60	1	I, Justin Lange, hereby certify that: m) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; n) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; o) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and p) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	0.90		
	0.40		
	0.80		
	1.10		
downstream	0.60	3	
	0.40		
Total: minus high /low mean	0.69	2	
	R/P	C/P	S/P
Channel Type	X		

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes
	I, <u>Justin Lange</u> , hereby certify that: m) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; n) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; o) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and p) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.		
Polygon No:	<input type="text"/>		Method employed if other than TR
SPVT Type	LC	SH	TR
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Polygon No:	<input type="text"/>		Method employed if other than TR
SPVT Type	LC	SH	TR
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Polygon No:	<input type="text"/>		Method employed if other than TR

SPVT Type				

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	10					
Litter fall and insect drop ZOS (m)	10					
Shade ZOS (m) max	2.07	South bank	Yes	X	No	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes	No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	10 m	(For ditch use table3-7)				

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	10					
Litter fall and insect drop ZOS (m)	10					
Shade ZOS (m) max	2.07	South bank	Yes		No X	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes	No	If non-fish bearing insert no fish bearing status report			
SPEA maximum	10 m	(For ditch use table3-7)				

I, Justin Lange, hereby certify that:

- m) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- n) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- o) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- p) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: 2015-09-03

Description of Water bodies involved (number, type)

Ditch 1

Stream	
Wetland	
Lake	
Ditch	X
Number of reaches	1
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)	Gradient (%)		
starting point	0.40	2	I, Justin Lange, hereby certify that: q) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; r) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; s) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and t) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
upstream	0.70			
	0.60			
	0.50			
downstream		4		
Total: minus high /low mean	0.55	3		
	R/P	C/P		S/P
Channel Type				

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes I, <u>Justin Lange</u> , hereby certify that: q) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; r) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; s) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and t) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
Polygon No:			Method employed if other than TR

SPVT Type	LC	SH	TR	
			X	
Polygon No:		Method employed if other than TR		
SPVT Type	LC	SH	TR	
Polygon No:		Method employed if other than TR		
SPVT Type				

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	5					
Litter fall and insect drop ZOS (m)	5					
Shade ZOS (m) max	0.65	South bank	Yes		No	X
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes		No		If non-fish bearing insert no fish bearing status report	
SPEA maximum	5 m	(For ditch use table3-7)				

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	5					
Litter fall and insect drop ZOS (m)	5					
Shade ZOS (m) max	0.65	South bank	Yes		No	X
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes		No		If non-fish bearing insert no fish bearing status report	
SPEA maximum	5 m	(For ditch use table3-7)				

I, Justin Lange, hereby certify that:

- q) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- r) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- s) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- t) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: 2015-09-03

Description of Water bodies involved (number, type)

Ditch 2

Stream	
Wetland	
Lake	
Ditch	X
Number of reaches	1
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

Channel Width(m)		Gradient (%)	
starting point	0.30	1	I, Justin Lange, hereby certify that: u) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act; v) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; w) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and x) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
upstream	0.40		
	0.40		
	0.70		
	0.60		
downstream		3	
Total: minus high /low mean	0.48	2	
	R/P	C/P	S/P
Channel Type			

Site Potential Vegetation Type (SPVT)

	Yes	No	
SPVT Polygons		X	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes

I, Justin Lange, hereby certify that:

- u) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- v) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- w) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- x) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Polygon No:

SPVT Type:

LC	SH	TR
<input type="text"/>	<input type="text"/>	X

Method employed if other than TR

Polygon No:

SPVT Type:

LC	SH	TR
<input type="text"/>	<input type="text"/>	<input type="text"/>

Method employed if other than TR

Polygon No:

SPVT Type:

<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>

Method employed if other than TR

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel Stability ZOS (m)	5						
Litter fall and insect drop ZOS (m)	5						
Shade ZOS (m) max	1.44	South bank	Yes	<input type="text"/>	No	X	
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)						
Ditch Fish Bearing	Yes	<input type="text"/>	No	<input type="text"/>	If non-fish bearing insert no fish bearing status report		
SPEA maximum	5 m	(For ditch use table3-7)					

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons					
LWD, Bank and Channel	5						

Stability ZOS (m)		
Litter fall and insect drop ZOS (m)	5	
Shade ZOS (m) max	1.44	South bank
	Yes	No
		X
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)	
Ditch Fish Bearing	Yes	No
		If non-fish bearing insert no fish bearing status report
SPEA maximum	5 m	(For ditch use table3-7)

I, Justin Lange, hereby certify that:

- u) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- v) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- w) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- x) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

Results of Detailed Riparian Assessment

Refer to Chapter 3 of Assessment Methodology

Date: 2015-09-03

Description of Water bodies involved (number, type)

Ditch 3

Stream	
Wetland	
Lake	
Ditch	X
Number of reaches	1
Reach #	1

Channel width and slope and Channel Type (use only if water body is a stream or a ditch, and only provide widths if a ditch)

	Channel Width(m)
starting point	0.90
upstream	1.20
	1.10
	0.80
downstream	1.30
	1.20
	1.00
	1.10
	1.40

	Gradient (%)
	6
	2

I, Justin Lange, hereby certify that:

- y) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the Fish Protection Act;
- z) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- aa) I have carried out an assessment of the development proposal and my assessment is set

Total: minus high /low mean	1.20		out in this Assessment Report; and bb) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.
	4.50		
	10.4		
	1.16	4	
Channel Type	R/P	C/P	S/P

Site Potential Vegetation Type (SPVT)

	Yes	No		
SPVT Polygons	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tick yes only if multiple polygons, if No then fill in one set of SPVT data boxes	
Polygon No:	<input type="checkbox"/>		I, <u>Justin Lange</u> , hereby certify that: y) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i> ; z) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson; aa) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and bb) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.	
SPVT Type	LC	SH		TR
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Method employed if other than TR
Polygon No:	<input type="checkbox"/>		Method employed if other than TR	
SPVT Type	LC	SH		TR
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Polygon No:	<input type="checkbox"/>		Method employed if other than TR	
SPVT Type	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	1	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	5					
Litter fall and insect drop ZOS (m)	5					
Shade ZOS (m) max	3.48	South bank	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
Ditch	Justification description for classifying as a ditch (manmade,					

		no significant headwaters or springs, seasonal flow				
Ditch Fish Bearing	Yes		No		If non-fish bearing insert no fish bearing status report	
SPEA maximum	5 m	(For ditch use table3-7)				

Zone of Sensitivity (ZOS) and resultant SPEA

Segment No:	2	If two sides of a stream involved, each side is a separate segment. For all water bodies multiple segments occur where there are multiple SPVT polygons				
LWD, Bank and Channel Stability ZOS (m)	5					
Litter fall and insect drop ZOS (m)	5					
Shade ZOS (m) max	3.48	South bank	Yes		No	X
Ditch	Justification description for classifying as a ditch (manmade, no significant headwaters or springs, seasonal flow)					
Ditch Fish Bearing	Yes		No		If non-fish bearing insert no fish bearing status report	
SPEA maximum	5 m	(For ditch use table3-7)				

I, Justin Lange, hereby certify that:

- y) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*;
- z) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;
- aa) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
- bb) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.

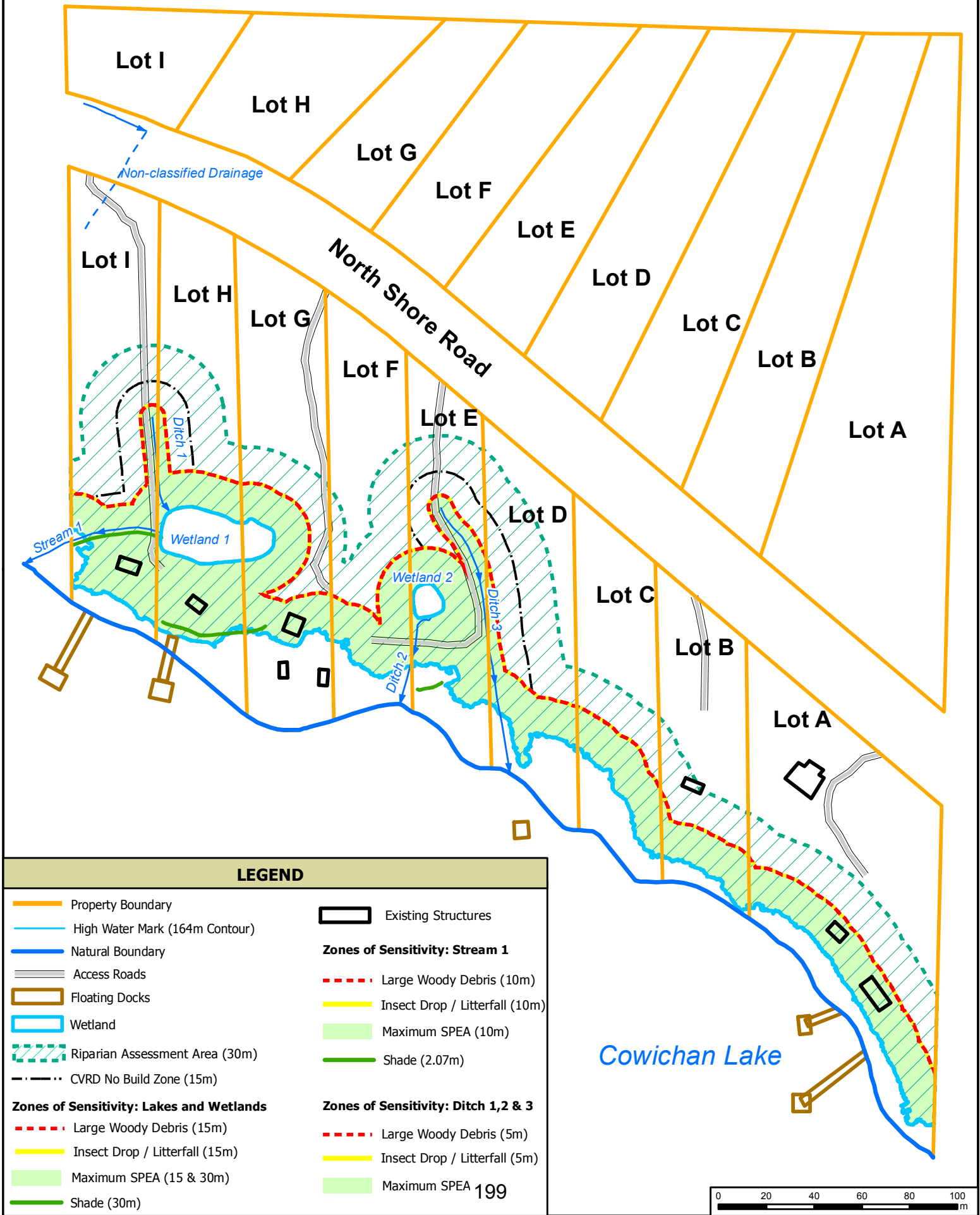
Comments

This RAR assessment was triggered by a proposal to subdivide a property that is within the 30 m RAA of Cowichan Lake. Due to the fact the proposal is only at the subdivision stage, no plans have yet been finalized for future land development. It is important to note that there are several families invested in the property. The subdivision will result in each family obtaining approximately a 1 ha piece of land. Once the requirements of the zoning and subdivision application have been met, it is likely that the owner of each property will formulate plans to construct a cabin on their property.

Due to the fact the HWM coincides with the 164 m elevational contour adjacent to Cowichan Lake, it was not possible to delineate the HWM in the field at the time of the assessment. For the

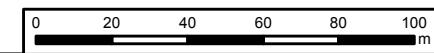
purposes of this assessment, the 164 m contour was obtained from CVRD mapping products. In the future when plans to construct cabins proceed, more detailed RAR assessments will be required. At that time a British Columbia Land Surveyor (BCLS) must be retained to measure and delineate the HWM on site. As part of the assessment, a full set of 11 measurements could not be obtained for Stream 1, Ditch 1 and Ditch 2. This is based on the relatively short length and morphology of these drainages. Portions of each drainage lack channel definition, therefore, measurements were obtained from portions of the drainages that possessed channel definition.

In addition, CVRD Electoral Area I Bylaws state that no dwelling or structure shall be constructed within 15 m of a watercourse. This setback will be respected when construction is initiated in the future, particularly within Lot H, Lot I (Ditch 1), Lot D and Lot E (Ditch 3) where the setback exceeds the SPEA (5 m) for these watercourses. .



LEGEND

- Property Boundary
- High Water Mark (164m Contour)
- Natural Boundary
- Access Roads
- Floating Docks
- Wetland
- Riparian Assessment Area (30m)
- CVRD No Build Zone (15m)
- Existing Structures
- Zones of Sensitivity: Stream 1**
- Large Woody Debris (10m)
- Insect Drop / Litterfall (10m)
- Maximum SPEA (10m)
- Shade (2.07m)
- Zones of Sensitivity: Lakes and Wetlands**
- Large Woody Debris (15m)
- Insect Drop / Litterfall (15m)
- Maximum SPEA (15 & 30m)
- Shade (30m)
- Zones of Sensitivity: Ditch 1,2 & 3**
- Large Woody Debris (5m)
- Insect Drop / Litterfall (5m)
- Maximum SPEA 199



Section 4. Measures to Protect and Maintain the SPEA

This section is required for detailed assessments. Attach text or document files, as need, for each element discussed in chapter 1.1.3 of Assessment Methodology. It is suggested that documents be converted to PDF *before* inserting into the assessment report. Use your “return” button on your keyboard after each line. You must address and sign off each measure. If a specific measure is not being recommended a justification must be provided.

<p>1. Danger Trees</p>	<p>At the time of the assessment, it was noted that most of the property is composed of mature second growth coniferous forest, but deciduous trees were also noted as being relatively abundant. While traversing the property during the site visit there were no obvious indications of hazard trees. All of the trees, particularly the mature conifers, appeared to be in good health. There is currently no requirement to have a danger tree assessment completed by a professional certified in assessing danger trees.</p> <p>As the trees (particularly deciduous species) continue to mature, there may be a requirement to limb, top or completely remove a tree(s). By doing so, unhealthy trees can be managed properly to prevent harm to people or damage to structures. If in the future the property owners consider any trees to be a hazard, a suitably qualified QEP must be retained to assess the tree(s) in question and provide recommendations. All Coarse Woody Debris (CWD) resulting from tree management measures should be positioned within the SPEA as it will provide a benefit to wildlife.</p>
<p>I, <u>Justin Lange</u>, hereby certify that:</p> <p>cc) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>dd) I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>ee) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation</p>	
<p>2. Windthrow</p>	<p>There are presently no concerns related to windthrow on site as this assessment was triggered by a subdivision proposal. Once the property has been subdivided and individual property owners finalize plans for cabin construction, there will likely be a requirement to remove trees. Given this, it is not anticipated that windthrow will be of concern as trees will not be removed from large areas. Any new forest edges that are created will not be expansive; therefore, the likelihood of increased susceptibility to high wind velocities is very low.</p>
<p>I, <u>Justin Lange</u>, hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made</p>	

<p>under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation</p>	
3. Slope Stability	<p>There are no concerns related to slope stability in the assessment area. Overall, the topography of the site is relatively subdued. At the time of the assessment It did not appear that any portion of the property within the SPEAs possessed a gradient of more than 10-12%.</p>
<p>I, <u>Justin Lange</u>, hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation</p>	
4. Protection of Trees	<p>Currently subdivision is the only form of “development” occurring at Parcel A, North Shore Road. At this time, no tree protection measures are required to be implemented. Once the subdivision is complete and individual property owners finalize plans for construction of their cabins, tree protection measures will be developed based on placement of the cabins. In cases where cabins are positioned beyond the 30 m RAA, there will be no requirement to develop tree protection measures. If development plans involve construction within the 30 m RAA, tree protection measures must be implemented. Development of measures should be based on the following list, which represents common sources of damage to trees:</p> <ul style="list-style-type: none"> - Trenching through the root zone of trees during excavation activities; - Direct damage to tree limbs and stems from heavy machinery; - Changing the ground level around trees; - Allowing pollutants to contaminate the soil around trees; - Allowing machinery to travel near or park adjacent to trees; or - Storing construction materials around trees. <p>By eliminating these sources, it is unlikely there would be any damage to trees within the SPEA when construction does occur in the future.</p>
<p>I, <u>Justin Lange</u>, hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have</p>	

followed the assessment methods set out in the Schedule to the Riparian Areas Regulation	
5. Encroachment	<p>Currently, there are numerous land uses and structures within the 30 m RAA. Under RAR methodology existing land uses and structures are legally non-conforming and the client can, therefore, continue to use the property as in the past. At the time of the field visit, the client was made aware that additional encroachment or new “development” activities are prohibited within the SPEA. “Development” includes activities such as:</p> <ul style="list-style-type: none"> - Removal, alteration, disruption or destruction of vegetation; - Disturbance of soils; - Construction of temporary or permanent structures; - Creation of non-structural impervious or semi impervious surfaces; - Flood protection works; - Construction of roads and trails; - Provision and maintenance of sewer/water services; - Development of drainage systems; and - Development of utility corridors. <p>Encroachment of the SPEA is not of concern at this time as the proposal is currently in the subdivision phase. When the construction phase is initiated, all development will occur beyond the SPEA boundaries of each waterbody. Also, future construction will occur beyond the CVRD 15 m no-build zone.</p>
I, <u>Justin Lange</u> , hereby certify that:	
<p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation</p>	
6. Sediment and Erosion Control	<p>Under the Federal Fisheries Act, sediment is regarded as being a deleterious substance and introducing sediment into waterbodies can damage fish habitat. Of particular concern is suffocation of spawning beds. As this assessment is related to an application for rezoning and subdivision, there are currently no concerns related to sediment transport into Cowichan Lake. As a result, there is no recommendation for a detailed erosion and sediment control (ESC) plan at this time.</p> <p>When construction does occur in the future, each property owner will be required to have a more in depth RAR assessment completed. At that time detailed ESC measures will be developed by the Qualified Environmental Professional (QEP).</p>
I, <u>Justin Lange</u> , hereby certify that:	

<p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation</p>	
<p>7. Stormwater Management</p>	<p>Stormwater management measures are recommended to deal with a net increase of surface run-off as a result of constructing impervious surfaces, such as rooftops and asphalt driveways. There are no recommendations related to stormwater management as this assessment was completed for a rezoning/subdivision application. Stormwater management measures will be developed when construction plans are finalized and each property owner has a more detailed RAR completed.</p>
<p>I, <u>Justin Lange</u>, hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.</p>	
<p>8. Floodplain Concerns (highly mobile channel)</p>	<p>Cowichan Lake represents a dynamic system that experiences natural (sometimes extreme) seasonal variations in water level. Presently there are no concerns related to flooding or highly mobile channels as subdivision is currently the only form of “development”. When construction occurs in the future, local government legislation regarding construction adjacent to the lake must be followed. In this particular case, consideration must be given to maximum flood levels as represented by the 200 year flood height.</p>
<p>I, <u>Justin Lange</u>, hereby certify that:</p> <p>a. I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the <i>Fish Protection Act</i>;</p> <p>b. I am qualified to carry out this part of the assessment of the development proposal made by the developer Craig Gibson;</p> <p>c. I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and in carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation.</p>	

Section 5. Environmental Monitoring

Attach text or document files explaining the monitoring regimen Use your “return” button on your keyboard after each line. It is suggested that all document be converted to PDF *before* inserting into the PDF version of the assessment report.

