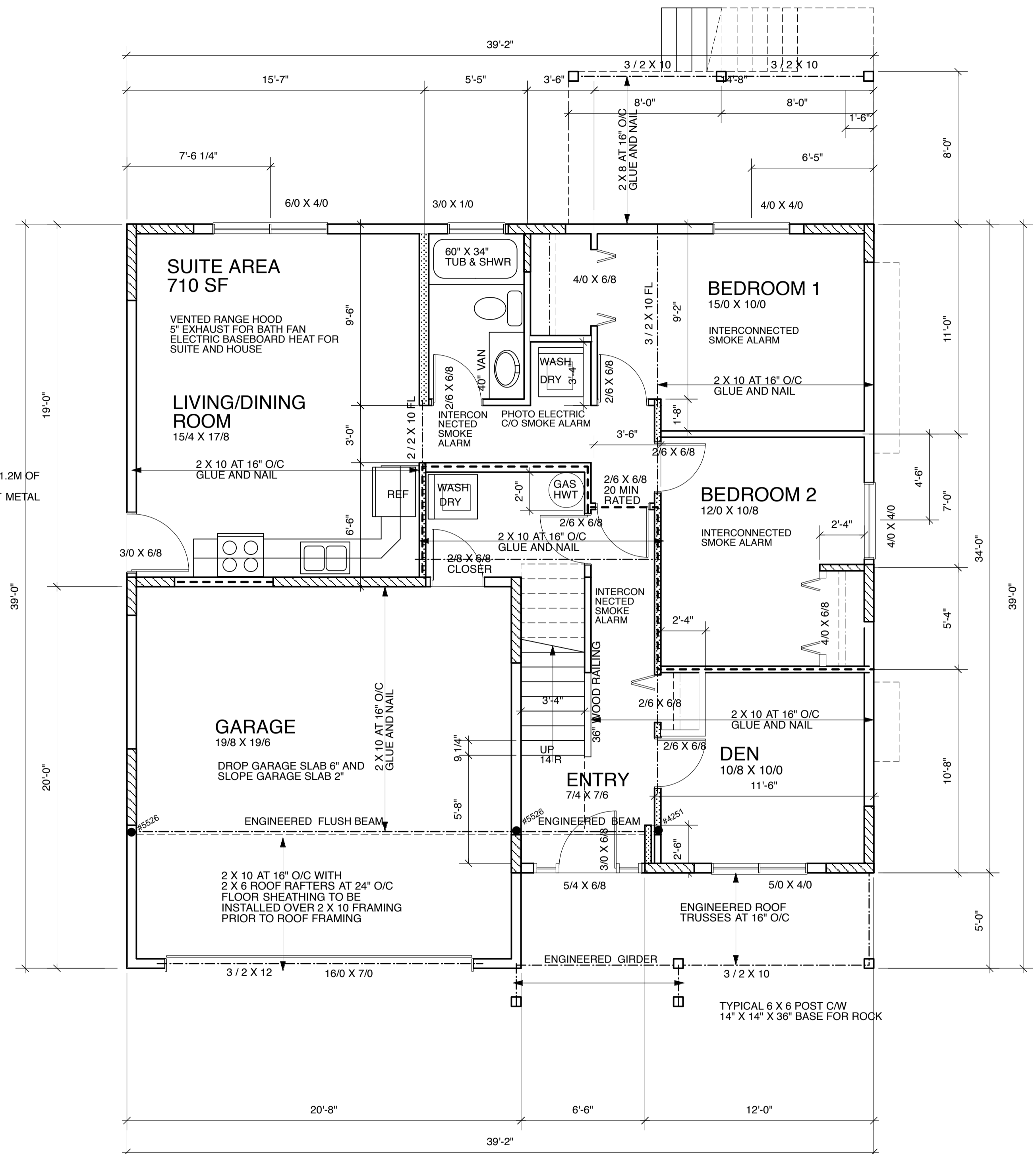


UPPER FLOOR PLAN 1291 SF

SCALE 1/4" = 1' 0"