Include actions required, monitoring schedule, communications plan, and requirement for a post development report.

Environmental monitoring is required when construction activities take place within the 30 m RAA. The purpose of monitoring during the construction phase is to ensure that the recommended measures put in place to protect the functionality of the SPEA are followed.

Currently, subdivision is the only proposed form of “development”. If subdivision is approved and development plans are established at a later date to include construction activities inside the RAA, a more detailed assessment must be completed. The SPEAs and RAA have now been identified, allowing the local government to assess any new development applications proposed on the properties under the RAR. Future property owners must be made aware of the RAA and SPEA dimensions and also the requirement for the completion of a focused RAR assessment, should development be proposed inside the RAA.

When plans for development proceed and specific measures have been developed, it will be the responsibility of each property owner to contact the QEP. It will be necessary to carry out a brief site inspection at the beginning, middle and end of construction activities to ensure that the SPEA has been respected. Also, the completion and submission of a post-construction monitoring report via the RAR notification system will be required.

Section 6. Photos

Photo 1. Looking northwest along the natural boundary of Cowichan Lake. This is a representative photo of the foreshore habitat adjacent to proposed Lot H and Lot I.



Photo 2. The SPEA of proposed Lot H. Note the dense hydrophytic shrub growth.

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report



Photo 3. Looking southeast at the current beach/foreshore access for proposed Lot G.



Photo 4. A representative photo of the upslope forested ecosystem beyond the 30 m RAA.

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report



Photo 5. A representative photo of the seasonally wet areas that exist on the subject property. Note that rushes and horsetails are the dominant species of vegetation.



Photo 6. Himalayan blackberry growth on proposed Lot G. Nearly all of the invasive plant growth is confined to the areas immediately adjacent to the lake where human activity is prevalent. Ditch 2 flows through this area into Cowichan Lake.

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report



Photo 7. Looking south at proposed Lot E. Note only the recreational areas are void of vegetation and are surrounded by functioning riparian vegetation.



Photo 8. Looking west at the foreshore of proposed Lot E.

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report



Photo 9. The eastern portion of the foreshore of proposed Lot C. Note the abundance of intact hydrophytic, native vegetation, an indication that this area remains relatively undisturbed.



Photo 10. The ditch network (Ditch 3) adjacent to the access road for proposed Lot D. Note the vegetation growth, which is an indication water has not flowed through the ditch in a prolonged period of time.

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report



Photo 11. Looking east along North Shore Road, which bisects the northern and southern portions of the property.



Photo 12. A representative photo of the northern portion of the property. The abundance of young deciduous tree species is indicative of the past logging activities in the area.



Photo 13. Looking southeast along the gravel driveway that provides access to proposed Lot H and Lot I.



Photo 14. Looking east at Wetland 1 from the gravel access road.

FORM 1

Riparian Areas Regulation - Qualified Environmental Professional - Assessment Report



Photo 15. A representative photo of Stream 1 as it flows immediately west of the gravel access road.



Photo 16. Stream 1 where it emerges from a sub-surface flow regime.

Section 7. Professional Opinion

Assessment Report Professional Opinion on the Development Proposal's riparian area.

Date

1. I Justin Lange, B.Sc., R.P.Bio.

Please list name(s) of qualified environmental professional(s) and their professional designation that are involved in assessment.)

hereby certify that:

- a) I am a qualified environmental professional, as defined in the Riparian Areas Regulation made under the *Fish Protection Act*,
 - b) I am qualified to carry out the assessment of the proposal made by the developer Craig Gibson, which proposal is described in section 3 of this Assessment Report (the "development proposal"),
 - c) I have carried out an assessment of the development proposal and my assessment is set out in this Assessment Report; and
 - d) In carrying out my assessment of the development proposal, I have followed the assessment methods set out in the Schedule to the Riparian Areas Regulation; AND
2. As a qualified environmental professional, I hereby provide my professional opinion that:
- a) if the development is implemented as proposed by the development proposal there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed, **OR**
(Note: include local government flex letter, DFO Letter of Advice, or description of how DFO local variance protocol is being addressed)
 - b) if the streamside protection and enhancement areas identified in this Assessment Report are protected from the development proposed by the development proposal and the measures identified in this Assessment Report as necessary to protect the integrity of those areas from the effects of the development are implemented by the developer, there will be no harmful alteration, disruption or destruction of natural features, functions and conditions that support fish life processes in the riparian assessment area in which the development is proposed.

[NOTE: "qualified environmental professional" means an applied scientist or technologist, acting alone or together with another qualified environmental professional, if

- (a) the individual is registered and in good standing in British Columbia with an appropriate professional organization constituted under an Act, acting under that association's code of ethics and subject to disciplinary action by that association,
- (b) the individual's area of expertise is recognized in the assessment methods as one that is acceptable for the purpose of providing all or part of an assessment report in respect of that development proposal, and
- (c) the individual is acting within that individual's area of expertise.]

History on "Carley Cove" Property-Lake Cowichan

Current Use of Existing Property:

The subject property of thirty acres is divided almost equally by North Shore Road. It is owned by eleven owners each having an undivided interest ranging from 1/10th to 2/10ths, including some where the interest is held in joint tenancy with a partner or spouse or other owners. The owners have a co-owners agreement (cooperative association) governing the management of the property. There are some very restrictive clauses in this agreement which limit the current owners in disposing of their interest either through a will or the open market place, which in turn affects market value. The owners, some who have been on title since 1963, are seeking to divide the subject property into nine lots so that each would have a clear and separate title. Currently each owner utilizes their share of the property as seasonal recreation, some have campers, or trailers driven and stored on their area on a seasonal basis, some have more permanent arrangements in seasonal cabins or r/v's left on site. Weather shelters have been built to allow r/v's to be placed under them. Five foreshore structures have been built in such a manner as to respect the natural shore line and several rocky beach areas have been created for lake access for swimming. The natural vegetation has been maintained for the most part while in some areas lawn has been created to the shore line. Tree removal has taken place as a number of alders/maples and some coniferous trees have died and needed removal. The upland area of the land between the seasonal recreation and North Shore road is undisturbed for the most part. As there is no fencing between the individual owners areas Elk roam freely both on lakefront area as well as the upland above the road. Also the owners do not utilize the area north of the road other than taking the occasional windfall for fire wood. They sometimes hike in the area but there is no active seasonal recreation use through occupancy either in cabins or r/v's as there is on the lake front areas.

History on “Carley Cove” Property-Lake Cowichan

1928-property sold by Cowichan Lumber Company to Hjalmer Erikson

1963-Holm family purchased property-1100 sq ft home, cabin and outbuildings-house occupied seasonally by owners and by hunters

1964-Plan of subdivision created (31 lots-as shown on plan on display) there were subdivisions on both sides of this property
1913/ early 60's

1965-Holm family lived full time on property

Late 60's/early 70's-squatters occupied house-became damaged
-boarded up

Late 70's/80's-zoning changed from residential to Forestry-more adjacent lands subdivided

1985-Kathy Holm became sole owner of her share

1986-Old family home burned by Youbou Fire Department-family returned to camp year after year

1990-Kathy Holm bought out other owners-before doing had assurance from CVRD to be able to divide into three lots-never did complete

1990's?-discussions with Gerard LeBlanc-showed him 1964 plan of subdivision-he said this could be grandfathered?

2002-created “Carley Cove” co-operative.

2005-OCP allocated residential uptake on lake to Youbou Lands

2005-September-owners proposed to rezone to Lakefront Residential LR1-9 lots-owners withdrew request

2008-March-Owners apply to rezone for 5 lots (each lot to be strata titled for 2 lots)APC preferred 10 lot strata-went to Electoral Area Services Committee (EASC) put on hold pending major review of OCP to be done in 2009 (not done yet!)

2009-April-Owners informed major OCP review would not happen until 2013 (not done yet nor as reported by staff not part of any planning reports for the next number of years-not on the list of projects to be completed)

2009-June-CVRD Board officially denied application

“Carley Cove” Property-Lake Cowichan

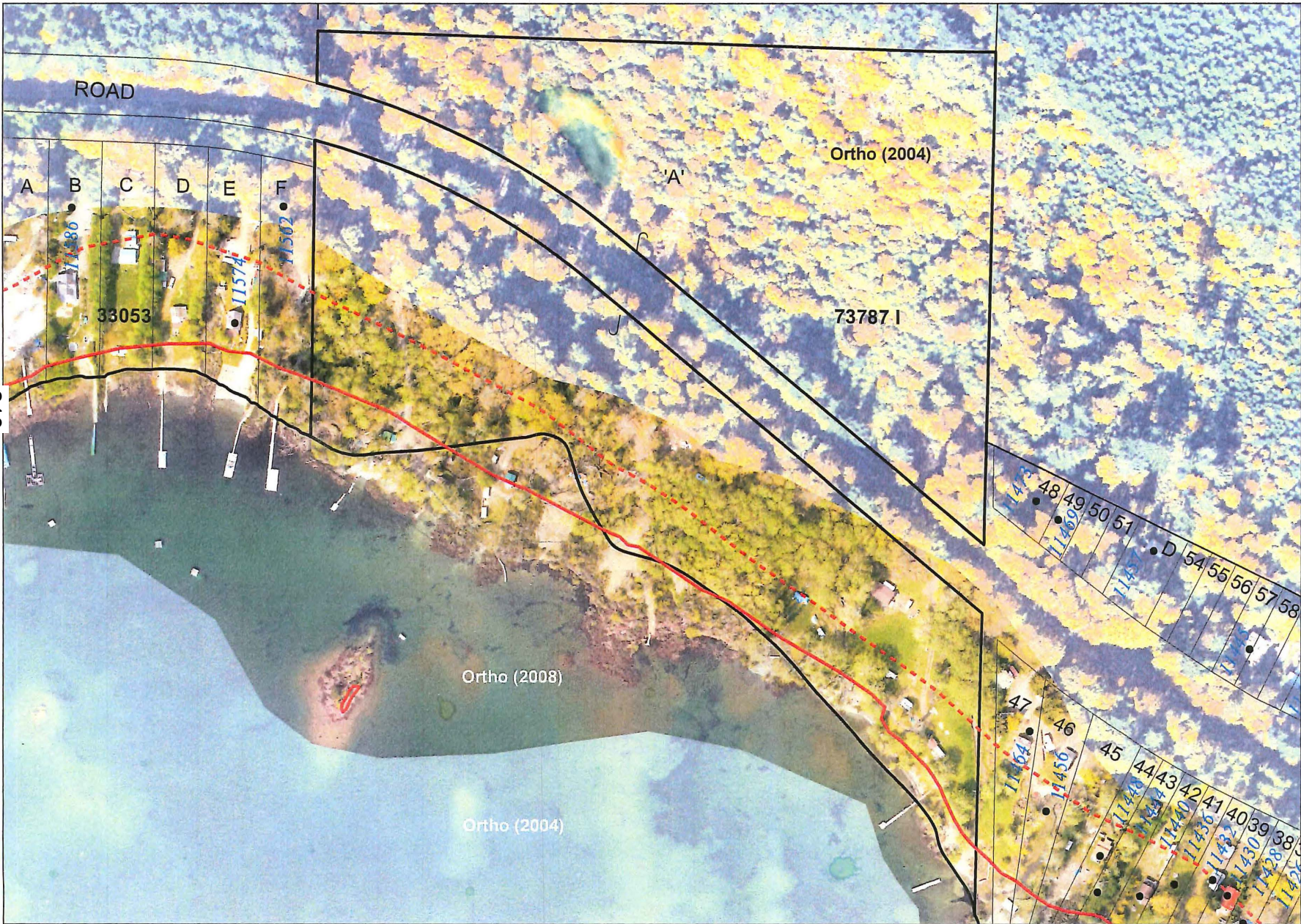
Advantages to the Community-

- lots will have limits imposed upon them through the rezoning and subdivision approval process including but not limited to such things as building footprint, setbacks, density of use, building height etc
- public access to the lake is provided on the west side of the property and enhanced on the east side through the subdivision process
- lake shore disruption minimized through rezoning and subdivision approval process as well as riparian protection along lake shore and other environmental protection areas on subject property
- the owners will, in all likelihood, be required to pay compensation in lieu of parkland dedication-5%
- this property was not, in recent times, held by a forestry company and sold to owners for speculation (has been owned by current owners since 1963 -previously held privately since 1928)
- all of the current rules regarding domestic water supply and sewage disposal via septic system, including setbacks will be met prior to final subdivision approval
- the initial proposal has been reviewed by a Registered Professional Biologist (RPBio) with those results in turn being reviewed by the Ministry of Environment and CVRD Staff, and include include recommendations for future subdivision
- access is water only and therefore no need to dedicate private road as public road
- no hydro, nor community water/sewer needed
- through this public information meeting the community gets an opportunity to make early comment pro or con on the proposal and will continue to have input through the process as to what happens with the property
- no impact on the uptake of lots designated for the Youbou Lands project
- other agencies ie Ministry of Environment, Ministry of Transportation, First Nations, CVRD Departments, and Electoral Area APC all have input into proposal
- only the lake side of this property will have buildings placed upon the lots, the north side of the property above the road will remain in its natural state
- the residents will not just be weekenders but will be owners and will be another set of ears and eyes on what is happening generally in this area of the Youbou Community-as such they will act as caretakers of not only their lots but the community
- property taxes paid to the CVRD will increase

“Carley Cove” Property-Lake Cowichan

Advantages to the Owners-

- the form and type of occupancy does not lessen from what owners are currently doing but would add an opportunity for flexibility in future use-rules around density, building footprint, setback etc will be applicable on each lot
- the Registered Professional Biologist(RPBio) report will provide very helpful information to the owners regarding environmental protection and enhancement going forward into the subdivision process
- other agencies will review the proposal and accompanying reports, ie RB Bio
- property not previously held by major forestry company and then sold for speculation
- lots will be water access only and therefore will not require the dedication of the private forestry road
- the grandfathered uses of the property get regularized through the rezoning and subdivision processes
- each owner gets a fee simple title over which they can raise a mortgage, sell, transfer, leave to an estate and use in accordance to permitted uses of zone without the complication of cooperative sign offs by other owners
- the ancient subdivision contemplated in 1964 by the Holm family (31 lots proposed) gets completed (now 9 lots)
- all current rules regarding domestic water supply and sewage disposal via septic system, including setbacks will be required as a condition of subdivision approval
- get to live on the property year round and protect it from vandalism



218

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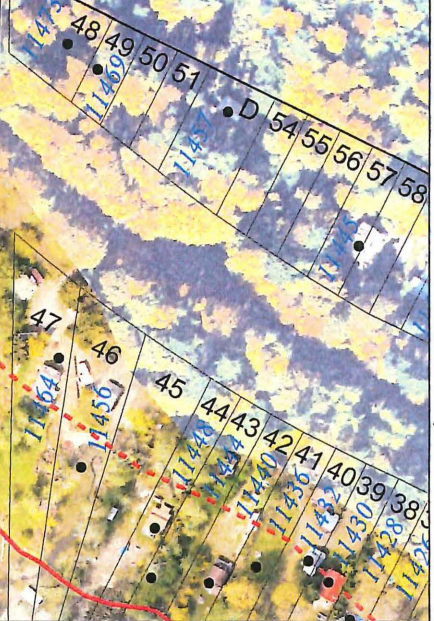
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Ortho (2008)

Ortho (2004)



This map is compiled from various sources for internal use and is designed for reference purposes only.

The Regional District does not warrant the accuracy.

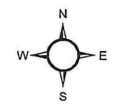
All persons making use of this compilation are advised that amendments have been consolidated for convenience purposes only and that boundaries are representational.

The original Bylaws should be consulted for all purposes of interpretation and application of the Bylaws.

Printed: May 7, 2015

Elevation Levels

- 164m HWM
- - - 167m 200 year flood level



Scale: 1:2,000

R5

**Electoral Area I Planning Commission Minutes
June 7, 2016****Meeting Started at 7:00 pm****Members Present:**

Judy Reynolds
Larry Leischner
Jeff Abbott
Orest Smycniuk

Others:

Director Klaus Kuhn
Alternate Director Joe Tatham
Rachelle Rondeau, CVRD Planner

Applicants:

Jim Dias (agent), Craig Gibson, Wayne Friesen (1-I-16 RS)
Don and Sharon Fern (2-I-16 DP VAR)

1-I-16 RS (Carly Cove):

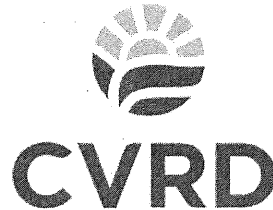
Jim Dias presented the application on behalf of the owners, and distributed a summary of the proposal and history:

- There is a complicated ownership agreement resulting in 10 ownership interests, and the applicants would like to subdivide in order to separate their interests. 10 fee simple lots are proposed;
- The lots would be approximately 2.5 acres each, with approximately even distribution of waterfront;
- Applied to rezone to allow seasonal or permanent residence and camping;
- Would be willing to register a covenant limiting the footprint of the dwellings;
- Held a public meeting, only one resident from the area attended;
- Long history of ownership, not bought as a speculative venture, 5 shared docks;
- The owners formerly applied to rezone, and were ultimately denied;
- A review of the Official Community Plan (OCP) was supposed to occur, but this never happened;
- Owners do not intend to install fencing, therefore elk will continue to roam as they do, no increase in traffic, unlikely the property would ever return to the “working land base”; subdivisions on either side of the property already;
- Intend to contribute amenity to the nature and habitat fund;
- Do not expect residential/recreational conflicts as the subdivisions next door do not present conflicts; many examples of recreational/residential zoning around different lakes e.g. Sproat, Shuswap.

The applicant responded to questions from the APC.

Recommendation:

- *That the APC recommends approval of the application.*



MEMORANDUM

DATE: November 21, 2016 **FILE NO.** 01-I-16RS
TO: Rachelle Rondeau, Planner II
FROM: Tanya Soroka, Parks & Trails Planner
SUBJECT: Proposed Rezoning of Carly Cove Property on Cowichan Lake Approximately 5 km West of Youbou—Amenity Contributions

Parks & Trails staff, along with the Electoral Area I Parks Commission, has reviewed this proposed subdivision application and the Parks Commission passed the following motion at their meeting held on September 13, 2016:

- " - The protection of the Riparian Zone is imperative
 - At least one lot should be set aside for park dedication
 - In addition, there should be a funding contribution to the Area I Nature and Habitat Fund established for Cowichan Lake."***

Two site visits were conducted in July and September 2016. It was determined that as an amenity contribution some land should be dedicated to the CVRD as parkland as well as providing a monetary contribution towards the Area I Nature and Habitat Fund for Cowichan Lake. CVRD Parks & Trails staff is supportive of this motion.

Once the applicants are ready to move forward, CVRD staff (Parks and Planning) should meet with the applicants to discuss the details of the amenity contributions. Once the details are worked out then a Section 219 covenant will be prepared to secure the public amenity commitments to ensure that the transfer occurs at the time of subdivision. A formal survey plan should be prepared at the time of subdivision.

Once a preliminary site plan is completed as part of the rezoning package, it will be attached to the covenant to identify the general location of the park. A draft of the park covenant will be prepared prior to public hearing. As part of the subdivision, this park land will be transferred in fee simple to the CVRD as a separately titled lot and the financial contribution will be deposited into the Area I Nature and Habitat Fund for Cowichan Lake.

Sincerely,

Tanya Soroka, MCIP, RPP
 Parks & Trails Planner, Parks & Trails Division
 Planning & Development Department

TS/dsb

pc: Director K. Kuhn, Electoral Area I – Youbou/Meade Creek
 Jim Dias, applicant

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Cowichan Tribes

5760 Allenby Road Duncan, BC V9L 5J1
Telephone (250) 748-3196 Fax: (250) 748-1233

Tuesday, November 15, 2016

Rachelle Rondeau
Planner, Cowichan Valley Regional District
175 Ingram Street
Duncan, BC V9L 1N8

Our file RTS: 873131
Your file: 01-I-16RS

BY ELECTRONIC MAIL: rrondeau@cvrd.bc.ca

Dear Rachelle Rondeau;

Re: Proposed rezoning of forestry resource lands to recreational/residential uses at Carly Cove, near Youbou

I would like to thank you for meeting with my staff on November 3, 2016. Cowichan Tribes staff, Candace Charlie and Tracy Fleming, as well as our Cultural Consultant Luschiim Arvid Charlie, met on site with Jim Dias and Wayne Friesen at Carly Cove on October 12, 2016. Luschiim informed us that this area is known by Cowichan Elders as *Xwaaqw'um* (roughly pronounced Quaquum in English), named after the female mergansers that were known to congregate there.

In general, Cowichan Tribes has concerns with development along the foreshore of Cowichan Lake. In too many instances riparian integrity is lost to development interests, resulting in loss of freshwater spawning habitat, as well as safe lake access points for the provincially blue-listed Cowichan Elk herd. Both fish and elk are important food sources for the Cowichan people and are essential to the continued health of our community. These pressing concerns cannot be secondary to development pressures if the CVRD wishes to honour their government-to-government relationship with Cowichan Tribes. Another prominent concern to Cowichan Tribes is that the upland of this property is directly adjacent to Crown lands selected by Cowichan Tribes for treaty land selection. Future Cowichan member access to the lake and to elk hunting grounds is compromised by any future development of the adjacent lands to this Crown land piece.

Cowichan Tribes' response to Carly Cove, Cowichan Lake referral, November 15, 2016

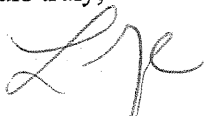
Cowichan Tribes have developed the following list of conditions we believe are necessary to sustain the ecological functions of this area, and therefore essential to a binding agreement with the proponents:

- No development or other alteration (including native vegetation removal) within riparian areas (maximum SPEA of 15 m) associated with streams, ditches, wetlands or lake shore identified in the RAR report by Madrone Environmental Ltd. in 2015.
- No development of public trail system on the foreshore of Cowichan Lake. This action would severely diminish remaining riparian vegetation.
- No additional private docks construction. The land owners of this property can designate one or two existing docks for shared access and enjoyment by the Carly Cove land owners. Each additional dock along Cowichan Lake adds to the cumulative impact on riparian and shore spawning habitat. Docks preclude healthy aquatic vegetation resulting in higher predation rates to juvenile salmonids. Additionally, trails developed to access docks result in removal or trampling of riparian vegetation, further impacting the health of the lake shoreline.
- No additional driveways constructed. The land owners need to agree to continue to share vehicle access roads onto the property.
- Trees will not be cut on the property except within previously designated future building footprints, and for safety reasons.
- We suggest that the landowners at Carly Cove invest in a community septic treatment facility that will meet the needs of current and future residential uses.
- Cowichan Tribes strongly recommends that no fencing be erected for boundary lines or garden enclosures on the property. The property is used by elk in very high frequency and needs to remain available to them for access to the lake, shelter and food. Fencing limits elk movement, and can be a safety hazard for them if their antlers become ensnared in fencing materials.
- This property is adjacent to Crown Land that has been selected by Cowichan Tribes for treaty purposes; therefore we strongly suggest that the CVRD ensure lake access is obtained for future access by Cowichan members.
- CVRD needs to ensure that beyond the present request, no future subdivision of parcels occurs at Carly Cove, either by parceling off the parts of lots on the north side of the road, or by further subdivision.

Please consider the above points as constituting Cowichan Tribes comments and recommendations to date. If you have any concerns or require clarification, please do not hesitate to contact myself, Candace Charlie at Candace.charlie@cowichantribes.com, or Tracy Fleming

at tracy.fleming@cowichantribes.com. We look forward to more communication about the results of CVRD committee and board decisions on this property.

Yours truly,



Larry George
Smaalthun
Manager, Lands and Governance

LG/af

c. Jim Dias, via email jimdias@shaw.ca



Cowichan Tribes

5760 Allenby Road Duncan, BC V9L 5J1
Telephone (250) 748-3196 Fax: (250) 748-1233

May 26, 2016

Our File: 873131
Your File: 01-I-16RS

Rachelle Rondeau
Planner, Cowichan Valley Regional District
175 Ingram Street
Duncan, BC V9L 1N8

BY ELECTRONIC MAIL: rroudeau@cvrld.bc.ca

Re: Rezoning Application – North Shore Road (Section 45, Renfrew District)

Ms. Rondeau,

Cowichan Tribes has received and reviewed your referral package dated April 27, 2016 regarding the above noted application to rezone an approximately 30 acre parcel 5km west of Youbou from F-1 (forestry resource) to a new recreational and residential zone. We understand that there has been recreational use of the property dating back to 1963 and that this activity is presently ongoing.

Cowichan Tribes has inquired about, but not received any supporting documentation or reports from either the CVRD or directly from the proponent relating to the existing environmental baseline conditions of this parcel, and therefore we are unable to properly identify particular areas of concern as they relate to Cowichan Tribes' Aboriginal Interests. We therefore argue that consultation on this referral to date has been wholly inadequate due to the fact that we are made to provide comment on this rezoning proposal without full knowledge of the impact that this proposal would have on our constitutionally-protected Aboriginal Rights and Title. There is a duty on the Crown to ensure that a First Nation is provided with full information on any measure proposed and its effect on the First Nation¹. We would appreciate the CVRD fulfilling its legal obligation by requiring that proponents submit with their application supporting environmental studies where deemed appropriate to do so (i.e., in areas not already subject to intense industrial activity).

That being said, our concerns constitute, but are not limited to, the following:

- The project proposal area contains TWO extremely sensitive wetlands. These important ecosystems are the only ecosystems designated for conservation by international convention². They provide food and essential habitat for many species of fish, shorebirds, waterfowl, and furbearing mammals. They filter sediments and toxic substances, and absorb the impact of hydrologic events (floods). As a result of colonial activity, wetlands have become a scarce resource. They are particularly sensitive to erosion and flooding, and often have very close connections with the groundwater system. Any further development initiated within the vicinity of such important and sensitive fish and wildlife habitats would be environmentally irresponsible.
- The project proposal area has been identified as Roosevelt Elk habitat. This species is blue-listed, and under stress from hunting and habitat loss. Causing habitat fragmentation and disrupting the local migration paths of these animals will result in their further endangerment.

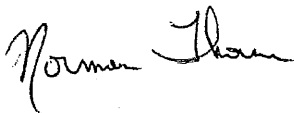
¹ *R. v. Jack* (1995) 16 B.C.L.R. (3d) 201 BCCA

² http://www.ramsar.org/sites/default/files/documents/library/scan_certified_e.pdf

- As cited in the Youbou/Meade Creek OCP Bylaw No. 2650, “[r]ural and urban sprawl promote more wildlife interface areas, where residential neighbourhoods are established in forested areas with extreme or high wildfire ratings” (pg. 8).
- The Crown land parcels surrounding the proposal area that were identified in the CVRD map sent to Cowichan Tribes are parcels which we have included as part of our BC Treaty Crown land selection. These land selection discussions are well underway and Cowichan Tribes opposes any haphazard development in this area.

In the absence of further information provided to Cowichan Tribes regarding the proposal area, these will be considered preliminary comments. If you have any further questions, please do not hesitate to contact my referrals staff at: Candace.charlie@cowichantribes.com

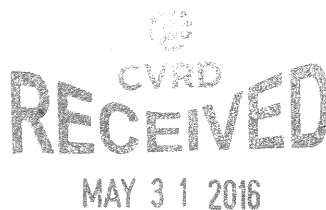
Sincerely,



For Larry George
Smaalhun
Manager, Lands & Governance

LG/cc

Excellent care, for everyone,
everywhere, every time



May 27, 2016

Your File No.: 01-I-16RS (Dias for Carly Cove)

Rachelle Rondeau, Planner
Development Services Division
Cowichan Valley Regional District
175 Ingram Street
Duncan, BC V9L 1N8

Dear Ms. Rondeau:

Re: Rezoning Application from F-1 (Forest Resource 1), to a new Recreational/Residential Zone

Thank you for the opportunity comment on the Carly Cove Bylaw Amendment Referral: 01-I-16RS (Dias for Carly Cove). We would like to provide some insight regarding our regulatory role in reference to this development. We would like to also provide some linkages between Health and Built Environment associated with this proposal. The past few years have seen significant advances in linking land use planning with health outcomes; such as, preserving and protecting the natural environment enhances the ability to mitigate negative health impacts associated with development; clean air, clean water and access to greenspace.

Regulatory Considerations

Drinking Water

I would like to first highlight a few definitions under the drinking water section (excerpt from the *Drinking Water Protection Act*). The applicant will be required to submit an application for a single water system, or for multiple water systems on this property, depending upon the water system design. Where all lots are connected to a single water source, only one water system permit will be issued. However, where there are several independent water sources, several water system permits will be issued in accordance with the legislation.

Definitions within the Act are as follows:

"water supply system" means a domestic water system, other than
(a) a domestic water system that serves only one single-family residence, and
(b) equipment, works or facilities prescribed by regulation as being excluded;

"domestic purposes" means the use of water for
(a) human consumption, food preparation or sanitation,
(b) household purposes not covered by paragraph (a), or
(c) other prescribed purposes;

"domestic water system" means a system by which water is provided or offered for domestic purposes, including
(a) works used to obtain intake water,
(b) equipment, works and facilities used for treatment, diversion, storage, pumping, transmission and distribution,
(c) any other equipment, works or facilities prescribed by regulation as being included,
(d) a tank truck, vehicle water tank or other prescribed means of transporting drinking water, whether or not there are any related works or facilities, and
(e) the intake water and the water in the system,
but excluding equipment, works or facilities prescribed by regulation as being excluded;

(The Act can be found at:

http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/00_01009_01)

Regardless of the outcome of this amendment proposal, the unapproved water systems in this neighbourhood will be required to comply with the Drinking Water Protection Act. This referral form suggests that multiple users on this site are currently drawing from one or two sources of water. By definition, a water supply system(s) already exists on this site and as such, the water system(s) must be issued construction permits and undergo source approvals with our Public Health Engineer and Environmental Health Officer/Drinking Water Officer respectively (for more information: <http://www.viha.ca/mho/water/>).

Sewerage Systems

Any on-site sewage disposal systems in this neighbourhood must be constructed in compliance with the Sewerage System Regulation. Composting toilets are not an approved treatment method for domestic sewage in the Sewerage System Regulation. Where technical requirements are unavailable in the legislation, Island Health will apply the VIHA Subdivision Standards to this referral application. Island Health will not support any application that does not meet the requirements of the VIHA Subdivision Standards.

VIHA Subdivision Standards

Minimum lot size requirements are essential to the land development process toward the reduction of health hazards caused by sewerage system malfunctions. It is also necessary to maintain clearance distances between lot boundaries, buildings, drinking water sources, surface water etc., and the sewerage system discharge area. The construction of sewerage systems within flood plain boundaries is not consistent with responsible land development.

This referral form indicates that the most likely location for land development at this site will be on the waterfront portion of the lots, which have 0.4 ha (1 acre) of development area. Depending upon the water system design at this site, the required depth of suitable soil for subdivision approval could be altered. Where individual wells are not located on each parcel, the required soil depth and minimum lot size could be reduced to 36" and 0.2 ha (0.5 acre) respectively.

Re: Rezoning Application
May 27, 2016

Page 3 of 3

A current copy of Island Health's Subdivision Standards has been attached for your review or can be found at: <http://www.viha.ca/NR/rdonlyres/67C5EDB3-9439-42B2-8E9D-E84965B62D31/0/VIHASubdivStandardsJuly172013.pdf>.