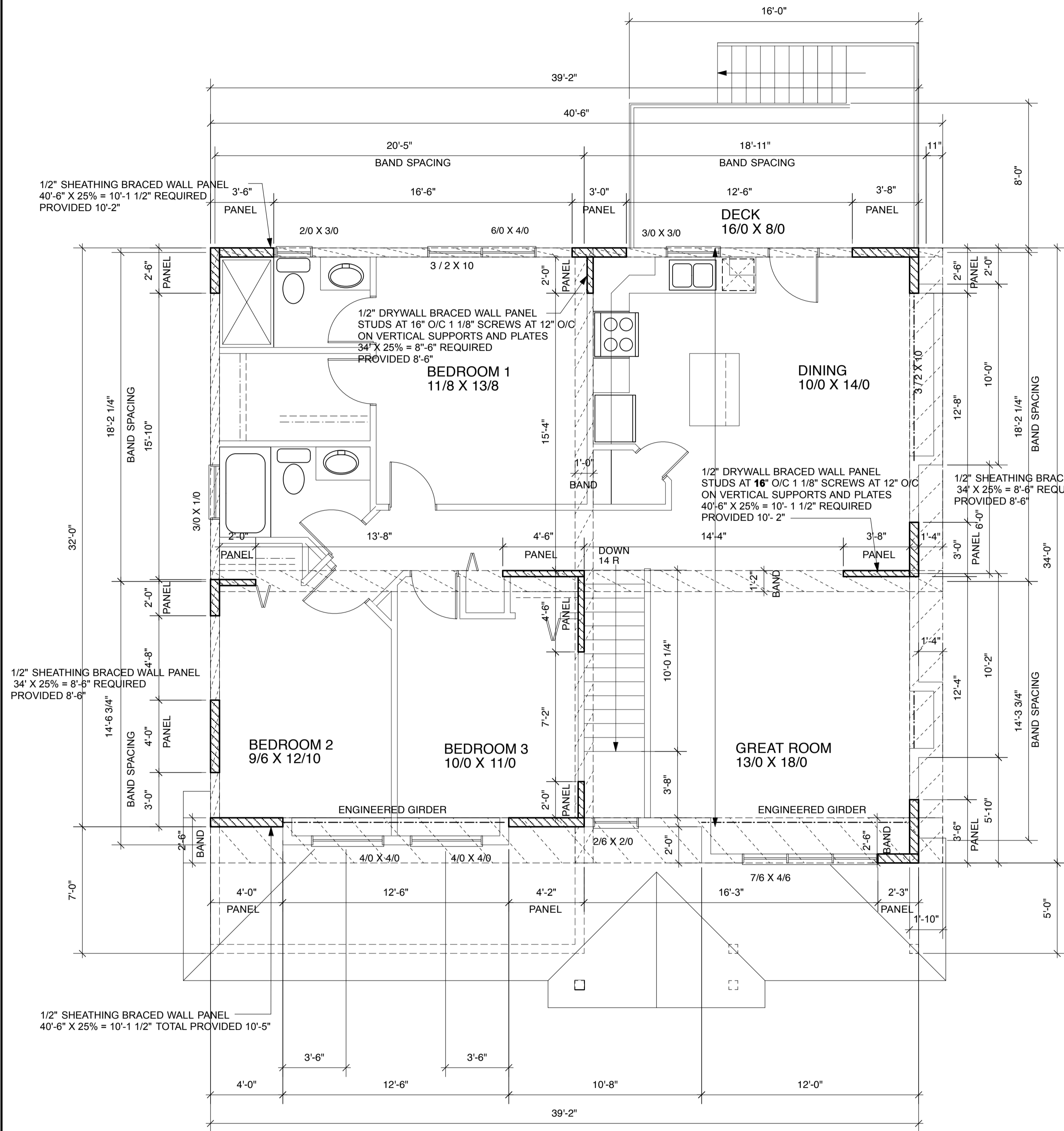
GENERAL NOTES:

- ALL LUMBER TO BE S.P.F. #2 OR BETTER
- ALL LINTELS TO BE 2 - 2 X 10 U.N.O.
- CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS, DIMENSIONS AND LOCATION OF SERVICES PRIOR TO STARTING CONSTRUCTION.
- DRAWINGS ARE NOT TO BE SCALED.
- ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.



BASEMENT PLAN 1011 SF + 422 sf garage

SCALE 1/4" = 1' 0"