Features of particular concern in this neighbourhood could be minimum parcel size (depending upon water system design) and the impact of the high water mark and/or floodplain on all types of land use.

Recreational Water

The public beaches in this neighbourhood are not routinely monitored by Island Health for health hazards or bacteriological water quality. However, where on-site sewerage systems are either failing, or else located within the flood plain, a health hazard would likely be created by sewage and sewage effluent contaminating the recreational water area. For more information about recreational water quality and monitoring please follow the following link: <http://www.viha.ca/mho/recreation/>

For more information on the floodplain information and mapping for this particular locality, please refer to: http://www.env.gov.bc.ca/wsd/data_searches/fpm/ or more specifically http://www.env.gov.bc.ca/wsd/data_searches/fpm/reports/region1.html

Power/Energy Source

Most often, water systems and sewerage systems require a consistent power supply in order to function properly. In the absence of BC Hydro service at this property, the applicant will need to consider how such infrastructure will be designed so that it functions and can be maintained appropriately.

Recommendations under Island Health's Healthy Built Environment Initiative

Climate Change

Existing data indicates that climate change may further stress regions that are already water stressed and that regions such as the Cowichan Valley may be more susceptible to flooding in the future.ⁱ Floods are also increasing in frequency and intensity, and the frequency and intensity of extreme precipitation is expected to continue to increase throughout the current centuryⁱⁱ. Floods can contaminate freshwater supplies and heighten the risk of water-borne diseases. They also damage homes and negatively impact the ability of onsite septic systems to work properly/as designed.

ⁱ Provincial Health Services Authority. Agriculture's Connection to Health: A summary of the evidence relevant to British Columbia (2016; pending approval)

ⁱⁱ World Health Organization. Climate Change and Health fact sheet. <http://www.who.int/mediacentre/factsheets/fs266/en/>

Thank you again for offering us the opportunity to comment on this application. I am happy to discuss our commentary further at your convenience, if you would like to.

Sincerely,



Alison Gardner
Environmental Health Officer

cc: Shaun Malakoe, Senior Environmental Health Officer, Nanaimo
Jade Yehia, CPHI(C), Regional Built Environment Consultant



COWICHAN VALLEY REGIONAL DISTRICT
175 Ingram Street, Duncan, B.C. V9L 1N8
Tel: (250) 746-2620 Fax: (250) 746-2621

BYLAW AMENDMENT REFERRAL FORM

Date: April 27, 2016
CVRD File No. 01-I-16RS
(Dias for Carly Cove)

The Cowichan Valley Regional District has received an application to rezone an approximate 10 ha (30 acre) parcel from F-1 (Forest Resource 1), to a new recreational/residential zone.

General Property Location: Approximately 5 km west of Youbou, this section of road is known as North Shore Road and is privately owned.

Legal Descriptions: Parcel A (DD 73787¹), of Section 45, Renfrew District (PID: 000-222-348)

You are requested to comment on this proposal for potential effect on your agency's interests. We would appreciate your response by **Friday, May 27, 2016**. If no response is received within that time, it will be assumed that your agency's interests are unaffected. **If you require more time to respond, please contact Rachelle Rondeau, Planner, Development Services Division, by calling 250-746-2620 or e-mailing rrondeau@cvrld.bc.ca**

Comments: (attach comments if more space required)

Approval recommended for reasons outlined below

Interests unaffected

Approval recommended subject to conditions below

Approval not recommended due to reasons outlined below

Signature 
(Sign and print)

Title Wes OLSEN, Sgt
Detachment Commander

Contact No. 250-749-6668

see e-mail.

This referral has been sent to the following agencies:

- Ministry of Transportation and Infrastructure (Victoria)
- Lake Cowichan First Nation (Hereditary Chief Cyril Livingstone)
- Cowichan Tribes (Larry George, Land & Governance)
- Ditidaht First Nation (Chief & Council)
- Youbou Volunteer Fire Department
- Island Health (Environmental Health/Duncan)

- School District 79
- Ministry of Forest, Lands, & Natural Resource
- RCMP (Lake Cowichan Detachment)
- BC Transit
- CVRD Facilities & Transit Division
- CVRD Parks & Trails Division
- CVRD Engineering Services Department
- CVRD Public Safety Division

Updated

R5

On Jul 12, 2016, at 10:32 AM, Wes Olsen <wes.olsen@rcmp-grc.gc.ca> wrote:

Jim,

I would be agreeable to adding a paragraph at the end of my original submission with the comment that "It is because of the reasons outlined above the Lake Cowichan Detachment, although not against the development as proposed, has concerns about the area being "Water Access Only" at this time".

Wes

Sgt. Wes Olsen

Detachment Commander
Lake Cowichan RCMP / Government of Canada
wes.olsen@rcmp-grc.gc.ca / Tel: 250-749-6668 / Fax: 250-749-6458

Serg. Wes OLSEN

Chef de détachement

1

Rachelle Rondeau

From: Wes Olsen <wes.olsen@rcmp-grc.gc.ca>
Sent: Wednesday, June 01, 2016 9:11 AM
To: Rachelle Rondeau
Subject: RE: CVRD File No. 01-1-16RS (Dias for Carly Cove)
Attachments: CVRD BYLAW Amendment for Carly Cove.pdf

Rachelle,

Please accept this e-mail as the Lake Cowichan Detachment's response to the CVRD Bylaw Referral Form for the above-noted file (Scanned portion of page 1 attached).

The Lake Cowichan Detachment has reservations regarding the approval of a Bylaw amendment to re-zone the noted area from Forestry to a new recreational/residential zone. The detachment has the same concerns that were brought forward for another recent Bylaw amendment for the same general area.

The primary concern is that this area is "water access only" which is an issue for police or emergency services response to a situation that could occur in the prescribed area. The property in question is only accessible by land via a Private Logging Road. The owner of the road can close off road access to this area at any time right at the Town of Youbou as well as at Shaw Creek.

Police or emergency response to this area will already be a challenge for the people that currently utilize this land. The proposal, if approved, would increase the population of the property specifically during the peak seasonal time of the year. Cowichan Lake is a Resort destination and the Lake Cowichan Detachment is much busier during the summer. Based on detachment resource levels and scheduling, responding to a "water access only" area presents many policing challenges. Although the Lake Cowichan Detachment does have a boat that is utilized for patrols and police response on Cowichan Lake it can only be driven by a qualified boat operator. There must also be a second person on board during any scheduled boat patrol or a response to a call for service. Aside from scheduled patrols which are completed with members from a dedicated Marine Unit or members on overtime any police response to a water access only area of Cowichan Lake would be by members who are working in the detachment area during the time the call would be received. The detachment does maintain a minimal number of members on any given shift however a call to respond to a water access only area of Cowichan Lake would severely impact the minimal resources for the shift and the response time to get to the area of the water access only call. For example, if the detachment is operating on a shift minimum of two members and a call for service is received at a water access only area of Cowichan Lake then two members are required to respond on the boat. If neither of the members on duty is qualified to operate the boat, a qualified operator needs to be located and called in to attend. This would obviously cause a delay in response. Depending on other calls for service a second member may need to be called in as well to maintain two members on land to respond to priority calls for service and two members to go on the boat to respond to the water access only call for service. It is impractical to have a minimum of four members on duty during any given shift as the detachment's current resource level does not allow for this consistent level of minimal daily policing (four members per shift).

It is because of the reasons outlined above that the Lake Cowichan Detachment does not recommend approval to re-zone this land to allow for a larger population to inhabit this remote area during the detachment's busiest time of the year.

Respectfully submitted,

Sgt. Wes Olsen

Detachment Commander
Lake Cowichan RCMP / Government of Canada
wes.olsen@rcmp-grc.gc.ca / Tel: 250-749-6668 / Fax: 250-749-6458

Serg. Wes OLSEN

Chef de détachement
GRC de Lake Cowichan / Gouvernement du Canada
wes.olsen@rcmp-grc-gc.ca / Tél. : 250-749-6668 / Téléc.: 250-749-6458



COWICHAN VALLEY REGIONAL DISTRICT
 175 Ingram Street, Duncan, B.C. V9L 1N8
 Tel: (250) 746-2620 Fax: (250) 746-2621

BYLAW AMENDMENT REFERRAL FORM

Date: April 27, 2016
CVRD File No. 01-I-16RS
 (Dias for Carly Cove)

The Cowichan Valley Regional District has received an application to rezone an approximate 10 ha (30 acre) parcel from F-1 (Forest Resource 1), to a new recreational/residential zone.

General Property Location: Approximately 5 km west of Youbou, this section of road is known as North Shore Road and is privately owned.

Legal Descriptions: Parcel A (DD 73787¹), of Section 45, Renfrew District (PID: 000-222-348)

You are requested to comment on this proposal for potential effect on your agency's interests. We would appreciate your response by **Friday, May 27, 2016**. If no response is received within that time, it will be assumed that your agency's interests are unaffected. **If you require more time to respond, please contact Rachelle Rondeau, Planner, Development Services Division, by calling 250-746-2620 or e-mailing rrondeau@cvrld.bc.ca**

Comments: (attach comments if more space required)

- | | |
|---|--|
| <input type="checkbox"/> Approval recommended for reasons outlined below | <input type="checkbox"/> Interests unaffected |
| <input type="checkbox"/> Approval recommended subject to conditions below | <input checked="" type="checkbox"/> Approval not recommended due to reasons outlined below |

Signature *M. Dias* (sign and print) Title Transit Analyst Contact No. 250-746-2637

Area is beyond transit service standards for ^{consideration of.} fixed route or custom (handy DART) service access. Does not meet minimum required density standards for transit service.

This referral has been sent to the following agencies:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Ministry of Transportation and Infrastructure (Victoria) | <input checked="" type="checkbox"/> School District 79 |
| <input checked="" type="checkbox"/> Lake Cowichan First Nation (Hereditary Chief Cyril Livingstone) | <input checked="" type="checkbox"/> Ministry of Forest, Lands, & Natural Resource |
| <input checked="" type="checkbox"/> Cowichan Tribes (Larry George, Land & Governance) | <input checked="" type="checkbox"/> RCMP (Lake Cowichan Detachment) |
| <input checked="" type="checkbox"/> Ditidaht First Nation (Chief & Council) | <input checked="" type="checkbox"/> BC Transit |
| <input checked="" type="checkbox"/> Youbou Volunteer Fire Department | <input checked="" type="checkbox"/> CVRD Facilities & Transit Division |
| <input checked="" type="checkbox"/> Island Health (Environmental Health/Duncan) | <input checked="" type="checkbox"/> CVRD Parks & Trails Division |
| | <input checked="" type="checkbox"/> CVRD Engineering Services Department |
| | <input checked="" type="checkbox"/> CVRD Public Safety Division |

Bylaw Amendment Referral Response

May 26, 2016

Development Location: Youbou Road, approximately 5 km west of Youbou
CVRD File No. 04-I-16RS (Dias for Carly Cove)

Overall Transit Impact:

- The subject parcel does not meet Cowichan Valley transit service standards of providing transit service to areas with a minimum density of 10 persons per hectare over a minimum 10 hectare area;
- The closest available fixed-route transit service to this area ends within the town of Youbou (last bus stop is located near the Youbou Fire Hall on Route #20);
- Custom transit service (i.e. handyDART services) are also limited to areas located within 1.5 kilometres of fixed routes;
- Accordingly the subject property if redeveloped to a new recreational / residential zone would not have access to transit services.

Rachelle Rondeau

From: Erin Annis
Sent: Friday, December 02, 2016 9:15 AM
To: Rachelle Rondeau
Subject: RE: Message from "RNP002673853F77"

Hi Rachelle,

No, the CVRD does not have a mandate that all residential areas be serviced by public transit. We have general service standards that suggest if developments are looking to have access to transit services they must be located within area that meets minimum density parameters of:

- 10 persons per hectare over a minimum 10 hectare area

We just want to make it clear that there should be no expectation of transit services if developing outside of these guidelines. I selected not recommended as from the transit perspective this development is too far removed to support transit services of any kind which may be requested in the future, however, if there is no expectation for that service then interests unaffected is probably appropriate.

I hope that helps clarify. Happy to chat further as needed, 746-2637.

Erin

-----Original Message-----

From: Rachelle Rondeau
Sent: December-02-16 9:06 AM
To: Erin Annis
Subject: FW: Message from "RNP002673853F77"

Hi Erin,

I had a question from the applicant about this referral response - he was wondering if the Facilities and Transit interests would be more accurately reflected as "Interests Unaffected"?

Does the CVRD have a mandate that all residential areas be ultimately serviced by public transit? If that is the case, then it appears your comments appropriately reflect CVRD's position.

Just looking for additional information/clarity so that I can advise the applicant.

Thanks

Rachelle

Rachelle Rondeau, MCIP, RPP
Planner, Development Services Division
Planning and Development Department
Cowichan Valley Regional District
175 Ingram Street, Duncan, BC V9L 1N8
E-mail: rrondeau@cvrld.bc.ca
Tel: 250.746.2620 Toll Free: 1.800.665.3955 Fax: 250.746.2621



Lake Cowichan First Nation

01-I-16RS - Rezoning Application for Dias (Carly Cove co-owners)

Project Summary

Project Name:

Rezoning Application for Dias (Carly Cove co-owners)

FN Consultation ID:

01-I-16RS

Proponent Organization:

[Cowichan Valley Regional District](#) [1]

Project Type:

7831 - CVRD - Bylaws

Project Details

Project Description:

This application proposes to rezone the approximately 10 ha (30 acre) parcel from F-1 (Forest Resource 1), to a new recreational/ residential zone.

Permanent:

0

General Comments and Notes:

Rachelle Rondeau:Planner, Development Services Division; Ph: 250-746-2620; Email: rrondeau@cvrd.bc.ca


Consultation Project Area

Location Description:


Approximately 5 km west of Youbou, this section of road is known as North Shore Road and is privately owned.

Supporting Media

File Attachments:

 [cvrd-file-no-01-i-16rs-dias-carly-cove.pdf](#) [2]

Shapefile Upload:

 [youbou.kmz](#) [3]

Workflow

Date Received:

Tuesday, May 31, 2016

External Contacts

Proponent Contact:

[Rachelle Rondeau](#) [4]

Regulatory Agency:

Cowichan Valley Regional District [1]

Source URL: <https://lcf.knowledgekeeper.ca/consultation/cowichan-valley-regional-district/projects/01-i-16rs-reoning-application-dias-carly>

Links

[1] <https://lcf.knowledgekeeper.ca/consultation/cowichan-valley-regional-district>

[2] <https://lcf.knowledgekeeper.ca/system/files/industry/1053/consultation/1250/attachments/cvrd-file-no-01-i-16r-dias-carly-cove.pdf>

[3] <https://lcf.knowledgekeeper.ca/system/files/industry/1053/consultation/1250/spatial-files/youbou.kmz>

[4] <https://lcf.knowledgekeeper.ca/consultation/cowichan-valley-regional-district/contacts/rachelle-rondeau>



MEMORANDUM

DATE: May 26, 2016 **FILE NO:** 01-I-16RS (Dias for Carly Cove)

TO: Rachelle Rondeau, Planner, Development Services Division

FROM: Jason deJong, Fire Rescue Services Coordinator, Public Safety Division

SUBJECT: Bylaw Amendment Referral Form No. 01-I-16RS (Dias for Carly Cove) – Public Safety Application Review

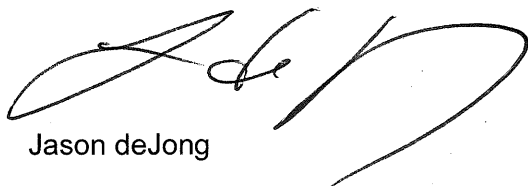
In review of the Bylaw Amendment Referral Form No. 01-I-16RS (Dias for Carly Cove) the following comments are made regarding the proposed amendment:

- ✓ Proposal is within the Lake Cowichan RCMP Detachment area.
- ✓ Proposal is within the British Columbia Ambulance Station 119 (Lake Cowichan) response area.
- ✓ Proposal is within the boundaries of the CVRD Regional Emergency Program.

Public Safety has the following concerns that may affect the delivery of emergency services to the proposed facility:

- ✓ Proposal is within Youbou Fire Protection boundaries area and their input may further affect Public Safety concerns/comments.
- ✓ The Community Wildfire Protection Plan has identified this area as **High risk for wildfire**.
- ✓ FireSmart principles must be adhered to and maintained (see attached information).
- ✓ All private roadways and driveways must be designed to support and allow access to the largest emergency vehicle likely to be operated on the driveway. This includes fire trucks and other emergency vehicles.
- ✓ As per Cowichan Valley Regional District House Numbering, Unsightly Premises and Graffiti Bylaw No. 1341, building numbers assigned are to be displayed in a conspicuous place on the property on which the building is located so that the number is visible from the roadway.

Sincerely,



Jason deJong

Rachelle Rondeau

From: Koch, David TRAN:EX <David.Koch@gov.bc.ca>
Sent: Thursday, May 26, 2016 9:46 AM
To: Rachelle Rondeau
Subject: Bylaw Referral - CVRD File No. 01-I-16RS

Hi Rachelle,

Please accept this email as an official response to your Bylaw Amendment Referral (CVRD File 01-I-16RS), sent on April 27th, 2016, Ministry File 2016-02638.

The Ministry has no objections to the Bylaw Amendment to rezone the 10 ha area in the Youbou area to a new recreational zone. However, it should be noted that as this area is developed further, public road access will need to be addressed through the subdivision process.

If you have any questions or concerns please feel free to contact me.

All the best,

David Koch

Ministry of Transportation and Infrastructure

District Development Technician

Office: (250)952-4489

Saanich Area Office:

240-4460 Chatterton Way | Victoria BC | V8X 5J2

Subdivision Approvals, Permits and Regulations: <http://www.th.gov.bc.ca/permits.htm>



COWICHAN VALLEY REGIONAL DISTRICT
175 Ingram Street, Duncan, B.C. V9L 1N8
Tel: (250) 746-2620 Fax: (250) 746-2621

BYLAW AMENDMENT REFERRAL FORM

Date: April 27, 2016
CVRD File No. 01-I-16RS
(Dias for Carly Cove)

The Cowichan Valley Regional District has received an application to rezone an approximate 10 ha (30 acre) parcel from F-1 (Forest Resource 1), to a new recreational/residential zone.

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Legal Descriptions: Parcel A (DD 73787¹), of Section 45, Renfrew District (PID: 000-222-348)

You are requested to comment on this proposal for potential effect on your agency's interests. We would appreciate your response by **Friday, May 27, 2016**. If no response is received within that time, it will be assumed that your agency's interests are unaffected. **If you require more time to respond, please contact Rachelle Rondeau, Planner, Development Services Division, by calling 250-746-2620 or e-mailing rrondeau@cvrld.bc.ca**

Comments: (attach comments if more space required)

- Approval recommended for reasons outlined below
- Interests unaffected
- Approval recommended subject to conditions below
- Approval not recommended due to reasons outlined below

Signature *[Signature]* Title SR. ENGINEERING Contact No. 250-746-2531
(sign and print) TECHNOLOGIST

As this development does not require CURD water or wastewater services, and is not within any CURD systems, Water Management has no comments.

This referral has been sent to the following agencies:

- Ministry of Transportation and Infrastructure (Victoria)
- Lake Cowichan First Nation (Hereditary Chief Cyril Livingstone)
- Cowichan Tribes (Larry George, Land & Governance)
- Ditidaht First Nation (Chief & Council)
- Youbou Volunteer Fire Department
- Island Health (Environmental Health/Duncan)
- School District 79
- Ministry of Forest, Lands, & Natural Resource
- RCMP (Lake Cowichan Detachment)
- BC Transit
- CVRD Facilities & Transit Division
- CVRD Parks & Trails Division
- CVRD Engineering Services Department
- CVRD Public Safety Division

FORESTRY/NATURAL RESOURCE – POLICIES

POLICY 3.1 Lands considered suitable for wildlife habitat and ecosystem conservation, forest management and other natural resource uses are designated as **Forestry/Natural Resource** on Schedule B – OCP Map.

POLICY 3.2 The **Forestry/Natural Resource Designation** will provide for long term resource extraction uses, water protection and environmental conservation.

POLICY 3.3 Parcels in the **Forestry/Natural Resource Designation** will have a minimum parcel size of not less than 80 hectares.

POLICY 3.4: Senior governments should ensure that landscape management techniques are utilized to minimize impacts of logging on the visual beauty of the Plan area.

POLICY 3.5 The OCP encourages the province and the private forest companies to manage natural resource lands in a manner which minimizes adverse impacts on the community water supply, surface watercourses, groundwater sources, hazard lands, critical wildlife habitat, old growth forests and other sensitive ecosystems as designated in the *Sensitive Habitat Atlas*.

POLICY 3.6: Invasive non-native plant species should be managed and, where possible, eradicated.

POLICY 3.7: The Ministry of Forests and the private forest companies are encouraged to allow access for outdoor wilderness recreation, that exists in the natural woodlands of the Plan area, for continuous use by future generations in conjunction with the management of the forest. This would include the controlled use of private logging roads and areas during non-operation periods for public recreational use, where possible, except during times of high and extreme fire hazard.

POLICY 3.8: No more than one dwelling per parcel will be permitted in the **Forestry/Natural Resource Designation**. Where a dwelling is constructed, the owner of the property is encouraged to address wildfire safety concerns. This may include landscaping, residential structural options, choice of building materials, adequate water storage or access, and on-site emergency planning.

POLICY 3.9 The OCP encourages the province to utilize the precautionary principle, when managing natural resource areas. The province is urged to provide regular monitoring reports to communities, to assure them that the Best Management Practices are achieving the desired results.

POLICY 3.10 The OCP encourages the provincial government to support the communities from which the timber supply originates by ensuring that local employment opportunities are available in primary forestry and value-added wood product processing.

POLICY 3.11 Most lands within the **Forestry/Natural Resource Designation** are within an area of high or extreme wildfire-rating hazard. Any increase in the wildland urban interface, where residential and forested lands are interspersed, will be minimized in the OCP area by designating future urban and suburban settlement in fully-serviced areas adjacent to the existing community.

POLICY 3.12 Residential growth will not be encouraged west of the Cottonwood Creek future development area outlined in this Plan. Among the reasons for this are:

- (a) Allowing haphazard development, sometimes called 'spot-zoning', takes away from the community's ability to create a more complete, livable community with a mix of housing, recreational and commercial opportunities, shared services, healthier lifestyles and a better protected resource base.
- (b) An increase in automobile dependent development west of Youbou would attract still more like development, and would result in additional automobile pollution and less concentration on alternative forms of travel such as walking, cycling and public transit;
- (c) An increase in residential holdings would fragment green space and wildlife habitat, including Roosevelt Elk habitat;
- (d) Increasing day and night road travel west of Youbou would further impact wildlife habitat;
- (e) Residential development can consume the working land base – forestry is a renewable resource;
- (f) Residential development in inappropriate areas can lead to forestry-residential land use conflicts, where complaints arise over logging, truck traffic, dust, noise, safety, etc.;
- (g) Rural and urban sprawl leads to inefficient servicing and higher costs for such servicing as fire protection, policing, school bus services, power, transit, ambulatory care, garbage collection, and transportation, which in turn may lead to higher overall taxes;
- (h) Rural and urban sprawl promotes more wildfire interface areas, where residential neighbourhoods are established in forested areas with extreme or high wildfire ratings; and
- (i) The logging road west of Youbou is a forest industrial road, and there are safety concerns pertaining to the mix of forestry and residential traffic, particularly during all daylight hours.

PART FIVE **ZONE CATEGORIES**

5.1 F-1 FOREST RESOURCE 1 ZONE

Subject to compliance with the general regulations detailed in Part 3 of this Bylaw, the following regulations apply in the F-1 Zone:

1. Permitted Uses

The following principal uses and no others are permitted in the F-1 Zone:

- a. Agriculture;
- b. Silviculture;
- c. Single-family dwelling;

The following accessory uses are permitted in the F-1 Zone:

- d. Bed and breakfast accommodation;
- e. Buildings and structures accessory to a principal permitted use;
- f. Home occupation.

2. Minimum Parcel Size

The minimum parcel size in the F-1 Zone is 80 hectares.

3. Number of Dwellings

Not more than one dwelling is permitted on a parcel that is zoned as F-1.

4. Setbacks

The following minimum setbacks apply in the F-1 Zone:

Type of Parcel Line	Forestry and Agricultural Buildings and Structures	Residential Buildings and Structures
Front parcel line	30 metres	7.5 metres
Interior side parcel line	15 metres	3.0 metres
Exterior side parcel line	15 metres	4.5 metres
Rear parcel line	15 metres	7.5 metres

5. Height

In the F-1 Zone, the height of all buildings and structures must not exceed 10 metres, except in accordance with Section 3.8 of this Bylaw.

6. Parcel Coverage

The parcel coverage in the F-1 Zone must not exceed 20 percent for all buildings and structures.

7. Parking and Loading

Off-street parking and loading spaces in the F-1 Zone must be provided in accordance with Sections 3.12 and 3.13 of this Bylaw.

BACKGROUND:

The initial application was prepared for consideration by the EASC for its June 21/17 meeting. The application was withdrawn at the outset of the meeting at the request of the applicants based upon a conversation held the CVRD Planning Department. Our initial question prior to withdrawal was essentially "If we withdraw this application and reconsider some of the issues identified by staff would any changes that the owners agree to result in a more favorable revised report going forward or are we just wasting time?". The response to that question was yes, changes would result in a more favorable report. . We did revisit those areas, sewer and septic as suggested by staff, and the owners have agreed to make some changes which we trust are reflected in a revised staff report. We have highlighted them below for your consideration.

AREAS OF RECONSIDERATION BY OWNERS:**SEWER DISPOSAL**

The owners have now agreed that all sewage disposal fields will be placed on the portions of each lot lying on the north side of the road. This satisfies staff concerns in a couple of ways. Firstly there is concern that having any septic field located as far away from the lake as possible is ultimately beneficial to the lake itself. To that end we have submitted a letter from a professional involved in waste water treatment which essentially states that it his experienced belief that siting of septic fields on the north side of the property is not a problem given soil conditions and slope of land. Secondly staff were concerned about the owners arguing in the future that, because these lots are proposed to be legally hooked across the road, additional subdivision is reasonable given their split. There are many reasons why this additional subdivision could not happen; future rezoning would be required; none of any requested new lots would have access to navigable water or a public road; and now with septic fields for lower lots future subdivision is quite unlikely.

SETBACKS

The owners were requested to look at additional setbacks from the Avg HWM (High Water Mark) 164'. The current setback is 15m and we were asked to consider 20m for building setback. The owners pegged the 15m, 20m and 30m setbacks on all lots and in consideration of the impact of changes can agree to a setback of 20m on all lots as suggested by CVRD Planning staff. This setback will be entrenched in a R/C Document to be registered at the time of subdivision. To that end we met with LeRoy Van Wieren, Chair of the Cowichan River and Lake Stewardship Society who visited the Carly Cove property twice, once before the setbacks were staked and once after. Our property is designated by the Society in one its reports as being in an area of the lake where foreshore disturbance is classified as being 0-19% disturbed. By contrast the village of Youbou is 100% disturbed. He was impressed by what the owners have done to maintain the natural vegetation in this area and agreed that through public education, emphasized with R/C's established through the Riparian Area Assessment report and registered at the time of subdivision will be very beneficial going forward. We asked Mr. Van Wieren, just as we asked CVRD staff regarding a revised report, if we were wasting our time going forward and

he essentially responded that he personally was not opposed to development and while optimally to protect the lake there should be no development at all , that scenario was not practical in any event.

AMENITY CONTRIBUTION

During our initial application we indicated that we would suggest the amenity contribution go to the Nature and Habitat Restoration Fund. We have since learned of the proposal to undertake major redevelopment of Arbutus Park on the lakefront of Youbou. To that end we now suggest that the \$50,000 we are offering as an amenity be contributed to that project. We understand that funding is in place for a new Washroom/Change Room and it will proceed this fall, but there is not enough funding to complete other components of the project. IE: new playground/replacement docks/ replacement boom/wave bumpers etc.

OTHER AREAS OF CONCERN IN STAFF REPORT:

-the CVRD staff report did not support this application due to the containment boundary defined in the current OCP. However, the Area I Advisory Planning Commission, a significant contributor to the OCP had no concerns with this aspect and further support our application.

-during a previous meeting with CVRD Staff we were advised that at the time of preparation of the OCP there was essentially a coin flip to determine whether our property as well as the 100 lot subdivision to the east and the 45+/- subdivision to the west would be designated for residential use versus the current Forestry designation. This discussion on the OCP Designation was confirmed by the area director as well. No mention of this discussion is made in the current staff report. Imagine our surprise when we heard of this!

-the background to this decision we are told is because of “no public road” whereas we were always of the understanding it was because “residential uptake would be assigned to the Youbou Lands” project. No development has taken place on Youbou Lands in the many years it has been on the books (12+/-).

-the initial internal referrals referenced in the staff report do not include the original Parks Department staff comments- “no interest in park dedication as part of this rezoning application and that cash in lieu will most likely be required at the time of **SUBDIVISION** and further the subdivision application will be referred to the Area I Parks Commission at the time of subdivision”. You can also imagine our surprise when the file was referred to the Parks Commission for consideration at the time of rezoning as opposed to subdivision!

-the staff report does not mention that we held a Public Meeting at the Youbou Community Hall in the late fall of 2015 prior to our January 2016 rezoning application. We advised the CVRD staff of that meeting in our cover letter in 2016 and noted no major public issues were identified at that meeting.

-the staff report is absent on any of the “benefits” of having R/C’s on the SPEA areas of property registered on title based upon the recommendations contained within the Riparian Area Assessment(RAR) Report and that further RAR work would be undertaken at the time of building permit through the Development Permit System.

-we have proposed 5% Compensation of Lieu of park land dedication, but have also suggested the requirement to dedicate a proposed 20m public road strip be waived at the time of subdivision as is allowed by the Land Titles Act. Staff are very familiar with this section and have told us that while the ultimate decision is with the Ministry of Transportation they have in the past, IE: Woodland Shores and the Cottages been very supportive of waivers and the Ministry has supported this. We are asking staff to support us in this endeavor and we can then not only will we pay cash in lieu but also dedicate park.

-it is mentioned in the staff report that in areas of high or extreme fire hazard new subdivisions should not be permitted. When we review the Safety Division reply on the internal referral we note we are designated "High" but the report also states FireSmart Principles must be adhered to and maintained. I assume this means if subdivision occurs non combustible building materials, water storage on site or pumps from the lake, clearing combustible vegetation from around homes etc. applies and we would agree to covenant those requirements. The report does not say no subdivision permitted?

-RCMP have stated that responding to emergencies in this area is extremely challenging! When I met with Sgt Wes Olsen in the summer of 2016 to question his original objection based upon no public road access I asked him how many incidents have there been in this area in his two/three years at the detachment and he said "none"?

-the report states "Changes in the forestry sector have resulted in sales of large tracts of land to owners for non-forestry uses". While the statement itself may no doubt be true it does not apply to us as this 30 acres has been in private hands since 1928 and has been used extensively for recreational purposes since 1963.

-The staff report states that until such time as "public road access is provided the property should remain in a forestry designation". The fact that this property is served by a private road is not relevant. The Land Titles Act allows "Access by Water Only" and the face of any approved subdivision plan will note that caveat, as will every title. The property is being utilized in a residential/ recreational way as are the 100 lots to the east and the 45+/- to the west. I am not sure that changing our current cooperative style of ownership to fee simple will significantly change the impact to that road.

Respectfully submitted

Jim Dias, Agent

Carly Cove



Office: (250) 746-4277
 Fax: (250) 746-4257

Email: skseptics@shaw.ca
 Web: www.skseptics.ca

5881 Howard Ave, Duncan B.C. V9L 3N7

RE Carly Cove

To whom it may concern,

September 17, 2017

On July 5, 2017 I did a site visit to the above address to provide an opinion on possible Onsite waste water systems. I walked the property on the North side of the road with Wayne Friesen and Jim Dias. I looked at a few excavations into the bank near the road. We also walked around up into the treed area.

I have over 25 years experience in the septic industry and I am a qualified Planer and Installer. I am very confident that waste water discharge areas can be installed in this area. Site assessments would be required to confirm costs. Site assessments include observation test pits, perc tests and soil analysis. All critical SPM (Standard practice manual) setbacks are obtainable. The property could have one larger system or individual systems. For individual Systems a two compartment septic tank and a separate single compartment pump tank would be placed near any dwelling to be constructed. Then the effluent would be pumped under the road to discharge area. The tank setback from the lake high water mark is 15m, similar to the dwelling setback from high water mark.

I visited the property again with Jim Dias on September 6, 2017 and can confirm that the 15m setback from Avg. HWM (164m) can be met on each of the new lots to be created.

Please contact me if you have any questions.

250 709 4497

Stewart Krumm, R.O.W.P.
 S.K. Septics Ltd.
 5881 Howard Ave.
 Duncan, B.C.
 V9L 3N7
 Office Phone: (250)746-4277
 Cellular Phone: (250)709-4497



From: Tracy Fleming
To: [Eamon Gaunt](#); [Rachelle Rondeau](#)
Cc: [Larry George](#)
Subject: Carly Cove (Cowichan Lake) rezoning application
Date: Thursday, July 20, 2017 12:25:54 PM

Hi Rachelle,

Thank-you for this. Despite the interpretation given in the attached staff report (of Cowichan Tribes November 2016 letter): "Originally opposed the proposal, subsequently met with the applicants and resolved a list of conditions if development is to proceed." , Cowichan Tribes remains concerned about development along Cowichan Lake, especially new proposals like this beyond Cottonwood Creek. CT is still opposed to this proposal, in principle, although if in future CVRD were to vote to proceed with rezoning (and I am happy to see the many concerns you outline in the staff report also align with ours) then the list of conditions that are presented in the letter would need to apply.