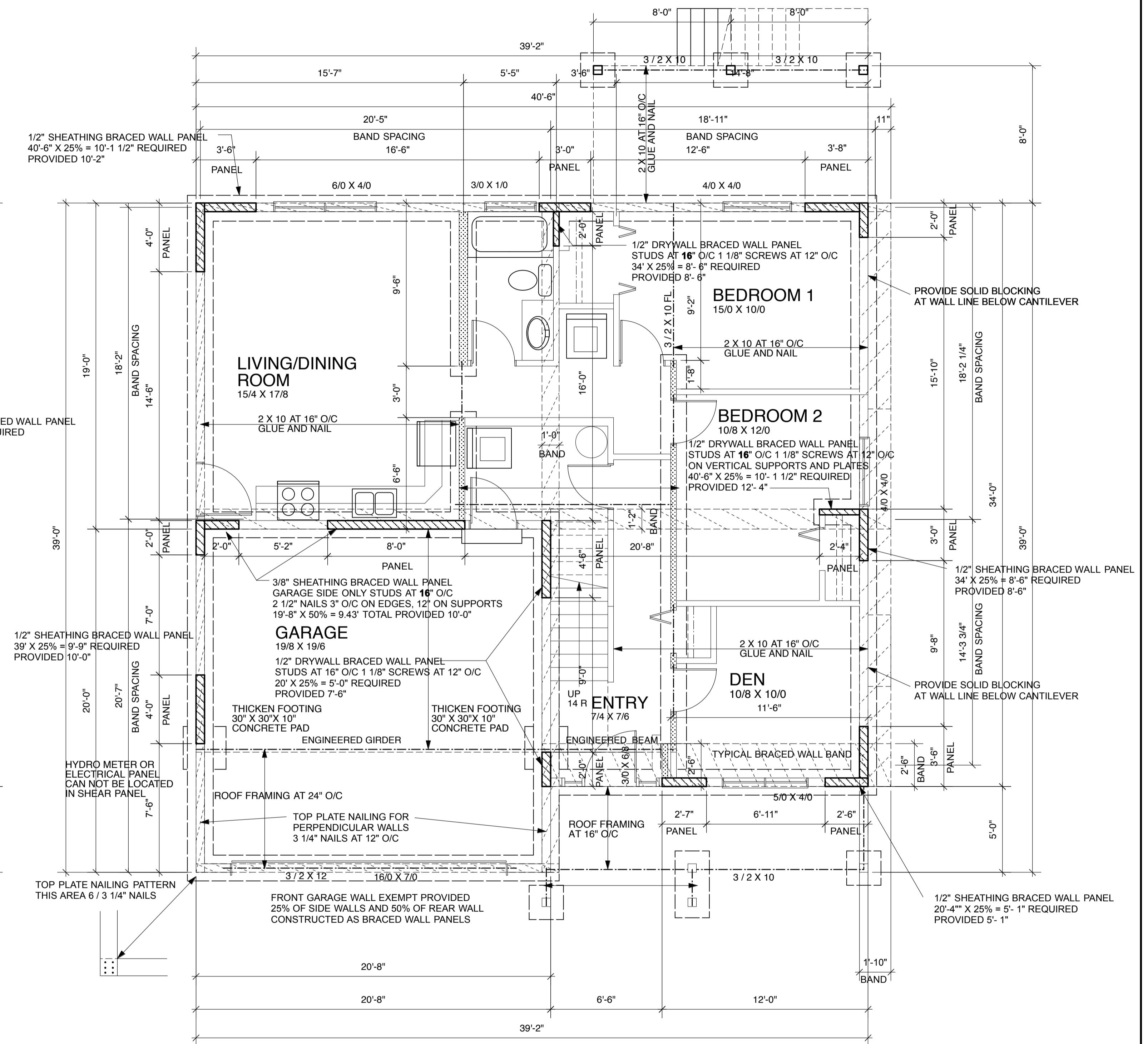


UPPER FLOOR LATERAL LOAD PLAN

SCALE 1/4" = 1' 0"

GENERAL NOTES:

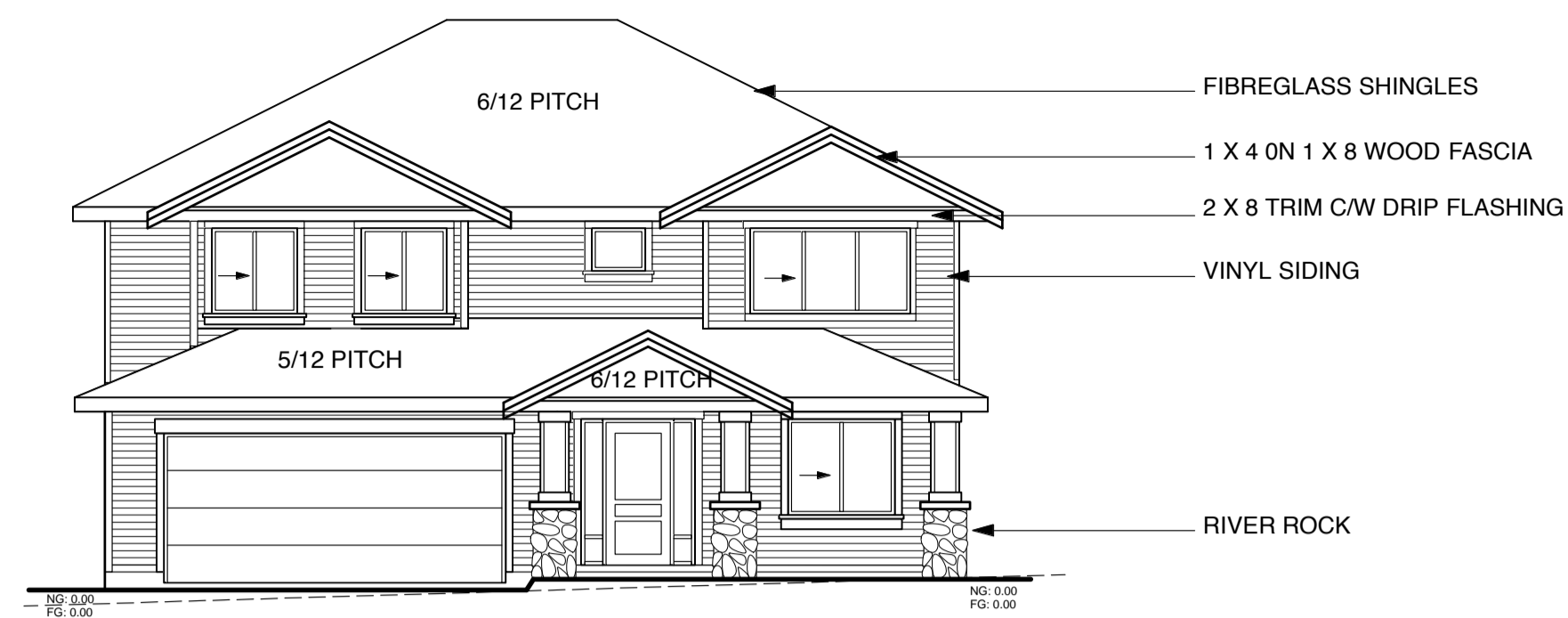
ALL LUMBER TO BE S.P.F. # 2 OR BETTER
ALL LINTELS TO BE 2-2 X 10 U.N.G.
CONTRACTOR TO VERIFY ALL LINES, LEVELS, SURVEYS,
DIMENSIONS AND LOCATION OF SERVICES PRIOR TO
STARTING CONSTRUCTION.
DRAWINGS ARE NOT TO BE SCALED.
ALL FOOTINGS TO BEAR ON SOLID UNDISTURBED NATIVE
SOIL OR ENGINEERED FILL AND BELOW FROST DEPTH.