I hope that helps to clarify our position.
Tracy

*Tracy Fleming, M.Sc.
Referrals Coordinator
Cowichan Tribes
5762 Allenby Road
Duncan, BC V9L 5J1
(250) 748-3196 x 358*

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>>> Rachelle Rondeau <rrondeau@cvrld.bc.ca> 7/19/2017 3:40 PM >>>

Hi Tracy,

Please see the attached staff report. This was referred to to the June 21, 2017 Electoral Area Services Committee. However, the applicants have requested, and been granted, that this application be tabled pending their review to address the concerns. At the moment, I do not have a new date for when this might be considered. I will attempt to keep you posted, but please follow up with me in a month and I may know more .



Cowichan Tribes

5760 Allenby Road Duncan, BC V9L 5J1
Telephone (250) 748-3196 Fax: (250) 748-1233

Tuesday, November 15, 2016

Rachelle Rondeau
Planner, Cowichan Valley Regional District
175 Ingram Street
Duncan, BC V9L 1N8

Our file RTS: 873131
Your file: 01-I-16RS

BY ELECTRONIC MAIL: rondeau@cvrd.bc.ca

Dear Rachelle Rondeau;

Re: Proposed rezoning of forestry resource lands to recreational/residential uses at Carly Cove, near Youbou

I would like to thank you for meeting with my staff on November 3, 2016. Cowichan Tribes staff, Candace Charlie and Tracy Fleming, as well as our Cultural Consultant Luschiim Arvid Charlie, met on site with Jim Dias and Wayne Friesen at Carly Cove on October 12, 2016. Luschiim informed us that this area is known by Cowichan Elders as *Xwaaqw'um* (roughly pronounced Quaquum in English), named after the female mergansers that were known to congregate there.

In general, Cowichan Tribes has concerns with development along the foreshore of Cowichan Lake. In too many instances riparian integrity is lost to development interests, resulting in loss of freshwater spawning habitat, as well as safe lake access points for the provincially blue-listed Cowichan Elk herd. Both fish and elk are important food sources for the Cowichan people and are essential to the continued health of our community. These pressing concerns cannot be secondary to development pressures if the CVRD wishes to honour their government-to-government relationship with Cowichan Tribes. Another prominent concern to Cowichan Tribes is that the upland of this property is directly adjacent to Crown lands selected by Cowichan Tribes for treaty land selection. Future Cowichan member access to the lake and to elk hunting grounds is compromised by any future development of the adjacent lands to this Crown land piece.

Cowichan Tribes' response to Carly Cove, Cowichan Lake referral, November 15, 2016

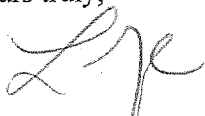
Cowichan Tribes have developed the following list of conditions we believe are necessary to sustain the ecological functions of this area, and therefore essential to a binding agreement with the proponents:

- No development or other alteration (including native vegetation removal) within riparian areas (maximum SPEA of 15 m) associated with streams, ditches, wetlands or lake shore identified in the RAR report by Madrone Environmental Ltd. in 2015.
- No development of public trail system on the foreshore of Cowichan Lake. This action would severely diminish remaining riparian vegetation.
- No additional private docks construction. The land owners of this property can designate one or two existing docks for shared access and enjoyment by the Carly Cove land owners. Each additional dock along Cowichan Lake adds to the cumulative impact on riparian and shore spawning habitat. Docks preclude healthy aquatic vegetation resulting in higher predation rates to juvenile salmonids. Additionally, trails developed to access docks result in removal or trampling of riparian vegetation, further impacting the health of the lake shoreline.
- No additional driveways constructed. The land owners to need to agree to continue to share vehicle access roads onto the property.
- Trees will not be cut on the property except within previously designated future building footprints, and for safety reasons.
- We suggest that the landowners at Carly Cove invest in a community septic treatment facility that will meet the needs of current and future residential uses.
- Cowichan Tribes strongly recommends that no fencing be erected for boundary lines or garden enclosures on the property. The property is used by elk in very high frequency and needs to remain available to them for access to the lake, shelter and food. Fencing limits elk movement, and can be a safety hazard for them if their antlers become ensnared in fencing materials.
- This property is adjacent to Crown Land that has been selected by Cowichan Tribes for treaty purposes; therefore we strongly suggest that the CVRD ensure lake access is obtained for future access by Cowichan members.
- CVRD needs to ensure that beyond the present request, no future subdivision of parcels occurs at Carly Cove, either by parceling off the parts of lots on the north side of the road, or by further subdivision.

Please consider the above points as constituting Cowichan Tribes comments and recommendations to date. If you have any concerns or require clarification, please do not hesitate to contact myself, Candace Charlie at Candace.charlie@cowichantribes.com, or Tracy Fleming

at tracy.fleming@cowichantribes.com. We look forward to more communication about the results of CVRD committee and board decisions on this property.

Yours truly,



Larry George
Smaalthun
Manager, Lands and Governance

LG/af

c. Jim Dias, via email jimdias@shaw.ca



Cowichan Tribes

5760 Allenby Road Duncan, BC V9L 5J1
Telephone (250) 748-3196 Fax: (250) 748-1233

May 26, 2016

Our File: 873131
Your File: 01-I-16RS

Rachelle Rondeau
Planner, Cowichan Valley Regional District
175 Ingram Street
Duncan, BC V9L 1N8

BY ELECTRONIC MAIL: rrondeau@cvrld.bc.ca

Re: Rezoning Application – North Shore Road (Section 45, Renfrew District)

Ms. Rondeau,

Cowichan Tribes has received and reviewed your referral package dated April 27, 2016 regarding the above noted application to rezone an approximately 30 acre parcel 5km west of Youbou from F-1 (forestry resource) to a new recreational and residential zone. We understand that there has been recreational use of the property dating back to 1963 and that this activity is presently ongoing.

Cowichan Tribes has inquired about, but not received any supporting documentation or reports from either the CVRD or directly from the proponent relating to the existing environmental baseline conditions of this parcel, and therefore we are unable to properly identify particular areas of concern as they relate to Cowichan Tribes' Aboriginal Interests. We therefore argue that consultation on this referral to date has been wholly inadequate due to the fact that we are made to provide comment on this rezoning proposal without full knowledge of the impact that this proposal would have on our constitutionally-protected Aboriginal Rights and Title. There is a duty on the Crown to ensure that a First Nation is provided with full information on any measure proposed and its effect on the First Nation¹. We would appreciate the CVRD fulfilling its legal obligation by requiring that proponents submit with their application supporting environmental studies where deemed appropriate to do so (i.e., in areas not already subject to intense industrial activity).

That being said, our concerns constitute, but are not limited to, the following:

- The project proposal area contains TWO extremely sensitive wetlands. These important ecosystems are the only ecosystems designated for conservation by international convention². They provide food and essential habitat for many species of fish, shorebirds, waterfowl, and furbearing mammals. They filter sediments and toxic substances, and absorb the impact of hydrologic events (floods). As a result of colonial activity, wetlands have become a scarce resource. They are particularly sensitive to erosion and flooding, and often have very close connections with the groundwater system. Any further development initiated within the vicinity of such important and sensitive fish and wildlife habitats would be environmentally irresponsible.
- The project proposal area has been identified as Roosevelt Elk habitat. This species is blue-listed, and under stress from hunting and habitat loss. Causing habitat fragmentation and disrupting the local migration paths of these animals will result in their further endangerment.

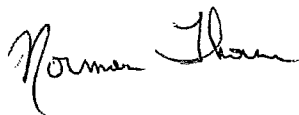
¹ *R. v. Jack* (1995) 16 B.C.L.R. (3d) 201 BCCA

² http://www.ramsar.org/sites/default/files/documents/library/scan_certified_e.pdf

- As cited in the Youbou/Meade Creek OCP Bylaw No. 2650, “[r]ural and urban sprawl promote more wildlife interface areas, where residential neighbourhoods are established in forested areas with extreme or high wildfire ratings” (pg. 8).
- The Crown land parcels surrounding the proposal area that were identified in the CVRD map sent to Cowichan Tribes are parcels which we have included as part of our BC Treaty Crown land selection. These land selection discussions are well underway and Cowichan Tribes opposes any haphazard development in this area.

In the absence of further information provided to Cowichan Tribes regarding the proposal area, these will be considered preliminary comments. If you have any further questions, please do not hesitate to contact my referrals staff at: Candace.charlie@cowichantribes.com

Sincerely,



For Larry George
Smaalthun
Manager, Lands & Governance

LG/cc



COWICHAN VALLEY REGIONAL DISTRICT
 175 Ingram Street, Duncan, B.C. V9L 1N8
 Tel: (250) 746-2620 Fax: (250) 746-2621

BYLAW AMENDMENT REFERRAL FORM

Date: April 27, 2016
 CVRD File No. 01-I-16RS
 (Dias for Carly Cove)

The Cowichan Valley Regional District has received an application to rezone an approximate 10 ha (30 acre) parcel from F-1 (Forest Resource 1), to a new recreational/residential zone.

General Property Location: Approximately 5 km west of Youbou, this section of road is known as North Shore Road and is privately owned.

Legal Descriptions: Parcel A (DD 73787¹), of Section 45, Renfrew District (PID: 000-222-348)

You are requested to comment on this proposal for potential effect on your agency's interests. We would appreciate your response by **Friday, May 27, 2016**. If no response is received within that time, it will be assumed that your agency's interests are unaffected. **If you require more time to respond, please contact Rachele Rondeau, Planner, Development Services Division, by calling 250-746-2620 or e-mailing rrondeau@cvrld.bc.ca**

Comments: (attach comments if more space required)

- | | |
|---|---|
| <input type="checkbox"/> Approval recommended for reasons outlined below | <input checked="" type="checkbox"/> Interests unaffected |
| <input type="checkbox"/> Approval recommended subject to conditions below | <input type="checkbox"/> Approval not recommended due to reasons outlined below |

Signature *Tanya Sivoka* (sign and print) Title Parks & Trails Planner Contact No. 250-746-2614

There is no interest for parkland dedication as part of this rezoning application. Cash in lieu will most likely be required at the time of subdivision. The subdivision application will be referred to the Area I Parks Commissioner at the time of subdivision.

This referral has been sent to the following agencies:

- | | |
|---|---|
| <input checked="" type="checkbox"/> Ministry of Transportation and Infrastructure (Victoria) | <input checked="" type="checkbox"/> School District 79 |
| <input checked="" type="checkbox"/> Lake Cowichan First Nation (Hereditary Chief Cyril Livingstone) | <input checked="" type="checkbox"/> Ministry of Forest, Lands, & Natural Resource |
| <input checked="" type="checkbox"/> Cowichan Tribes (Larry George, Land & Governance) | <input checked="" type="checkbox"/> RCMP (Lake Cowichan Detachment) |
| <input checked="" type="checkbox"/> Ditidaht First Nation (Chief & Council) | <input checked="" type="checkbox"/> BC Transit |
| <input checked="" type="checkbox"/> Youbou Volunteer Fire Department | <input checked="" type="checkbox"/> CVRD Facilities & Transit Division |
| <input checked="" type="checkbox"/> Island Health (Environmental Health/Duncan) | <input checked="" type="checkbox"/> CVRD Parks & Trails Division |
| | <input checked="" type="checkbox"/> CVRD Engineering Services Department |
| | <input checked="" type="checkbox"/> CVRD Public Safety Division |



MEMORANDUM

DATE: November 21, 2016 **FILE NO.** 01-I-16RS
TO: Rachelle Rondeau, Planner II
FROM: Tanya Soroka, Parks & Trails Planner
SUBJECT: Proposed Rezoning of Carly Cove Property on Cowichan Lake Approximately 5 km West of Youbou—Amenity Contributions

Parks & Trails staff, along with the Electoral Area I Parks Commission, has reviewed this proposed subdivision application and the Parks Commission passed the following motion at their meeting held on September 13, 2016:

- " - The protection of the Riparian Zone is imperative**
- At least one lot should be set aside for park dedication**
- In addition, there should be a funding contribution to the Area I Nature and Habitat Fund established for Cowichan Lake."**

Two site visits were conducted in July and September 2016. It was determined that as an amenity contribution some land should be dedicated to the CVRD as parkland as well as providing a monetary contribution towards the Area I Nature and Habitat Fund for Cowichan Lake. CVRD Parks & Trails staff is supportive of this motion.

Once the applicants are ready to move forward, CVRD staff (Parks and Planning) should meet with the applicants to discuss the details of the amenity contributions. Once the details are worked out then a Section 219 covenant will be prepared to secure the public amenity commitments to ensure that the transfer occurs at the time of subdivision. A formal survey plan should be prepared at the time of subdivision.

Once a preliminary site plan is completed as part of the rezoning package, it will be attached to the covenant to identify the general location of the park. A draft of the park covenant will be prepared prior to public hearing. As part of the subdivision, this park land will be transferred in fee simple to the CVRD as a separately titled lot and the financial contribution will be deposited into the Area I Nature and Habitat Fund for Cowichan Lake.

Sincerely,

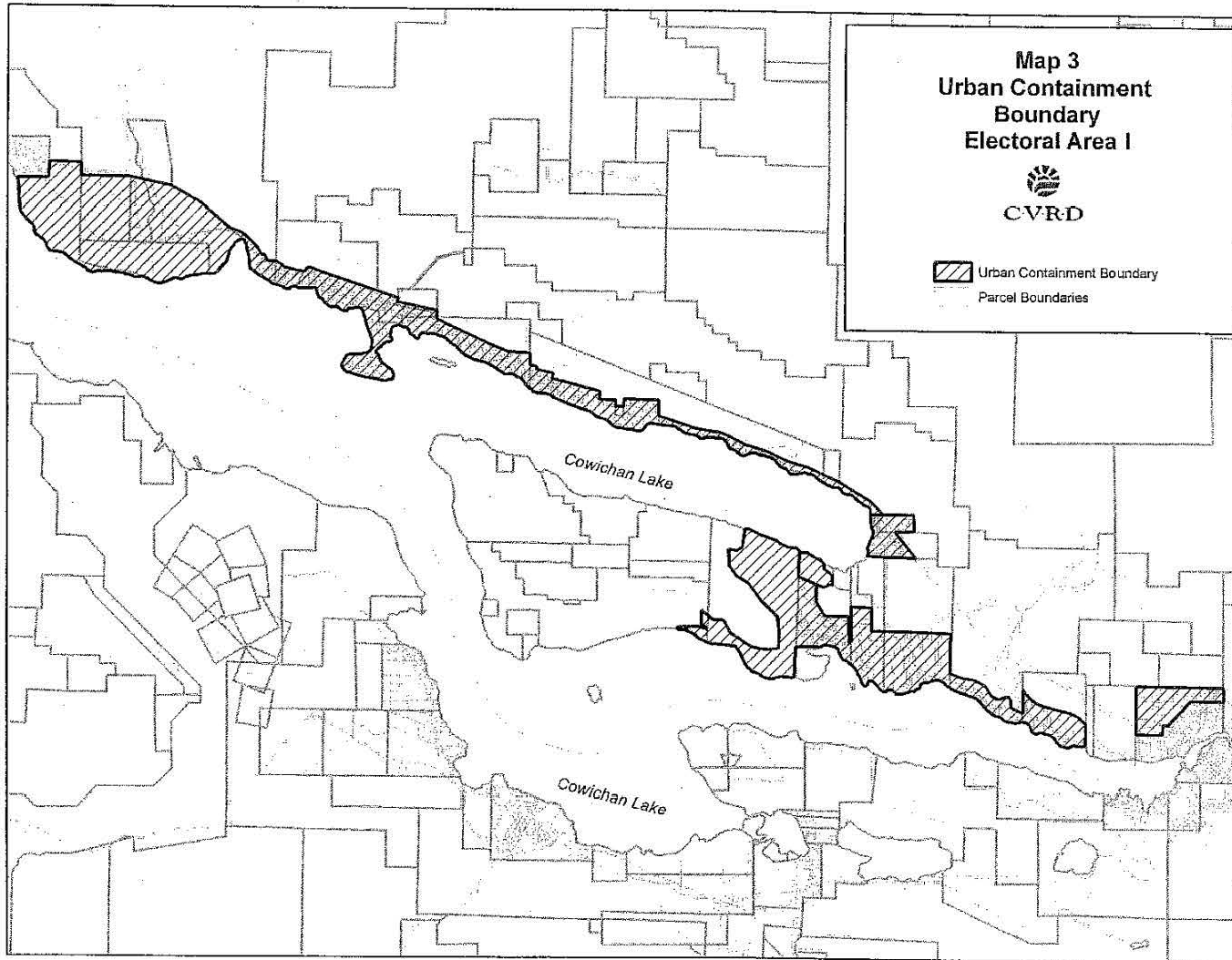
Tanya Soroka, MCIP, RPP
 Parks & Trails Planner, Parks & Trails Division
 Planning & Development Department

TS/dsb

pc: Director K. Kuhn, Electoral Area I – Youbou/Meade Creek
 Jim Dias, applicant

z:\2016 data\parks & trails\planners\nov 18-memo to development services division re carly cove property.docx

ATTACHMENT F





Cowichan Tribes

5760 Allenby Road Duncan, BC V9L 5J1
Telephone (250) 748-3196 Fax: (250) 748-1233

November 23, 2017

Electoral Area Services Committee of the Cowichan Valley Regional District
c/o Planning Department
175 Ingram Street
Duncan, BC V9L 1N8

VIA ELECTRONIC MAIL: rroudeau@cvrld.bc.ca , rconway@cvrld.bc.ca

Re: *Xwaaqw'um* ("Carly Cove") OCP and Zoning Amendment Application: CVRD File No. 01-I-16RS

To Whom It May Concern,

I write in response to statements made regarding the above-noted application at a meeting of the CVRD Electoral Area Services Committee held November 1, 2017. During this meeting the applicant, Mr. Jim Dias, attempted to persuade the committee to view an approval of this application as relatively harmless in its effects. With respect, Cowichan Tribes disagrees. I will address each of Mr. Dias' arguments in turn below.

1. *Rezoning and subdivision is needed to ensure the security of the owners' estate planning activities.* If the current group of owners currently holds the property by way of tenancy in common, there is no obstacle to estate planning; each owner is free to dispose of his or her interest in the property upon death as he or she wishes. If one tenant in common dies, that person's share of the property becomes a part of the deceased's estate. The property owners were well aware of what they were purchasing at the time that they purchased it. Lack of forethought on the part of the owners should not be used as a justification in this case.
2. *There are subdivisions both to the east and west of the subject property.* Existing development does not provide a justification for more development; in fact, we would submit that the amount of existing development would necessarily *weaken* the argument for further development.
3. *The OCP is outdated: development is not occurring at the "Youbou Lands" site, so therefore it should be allowed on this property instead.*
 - a. With respect, the applicant is asking the CVRD in essence to multiply the acreage allowed to be developed at *Snishutsum* (Youbou); i.e., to keep the

Youbou Lands open for development, and also allow his property to be further developed.

- b. The CVRD here should adopt a forward-looking view: the property values around Cowichan Lake have been rising, and will continue to rise for the foreseeable future as populations are pushed out of urban centres due to the inflated housing market. No doubt, the Youbou Lands will, sooner rather than later, become very attractive to real estate developers. If the CVRD wants to prematurely change the entire OCP for this area to remove the Youbou Lands urban containment boundary, then they should endeavor to do so – *pending full and meaningful consultation with First Nations and the public*. Changing the OCP in such a haphazard, piecemeal, and incremental way is not practicing responsible stewardship of the lands – it is tantamount to skirting the responsibilities of the regional district to undertake a complete, transparent, and thorough land use planning process with public and First Nations input.
4. *We have been mindful of the environment in our use of the lands.* That may be so, but what about future owners? If this rezoning and subdivision is granted, it can safely be said that a fair number of those who eventually inherit or buy the lots may not be so mindful of the environment. Again, it will serve the CVRD's interests, and indeed, the interests of the area as a whole, to adopt a forward-thinking perspective in this case.
5. *We've agreed to put a restrictive covenant on the title.* The difficulty that the CVRD currently faces in enforcing environmental protection, particularly in riparian areas, is openly acknowledged by the staff and by committee members¹. This difficulty is magnified in remote areas, such as *Snishutsum*. There is a sense of entitlement that private waterfront property owners hold in the area, and many do what they like regardless of regulations or covenants. The CVRD would be ill-advised to allow continued residential development in the absence of a comprehensive and efficient enforcement program with adequate and stable funding.
6. *Sharing a dock is like sharing a patio.* These two situations are hardly analogous. There is no legitimate reason why the landowners cannot share a dock. There are already multiple docks on the property. In addition to the detrimental effects that overwater structures can have on the receiving freshwater environment, the foreshore is a vital space for the local elk herd. Increasing the use of recreational boating and moorage so close to this important space will further stress the elk.
7. *There should be no concern about the access road; we have never had any problems with it.* This property is rated as an extreme wildfire hazard area. It is also located in an area that can be subject to landslides during extreme weather events. Keeping in mind the recent climate trends for the area, the fact that the road has never caused issues before is entirely irrelevant. Should a fire or landslide occur and spill over onto that road, there is no other way to get to that property. If these owners want to build residences here, there needs to be adequate access for emergency response purposes.

¹ Rob Conway, pers. comm; see also "Riparian Area Compliance Program" staff report to Electoral Area Services Committee Meeting of November 15, 2017.

8. *This is not the same situation as forestry companies selling off the lands – the history of the land acquisition is different, therefore, the treatment should be different.* We fail to see how this makes any logical sense. Why does it matter that the current owners purchased the land from a person rather than a corporation? The effects of the rezoning and subdivision would be exactly the same. Again, the land owners knew what they were buying when they bought it.

In conclusion, for the reasons stated above we urge the CVRD to deny this application. In moving forward as neighbours, partners, and in the spirit of collaboration as governments, we hope that the CVRD meaningfully considers the ramifications of allowing development to continue in this way at *Snishutsum*- both to the future generations of Cowichan Tribes members, and to the future generations of the larger community who will depend on a healthy and properly balanced land base.

Sincerely,



Larry George
Manager, Lands & Governance
LG/cc



COWICHAN VALLEY REGIONAL DISTRICT

BYLAW No. XXXX

A Bylaw for the Purpose of Amending Official Community Plan Bylaw No. 2650, Applicable to Electoral Area I – Youbou/Meade Creek

WHEREAS the *Local Government Act*, hereafter referred to as the "Act", as amended, empowers the Regional Board to adopt and amend official community plan bylaws;

AND WHEREAS the Regional District has adopted an official community plan bylaw for Electoral Area I – Youbou/Meade Creek, that being Official Community Plan Bylaw No. 2650;

AND WHEREAS the Regional Board voted on and received the required majority vote of those present and eligible to vote at the meeting at which the vote is taken, as required by the *Act*;

AND WHEREAS after the close of the public hearing and with due regard to the reports received, the Regional Board considers it advisable to amend Community Plan Bylaw No. 2650;

NOW THEREFORE the Board of Directors of the Cowichan Valley Regional District, in open meeting assembled, enacts as follows:

1. **CITATION**

This bylaw shall be cited for all purposes as "**CVRD Bylaw No. XXXX – Electoral Area I – Youbou/Meade Creek Official Community Plan Amendment Bylaw (PID: 000-222-348), 2018**".

2. **AMENDMENTS**

Cowichan Valley Regional District Official Community Plan Bylaw No. 2650, as amended from time to time, is hereby amended as outlined on the attached Schedules A and B.

3. **CAPITAL EXPENDITURE PROGRAM**

This bylaw has been examined in light of the most recent Capital Expenditure Program and Solid Waste Management Plan of the Cowichan Valley Regional District and is consistent therewith.

.../2

READ A FIRST TIME this _____ day of _____, 2018.

READ A SECOND TIME this _____ day of _____, 2018.

READ A THIRD TIME this _____ day of _____, 2018.

ADOPTED this _____ day of _____, 2018.

Chairperson

Corporate Secretary



SCHEDULE "A"

To CVRD Bylaw No. XXXX

Schedule A to Official Community Plan Bylaw No. 2650, is hereby amended as follows:

1. After Policy 4.42, Insert the following Sections:

“Recreation Residential

Policy 4.43: Land described as Parcel A (DD 73787-1), Section 45, Renfrew District PID: 000-222-348 is located between two historic subdivisions pre-dating any Official Community Plan for Electoral Area I, and has been used recreationally for seasonal camping.

Policy 4.44: Notwithstanding Policy 4.1, 4.2, and 4.11, the subdivision of land to accommodate single family dwellings and camping is permitted on lands designated Recreation Residential.

Policy 4.45: Where a single family dwelling exists on a parcel of land, the maximum number of private camping spaces permitted on the same parcel is one. Where no single family dwelling exists, the maximum number of private camping spaces per parcel is two.”

2. New Section 20 is inserted and subsequent sections are renumbered.

Section 20 – Wildfire Protection Development Permit Area

20.1 Category

The Wildfire Protection Development Permit Area (DPA) is designated pursuant to Section 488 of the *Local Government Act* for the protection of development from hazardous conditions

20.2 Scope

The Wildfire Protection DPA applies to land designated on the Wildfire Protection Development Permit Area map.

20.3 Justification

Lands designated within the Wildfire Protection DPA are within areas classified as “High” or “Extreme” for wildfire interface hazard, and development must be carefully planned to mitigate potential wildfire risk to surrounding lands, to plan for evacuation, to ensure that emergency vehicles can access the properties and to decrease the vulnerability of structures to damage from fire.

20.4 Guidelines

Prior to undertaking subdivision of the lands, an owner of land will apply to the CVRD for a Development Permit in accordance with the following and in consideration of local fire-

fighting capability:

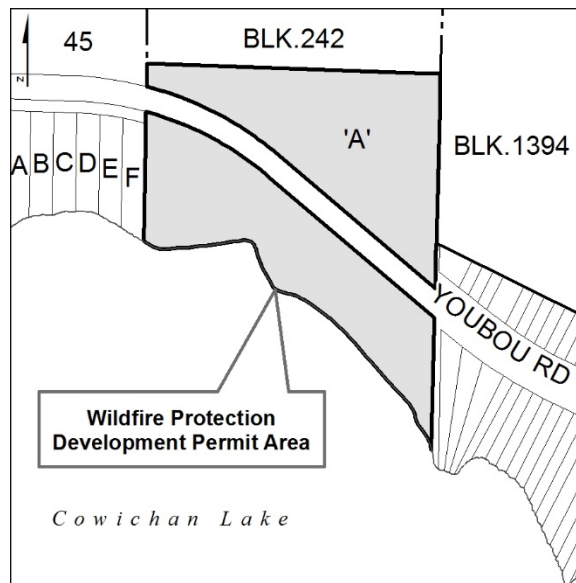
- (a) A wildfire threat/interface hazard assessment prepared by a qualified professional will be submitted by the applicant, and will make recommendations regarding the following:
 - (i) Reducing the risk of wildfire being initiated on the subject properties;
 - (ii) Decreasing the vulnerability of proposed structures from wildfire;
 - (iii) Application of FireSmart principles during land development and recommendations regarding construction/placement of structures;
 - (iv) Emergency access and evacuation procedures including recommendations on required widths of roads, driveways and access easement areas;
 - (v) Land development methods including precautions during tree clearing;
 - (vi) Long-term vegetation management; and
 - (vii) Infrastructure improvements including but not limited to water storage requirements and access routes.
- (b) The CVRD may require the registration of a covenant on title(s) to ensure that the recommendations of the wildfire threat/interface hazard assessment are implemented including requirements to be implemented at the building permit stage.
- (c) All parcels created through subdivision shall have suitable emergency access.
- (d) Non-combustible materials should be used for building roofs and cladding.
- (e) The CVRD may require the registration of a covenant on title(s) to save harmless the CVRD in the event of any damages resulting from a fire hazard on the subject or nearby properties.

20.5 Exemptions

- (a) Lot consolidations or parcel re-alignments between existing parcels;
 - (b) Construction of buildings or structures; and
 - (c) Placement of recreational vehicles or park model units.
3. That Parcel A (DD 73787-I), Section 45, Renfrew District (PID: 000-222-348), as shown outlined in a solid black line on Plan number Z-XXXX attached hereto and forming Schedule B of this bylaw, be redesignated from Forestry/Natural Resource to Recreation Residential; and that Schedule B to Official Community Plan Bylaw No. 2650 be amended accordingly.
 4. The land use designation Recreation (RR) is added to the legend of Schedule B, the OCP Plan Map.
 5. That Appendix 1 – Maps – be amended to add new map, “Wildfire Protection Development Permit Area.”

MAP 20

WILDFIRE PROTECTION DEVELOPMENT PERMIT AREA





COWICHAN VALLEY REGIONAL DISTRICT

BYLAW No. XXXX

A Bylaw for the Purpose of Amending Zoning Bylaw No. 2465 Applicable to Electoral Area I – Youbou/Meade Creek

WHEREAS the *Local Government Act*, hereafter referred to as the "Act", as amended, empowers the Regional Board to adopt and amend zoning bylaws;

AND WHEREAS the Regional District has adopted a zoning bylaw for Electoral Area I – Youbou/Meade Creek that being Zoning Bylaw No. 2465;

AND WHEREAS the Regional Board voted on and received the required majority vote of those present and eligible to vote at the meeting at which the vote is taken, as required by the *Act*;

AND WHEREAS after the close of the public hearing and with due regard to the reports received, the Regional Board considers it advisable to amend Zoning Bylaw No. 2465;

NOW THEREFORE the Board of Directors of the Cowichan Valley Regional District, in open meeting assembled, enacts as follows:

1. CITATION

This bylaw shall be cited for all purposes as "**CVRD Bylaw No. XXXX – Electoral Area I – Youbou/Meade Creek Zoning Amendment Bylaw (PID: 000-222-348), 2018**".

2. AMENDMENTS

Cowichan Valley Regional District Zoning Bylaw No. 2465, as amended from time to time, is hereby amended in the following manner:

- a) That the RR-1 (Recreation Residential 1) Zone be added to Section 4.1 Creation of Zones.
- b) That the following definition is added to Section 1.3

“private camping space” means a designated area intended for the exclusive temporary occupancy of one tent, or one recreational vehicle or park model mobile home that is equipped with a sewage disposal system compliant with the *Sewage System Regulation* or otherwise authorized by Island Health.

- c) That Section 5.2.2 be added after Section 5.2.1

5.2.2 RR-1 Recreation Residential 1 Zone

Subject to compliance with the general regulations detailed in Part 3 of this Bylaw, the following regulations apply in the RR-1 Zone:

1. Permitted Uses

The following principal uses and no others are permitted in the RR-1 Zone:

- a. Agriculture;
- b. Single-family dwelling
- c. Private camping space.

The following accessory uses are permitted in the RR-1 Zone:

- d. Bed and Breakfast;
- e. Home occupation; and
- f. Buildings and structures accessory to a principal permitted use.

2. Maximum Permitted Density

- a. One single family dwelling is permitted per parcel.
- b. On a parcel where there is located one single family dwelling, one private camping space is also permitted per parcel.
- c. On a parcel where there is no single family dwelling, two private camping spaces are permitted per parcel.

3. Minimum Parcel Size

- a. The minimum parcel size is 1 hectare.

4. Setbacks

The following minimum setbacks for buildings and structures apply in the RR-1 Zone:

Parcel Line	Principal and Accessory Uses, Buildings and Structures
Front	7.5 metres
Interior Side	6.0 metres
Exterior Side	6.0 metres
Rear	6.0 metres
Cowichan Lake High Water Mark	20 metres

5. Height

The following maximum height regulations apply in the RR-1 Zone:

- a. Principal buildings and structures: 10 metres; and
- b. Accessory buildings and structures: 7.5 metres.

6. Parcel Coverage

The parcel coverage in the RR-1 Zone must not exceed 5% for all buildings and structures.

7. Servicing

No single family dwelling, recreational vehicle, park model mobile home or accessory building with sanitary facilities shall be established on a parcel unless it is equipped with a sewage disposal system compliant with the *Sewage System Regulation* or otherwise authorized by Island Health.

8. Conditions of Use

- a. The maximum building footprint of a single family dwelling shall not exceed 112 m²;
- b. The total floor area of a single family dwelling shall not exceed 224 m²;

- c. No accessory building shall have a gross floor area exceeding 60 m².

9. Parking and Loading

Off-street parking and loading spaces in the RR-1 Zone must be provided on each parcel.

- d) That Schedule B (Zoning Map) to Electoral Area I – Youbou/Meade Creek Zoning Bylaw No. 2465 is further amended by rezoning Parcel A (DD 73787-I), Section 45, Renfrew District (PID: 000-222-348), as shown outlined in a solid black line on Schedule A attached hereto and forming part of this bylaw, numbered Z-XXXX, from F-1 (Forest Resource 1) to RR-1 (Recreation Residential).

3. FORCE AND EFFECT

This bylaw shall take effect upon its adoption by the Regional Board.

READ A FIRST TIME this _____ day of _____, 2018.

READ A SECOND TIME this _____ day of _____, 2018.

READ A THIRD TIME this _____ day of _____, 2018.

ADOPTED this _____ day of _____, 2018.

Chairperson

Secretary



STAFF REPORT TO COMMITTEE

DATE OF REPORT December 21, 2017

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Water Management Division
Engineering Services Department

SUBJECT: Requisition Limit Increase – Carlton Water System

FILE: 0540-20-EAS

PURPOSE/INTRODUCTION

The purpose of this report is to recommend an increase to the maximum annual requisition limit for the Carlton Water System Service Area.

RECOMMENDED RESOLUTION

That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 3627 – Carlton Water System Service Establishment Bylaw, 2012, to increase the maximum annual requisition limit from \$30,000 to \$37,500.

BACKGROUND

The Carlton Water System Service Area requisition limit has not been increased since establishment in 2012. The requisition limit charged is currently the maximum allowed. Growth in this service area has increased and reserve funds equate to approximately \$7,000.