BASEMENT FOUNDATION/LATERAL LOAD PLAN

SCALE 1/4" = 1' 0"

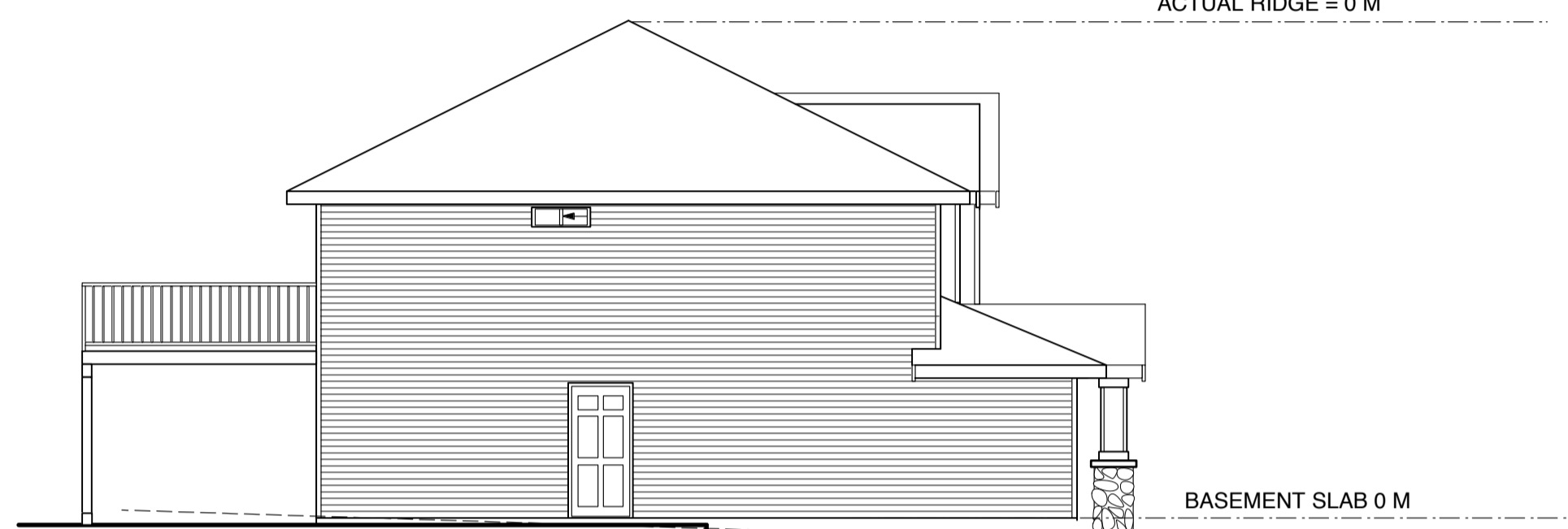
TYPICAL FOUNDATION
6" CONCRETE WALL
ON 18" X 6" FOOTING C/W 2 - 10M
TYPICAL PAD
8" X 8" CONCRETE PIER ON
24" X 24" X 8" PAD
REAR FOUNDATION
8" CONCRETE WALL
ON 18" X 6" FOOTING C/W 2 - 10M



FRONT ELEVATION

MAXIMUM ALLOWABLE RIDGE = 0 M

ACTUAL RIDGE = 0 M



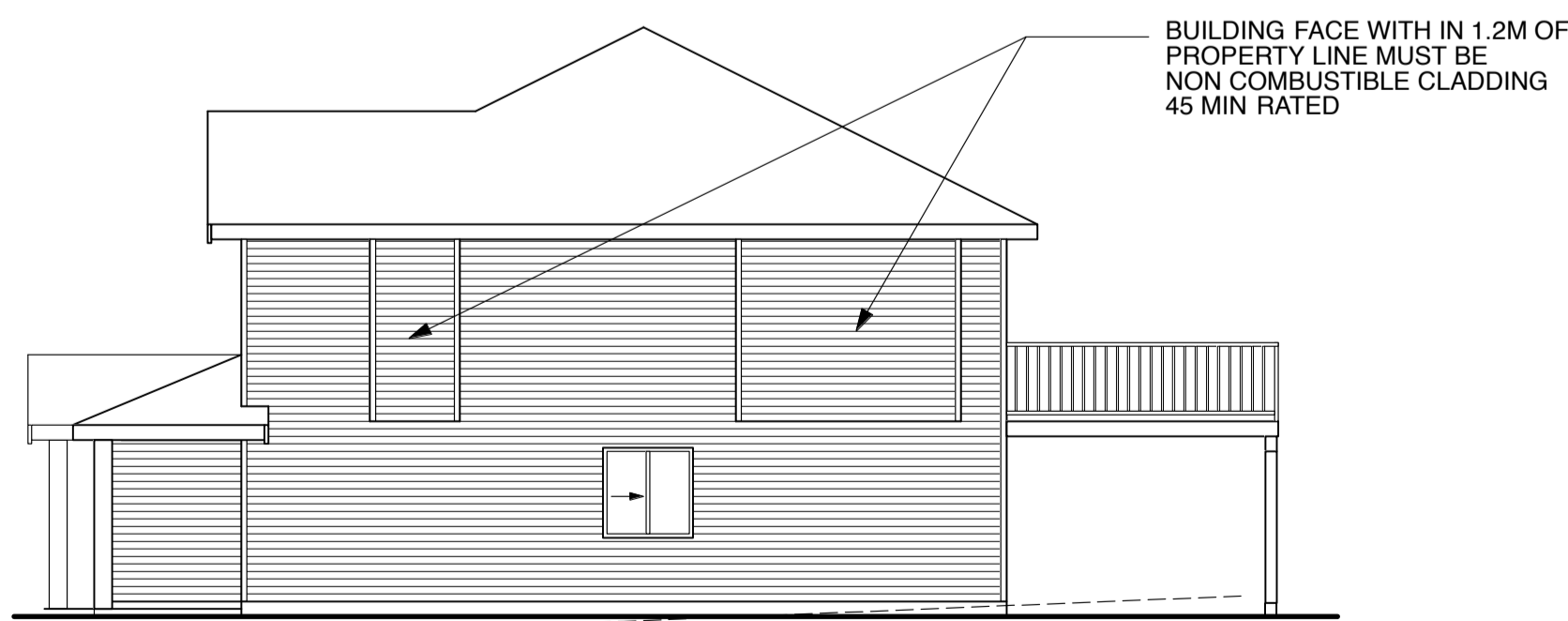
LEFT SIDE ELEVATION

SPATIAL SEPARATION
 LIMITING DISTANCE 5.0'
 WALL AREA 610 SF
 ALLOWABLE OPENINGS 51 SF (8%)
 ACTUAL OPENINGS 22SF (4 %)



REAR ELEVATION

ALL UNPROTECTED OPENINGS TO
 HAVE SLOPED METAL FLASHING



RIGHT SIDE ELEVATION

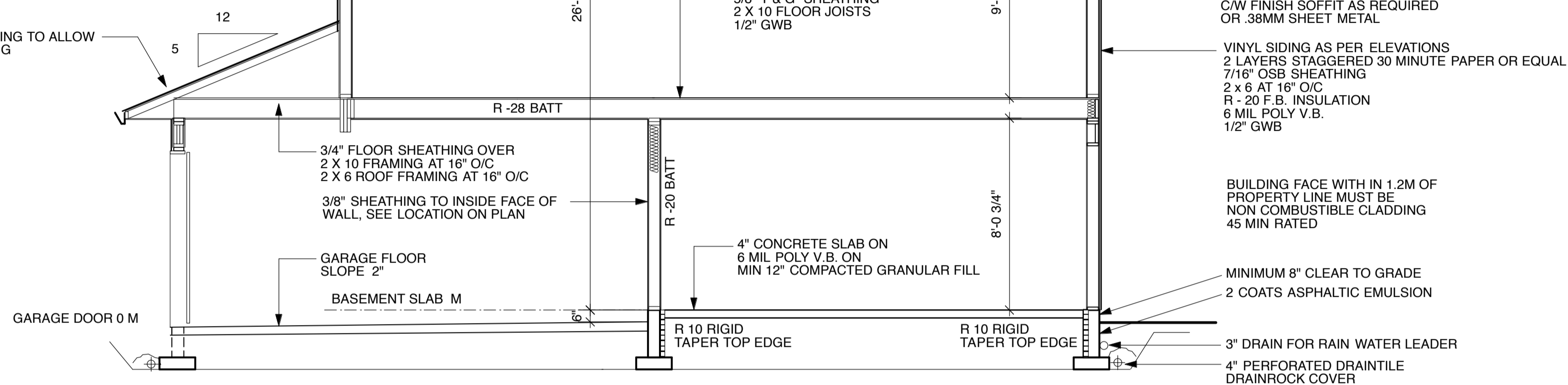
SCALE 1/8" = 1'-0"

SPATIAL SEPARATION
 LIMITING DISTANCE 5'-10"
 WALL AREA 599 SF
 ALLOWABLE OPENINGS 47 SF (8 %)
 ACTUAL OPENINGS 24 SF (4 %)

TYPICAL ROOF ASSEMBLY
 30 YEAR LAMINATED SHINGLES
 ROOFING FELT
 7/16" SHEATHING
 ENGINEERED ROOF TRUSSES
 R 40 F.B. INSULATION
 6 MIL POLY V.B.
 5/8" TYPE 'X' GWB