ANALYSIS

The 2018, the requisition to be charged is \$30,000 and the estimated cost of parcel tax is \$652 per year per home. As asset renewal and water source projects are eminent, an increase in the requisition will be required. Also the service area has been growing and more expressions of interest to join the service area have been received by adjacent property owners. In order to charge the same parcel tax rate a higher requisition limit is required if there are more properties in the service area.

The proposed requisition limit increase meets the criteria for exemption from obtaining the Inspectors approval, in accordance with *Regional Districts Establishing Bylaw Approval Exemption Regulation, BC Reg. 113/207*.

FINANCIAL CONSIDERATIONS

The annual cost of providing this water service is recovered by user fees of \$400 per year and parcel tax of \$652. The maximum parcel tax requisitions have been:

- \$30,000 for the Carlton Water System or \$652 per home

The proposed increase is \$37,500 or \$815 per home if the maximum requisition is charged based on the existing service area or an increase of 25% in the properties could occur at the same parcel tax rate.

COMMUNICATION CONSIDERATIONS

Not applicable.

STRATEGIC/BUSINESS PLAN CONSIDERATIONS

Water management budgets fall under essential reliable services.

Referred to (upon completion):

- Community Services (*Island Savings Centre, Cowichan Lake Recreation, South Cowichan Recreation, Arts & Culture, Public Safety, Facilities & Transit*)
- Corporate Services (*Finance, Human Resources, Legislative Services, Information Technology*)
- Engineering Services (*Environmental Services, Capital Projects, Water Management, Recycling & Waste Management*)
- Planning & Development Services (*Community & Regional Planning, Development Services, Inspection & Enforcement, Economic Development, Parks & Trails*)
- Strategic Services

Prepared by:

Louise Knodel-Joy
Senior Engineering Technologist

Reviewed by:

Brian Dennison, P. Eng.
Manager

Hamid Hatami, P. Eng.
General Manager



STAFF REPORT TO COMMITTEE

DATE OF REPORT December 21, 2017

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Water Management Division
Engineering Services Department

SUBJECT: Requisition Limit Increase – Shellwood Water System

FILE: 0540-20-EAS

PURPOSE/INTRODUCTION

The purpose of this report is to recommend an increase to the maximum annual requisition limit for the Shellwood Water System Service Area.

RECOMMENDED RESOLUTION

That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 3624 – Shellwood Water System Service Establishment Bylaw, 2012, to increase the maximum annual requisition limit from \$24,500 to \$30,625.

BACKGROUND

The Shellwood Water System Service Area requisition limit has not been increased since establishment in 2012. The requisition limit charged is currently the maximum allowed. There is no growth expected in this service area and there are no reserve funds.

ANALYSIS

The 2018 requisition to be charged is \$24,500 and the estimated cost of parcel tax is \$790 per year per home. As asset renewal and water source projects are eminent, an increase in the requisition will be required.

The proposed requisition limit increase meets the criteria for exemption from obtaining the Inspectors approval, in accordance with *Regional Districts Establishing Bylaw Approval Exemption Regulation, BC Reg. 113/207*.

FINANCIAL CONSIDERATIONS

The annual cost of providing this water service is recovered by user fees of \$900 per year and parcel tax of \$790. The maximum parcel tax requisitions have been:

- \$24,500 for the Shellwood Water System or \$790 per home

The proposed increase is \$30,625 or \$988 per home if the maximum requisition is charged.

COMMUNICATION CONSIDERATIONS

Not applicable.

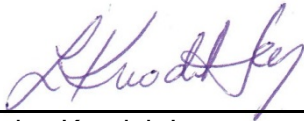
STRATEGIC/BUSINESS PLAN CONSIDERATIONS

Water management budgets fall under essential reliable services.

Referred to (upon completion):

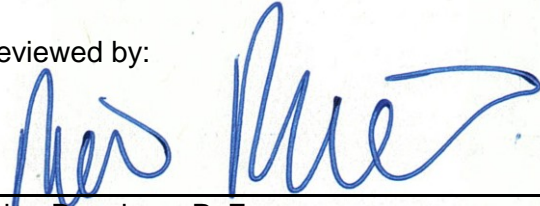
- Community Services (*Island Savings Centre, Cowichan Lake Recreation, South Cowichan Recreation, Arts & Culture, Public Safety, Facilities & Transit*)
- Corporate Services (*Finance, Human Resources, Legislative Services, Information Technology*)
- Engineering Services (*Environmental Services, Capital Projects, Water Management, Recycling & Waste Management*)
- Planning & Development Services (*Community & Regional Planning, Development Services, Inspection & Enforcement, Economic Development, Parks & Trails*)
- Strategic Services

Prepared by:



Louise Knodel-Joy
Senior Engineering Technologist

Reviewed by:



Brian Dennison, P. Eng.
Manager



Hamid Hatami, P. Eng.
General Manager



STAFF REPORT TO COMMITTEE

DATE OF REPORT December 21, 2017

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Water Management Division
Engineering Services Department

SUBJECT: Requisition Limit Increase – Woodley Range Water System

FILE: 0540-20-EAS

PURPOSE/INTRODUCTION

The purpose of this report is to recommend an increase to the maximum annual requisition limit for the Woodley Range Water System Service Area.

RECOMMENDED RESOLUTION

That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 3616–Woodley Range Water System Service Establishment Bylaw, 2012, to increase the maximum annual requisition limit from \$32,000 to \$40,000.

BACKGROUND

The Woodley Range Water System Service Area requisition limit has not been increased since establishment in 2012. The requisition limit charged is currently below the maximum allowed. There is no growth expected in this service area and the reserve funds are approximately \$62,500 for capital and \$3,200 for operating.

ANALYSIS

The 2018 requisition to be charged is \$29,600 and the estimated cost of parcel tax is \$800 per year per home. As asset renewal and water source projects are eminent, an increase in the requisition will be required.

The proposed requisition limit increase meets the criteria for exemption from obtaining the Inspectors approval, in accordance with *Regional Districts Establishing Bylaw Approval Exemption Regulation, BC Reg. 113/207*.

FINANCIAL CONSIDERATIONS

The annual cost of providing this water service is recovered by user fees of \$800 per year and parcel tax of \$800. The maximum parcel tax requisitions have been:

- \$29,600 for the Woodley Range Water System or \$800 per home

The proposed increase is \$40,000 or \$1,081 per home if the maximum requisition is charged.

COMMUNICATION CONSIDERATIONS

Not applicable.

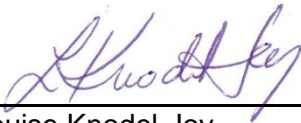
STRATEGIC/BUSINESS PLAN CONSIDERATIONS

Water management budgets fall under essential reliable services.

Referred to (upon completion):

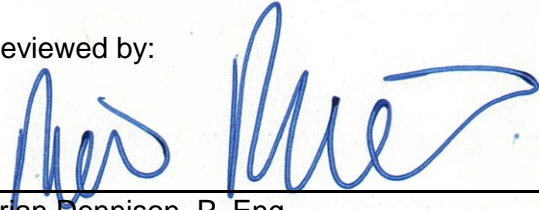
- Community Services (*Island Savings Centre, Cowichan Lake Recreation, South Cowichan Recreation, Arts & Culture, Public Safety, Facilities & Transit*)
- Corporate Services (*Finance, Human Resources, Legislative Services, Information Technology*)
- Engineering Services (*Environmental Services, Capital Projects, Water Management, Recycling & Waste Management*)
- Planning & Development Services (*Community & Regional Planning, Development Services, Inspection & Enforcement, Economic Development, Parks & Trails*)
- Strategic Services

Prepared by:



Louise Knodel-Joy
Senior Engineering Technologist

Reviewed by:



Brian Dennison, P. Eng.
Manager



Hamid Hatami, P. Eng.
General Manager



STAFF REPORT TO COMMITTEE

DATE OF REPORT December 21, 2017

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Water Management Division
Engineering Services Department

SUBJECT: Requisition Limit Increase – Electoral Area A – Mill Bay/Malahat
Critical Location Streetlighting Service Establishment Bylaw 2137

FILE: 0540-20-EAS/05

PURPOSE/INTRODUCTION

The purpose of this report is to recommend an increase to the maximum annual requisition limit for the Electoral Area A – Mill Bay Malahat Critical Location Streetlighting Service Area.

RECOMMENDED RESOLUTION

That it be recommended to the Board that a bylaw be prepared to amend CVRD Bylaw No. 2137 – Electoral Area A – Mill Bay/Malahat Critical Location Streetlighting Service Establishment Bylaw, 2001, to increase the maximum annual requisition limit from \$5,000 to \$6,250.

BACKGROUND

The Mill Bay/Malahat Critical Location Streetlighting Service Area was established in 2001 and has seven streetlights. The requisition limit was last increased in 2012.

ANALYSIS

The current requisition limit is \$5,000 with the expected operational costs in 2018 of \$2,500. Two additional streetlights have been approved for installation in 2018 at Frayne Road, therefore an increase to the requisition will be required in the future and although not exceeding the current requisition limit it is prudent to increase the limit now allowing for further connections in future should they be requested.

FINANCIAL CONSIDERATIONS

The annual cost of providing this service is recovered by requisition of money to be collected by a property value tax on land and improvements. The maximum to be requisitioned annually for this service will increase from \$5,000 to \$6,250. This falls within the exemption from obtaining the Inspectors approval.

COMMUNICATION CONSIDERATIONS

Not applicable.

STRATEGIC/BUSINESS PLAN CONSIDERATIONS

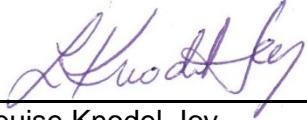
Water management budgets fall under essential reliable services.

Referred to (upon completion):

- Community Services (*Island Savings Centre, Cowichan Lake Recreation, South Cowichan Recreation, Arts & Culture, Public Safety, Facilities & Transit*)
- Corporate Services (*Finance, Human Resources, Legislative Services, Information Technology*)
- Engineering Services (*Environmental Services, Recycling & Waste Management, Water*)

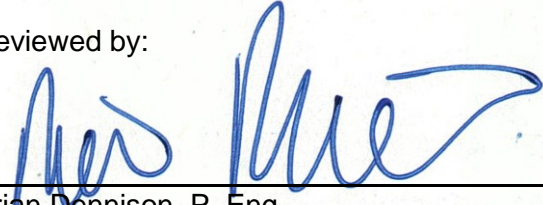
- Management)*
- Planning & Development Services (*Community & Regional Planning, Development Services, Inspection & Enforcement, Economic Development, Parks & Trails*)
- Strategic Services

Prepared by:



Louise Knodel-Joy
Senior Engineering Technologist

Reviewed by:



Brian Dennison, P. Eng.
Manager



Hamid Hatami, P. Eng.
General Manager



STAFF REPORT TO COMMITTEE

DATE OF REPORT January 11, 2018

MEETING TYPE & DATE Electoral Area Services Committee Meeting of February 7, 2018

FROM: Water Management Division
Engineering Services Department

SUBJECT: Function 576 – Engineering Services - Utilities - Short Term Borrowing
for Two Utility Vehicles

FILE: 0540-20-EAS/05

PURPOSE/INTRODUCTION

The purpose of this report is to request approval to short-term borrow for the purchase of two new utility vehicles as approved in the 2018 budget.

RECOMMENDED RESOLUTION

That it be recommended to the Board that short term borrowing of up to \$143,400 be approved for the purchase of two utility vehicles to be paid back over five years as per the Liabilities under Agreement Section 175 of the Community Charter.

BACKGROUND

The 2018 Engineering Services - Utilities budget currently includes capital revenue of \$143,400 in debt proceeds as well as a budgeted expense of \$143,400 for Capital – Vehicles.

The Water Management Division is replacing a 2008 Ford F-350 utility truck with an odometer reading of 280,000 kilometres, with a heavy duty crane truck in order to relieve the cost of contracting a crane truck. This cost savings will account for the capital cost of the vehicle in 5 years. Most utility vehicles last 6 - 8 years.

The second vehicle purchase will be a light duty truck for the instrumentation/electrician operator and will be equipped for those purposes.

ANALYSIS

After reviewing a number of available models, the vehicle's specifications have been decided based upon a number of factors including:

Vehicle 1 – Heavy duty crane truck:

- 4 cylinder / 4x4 / diesel
- Low carbon footprint
- Multi purposed work platform
- Locally serviced

Vehicle 2 – Light duty truck:

- Gas mileage
- Versatility for its size
- Availability

FINANCIAL CONSIDERATIONS

The total capital cost of the recommended vehicles is \$143,400 which is included in the current approved 2018 budget and there is an approved maintenance budget in the Water Management Function 576 budget for each vehicle as well. There is \$84,867 in operating reserve in this budget.

COMMUNICATION CONSIDERATIONS

Not applicable.

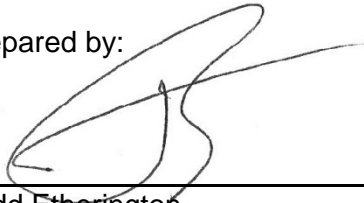
STRATEGIC/BUSINESS PLAN CONSIDERATIONS

With this purchase, the Water Management fleet will become more economically responsible by having the appropriate vehicles for the tasks at hand.

Referred to (upon completion):

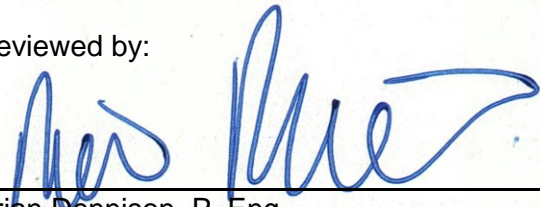
- Community Services (*Island Savings Centre, Cowichan Lake Recreation, South Cowichan Recreation, Arts & Culture, Public Safety, Facilities & Transit*)
- Corporate Services (*Finance, Human Resources, Legislative Services, Information Technology, Procurement*)
- Engineering Services (*Environmental Services, Recycling & Waste Management, Water Management*)
- Land Use Services (*Community Planning, Development Services, Inspection & Enforcement, Economic Development, Parks & Trails*)
- Strategic Services

Prepared by:



Todd Etherington
Utilities Operations Superintendent

Reviewed by:



Brian Dennison, P. Eng.
Manager



Hamid Hatami, P. Eng.
General Manager

PROTECTING OUR DRINKING WATER

Region-wide approach needed



Here's what we've heard:

- Water is your #1 priority
- Solutions and strategies should be regional
- A modest level of taxation makes sense
- CVRD needs to collaborate with partners

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Reaching out to community



Sept 2016

Community Satisfaction Survey



Feb 2017

Open Houses and PlaceSpeak conversation



July 2017

Meeting with Provincial and Federal experts



Aug 2017

Review of other water protection strategies



Sept 2017

CVRD Board review and recommendations



Feb 2018

Open Houses and PlaceSpeak conversation



March 2018

CVRD Board considers establishing watershed service

PROTECTING OUR DRINKING WATER

A made-for-Cowichan solution



Here's what we know

- The region is growing rapidly
- Water issues are complex, fast-changing
- Current, fragmented water protection is not good enough
- Region-wide approach is more cost-effective
- Water quality and quantity are at risk in many areas here

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What experts are saying

“Local governments are increasingly engaged in source water protection.” Polis Water Project

Local governments need to be leaders in water protection

CVRD needs to be better aligned with its partners

BC Water Sustainability Act gives local government a bigger role

New Fed/Prov funding programs will benefit regions with integrated plans

Local solutions must be allowed to develop in place

PROTECTING OUR DRINKING WATER

Proposed water and watershed protection service



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Average cost comparison with other services

PER \$100,000 OF ASSESSED PROPERTY VALUE



\$22

Community Parks Service



\$88

Recreation Centres Service



\$15

Water Protection Service

PROTECTING OUR DRINKING WATER

Your input is important



Here's what we need from you:

- Consider how the availability and quality of water impacts you and your quality of life
- Attend Feb 2018 open houses and join the PlaceSpeak conversation
- Provide input on the proposed regional water protection service, and the degree of cost you could support.

What will happen in 2018



February

Partner consultation, public open houses and PlaceSpeak conversation



March

All feedback integrated into a draft service establishment bylaw and presented to the Board



April

If approved, service establishment bylaw submitted to Province for review



October

If approved, region-wide referendum to establish a new service



COWICHAN VALLEY REGIONAL DISTRICT

SUBMISSION FOR A GRANT-IN-AID (ELECTORAL AREAS)

Submitted by Director LORI IANNIDINARDO Area D.

Grantee: _____ Grant Amount \$ 1,000.00

NAME: COWICHAN SECONDARY SCHOOL

ADDRESS: 2652 JAMES ST.
DUNCAN BC.
V9L 2X2.

Contact Phone No: 250-746-4435.

PURPOSE OF GRANT: two bursaries @ 500.00\$ each
to a student from Area D.

REQUESTED BY: Lori L. Iannidinaro
 Director's Signature

ACCOUNT NO.	AMOUNT

FOR FINANCE USE ONLY

BUDGET APPROVAL _____

Approval at Regional Board Meeting of _____

Finance Authorization _____