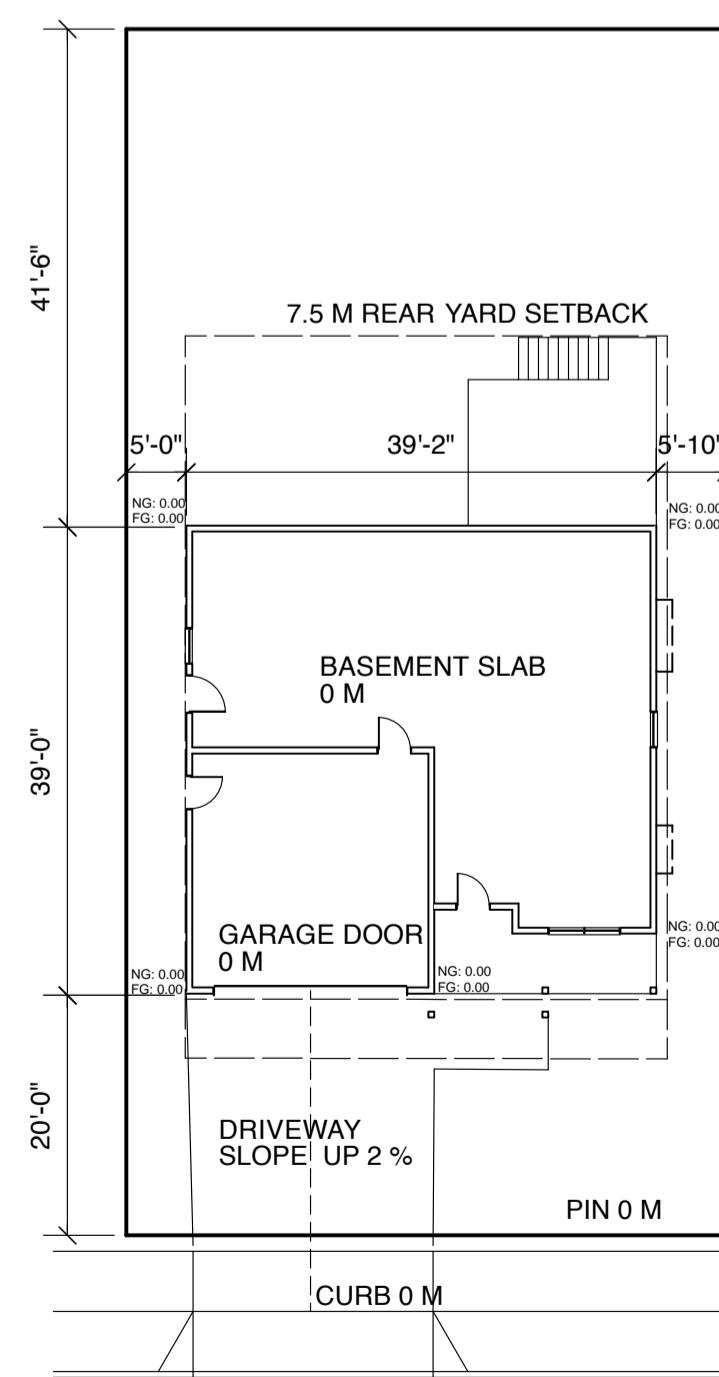
5" ALUMINUM FASCIA GUTTER

RAISE ROOF FRAMING TO ALLOW
 FOR 2 X 10 FRAMING



TYPICAL SECTION

SCALE 1/4" = 1' 0"



AVERAGE NATURAL GRADE = 0 M

MAXIMUM ALLOWABLE RIDGE = 0 M

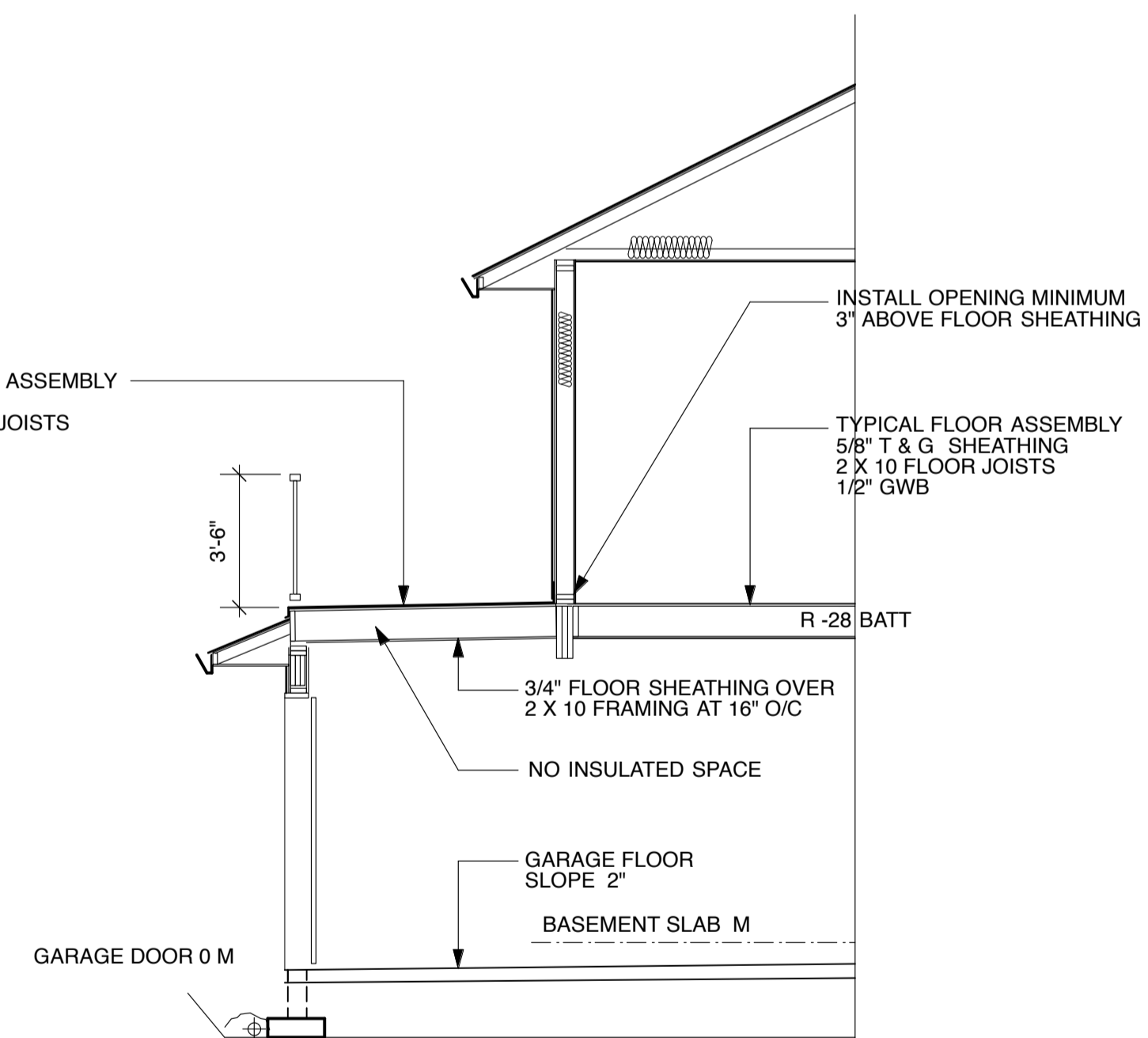
AVERAGE PROPOSED GRADE = 0 M

MAXIMUM ALLOWABLE RIDGE = 0 M

ACTUAL RIDGE = 0 M

CIVIC: ROAD
 LEGAL: LOT 11 PLAN VIP
 ZONE: R 1
 LOT AREA: 5540 SF
 FLOOR AREA RATIO: 0.46
 LOT COVERAGE: 32.6 %
 BUILDING AREA:
 MAIN 1291 SF
 BASEMENT 1011 SF + 422 SF GARAGE
 TOTAL 2302 SF
 COVERED DECKS 105 SF
 PROPOSED BUILDING HEIGHT 26'-0"

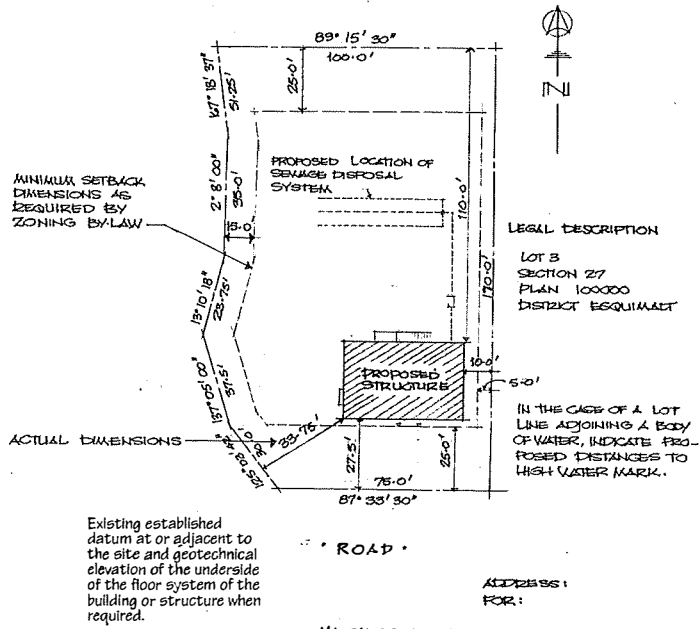
APPROVED DECK ASSEMBLY
 3/4" SHEATHING
 2 X 10 AT 16" O/C JOISTS
 6 MIL POLY V.B.
 5/8" TYPE 'X' GWB



SECTION SHOWING
 DECK OPTION

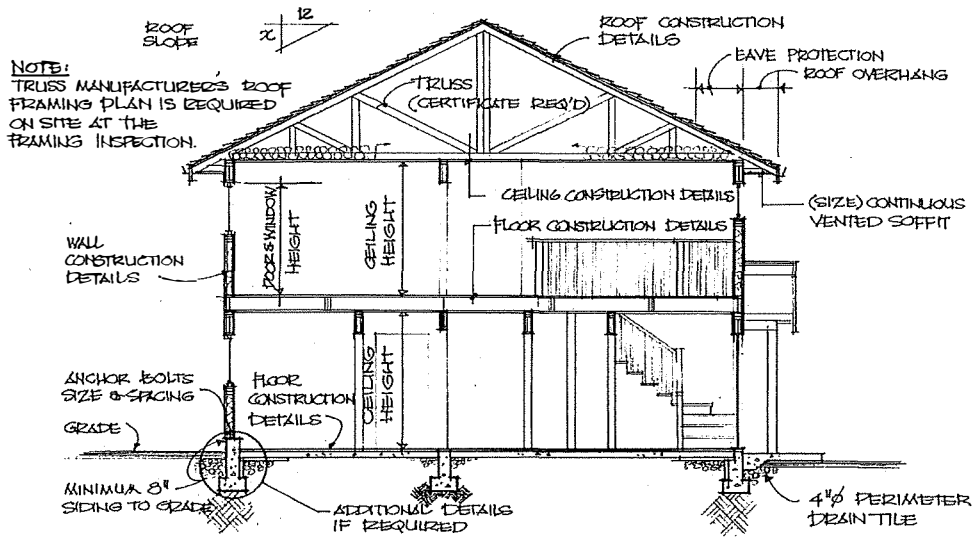
SCALE 1/4" = 1' 0"

Site Plan



ALL SITE PLANS MUST SHOW ALL BUILDINGS (EXISTING AND PROPOSED) AND ALL SETBACKS FROM PROPERTY LINES.

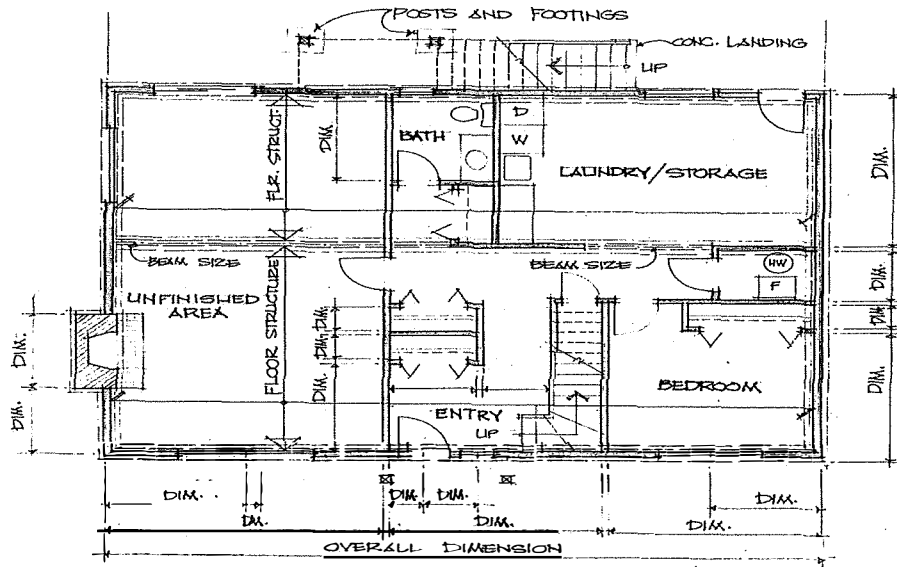
Cross Section



Page ___

Scale 1/4" = 1' 0"

Lower Floor



FOUNDATION / LOWER FLOOR PLAN.

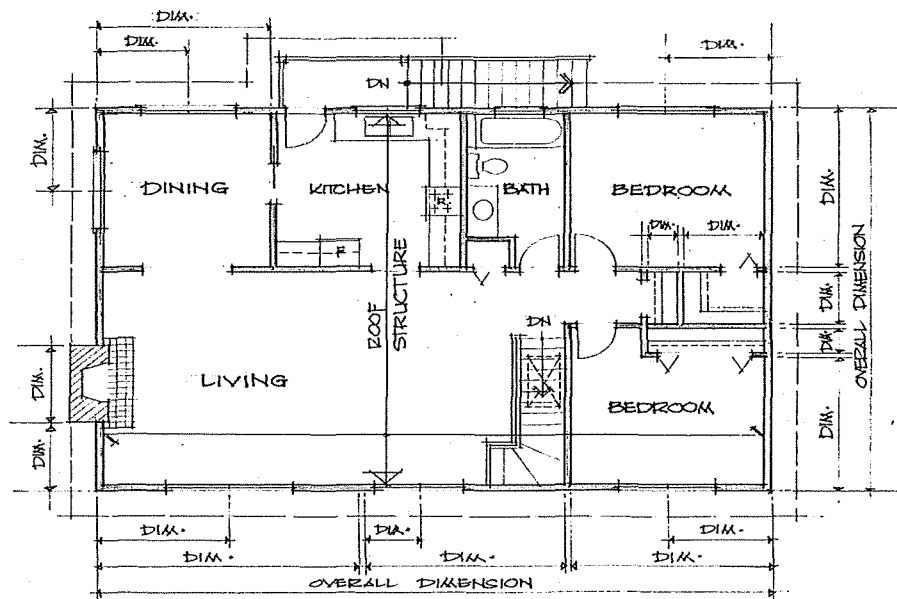
SCALE 1:50 ($\frac{1}{4}'' = 1'-0''$)

AREA: _____

SHOW: (TYPICAL ALL FLOORS)

- ROOM USES
- LOCATION OF PLUMBING FIXTURES, APPLIANCES, FIRE PLACES AND HEATING SYSTEM.
- LOCATION & SIZE OF WINDOWS AND DOORS, INCLUDING DOOR SWINGS
- AREA EACH FLOOR
- FRAMING OF FLR/CEILING OVER INCLUDING JOIST AND BEAM SIZES.

Upper Floor

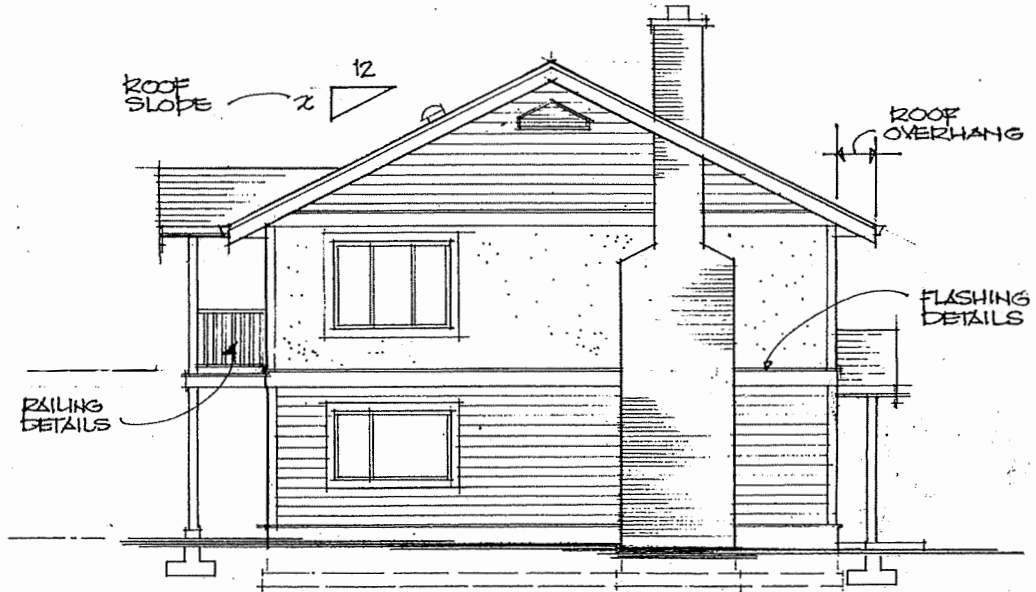


UPPER FLOOR PLAN.

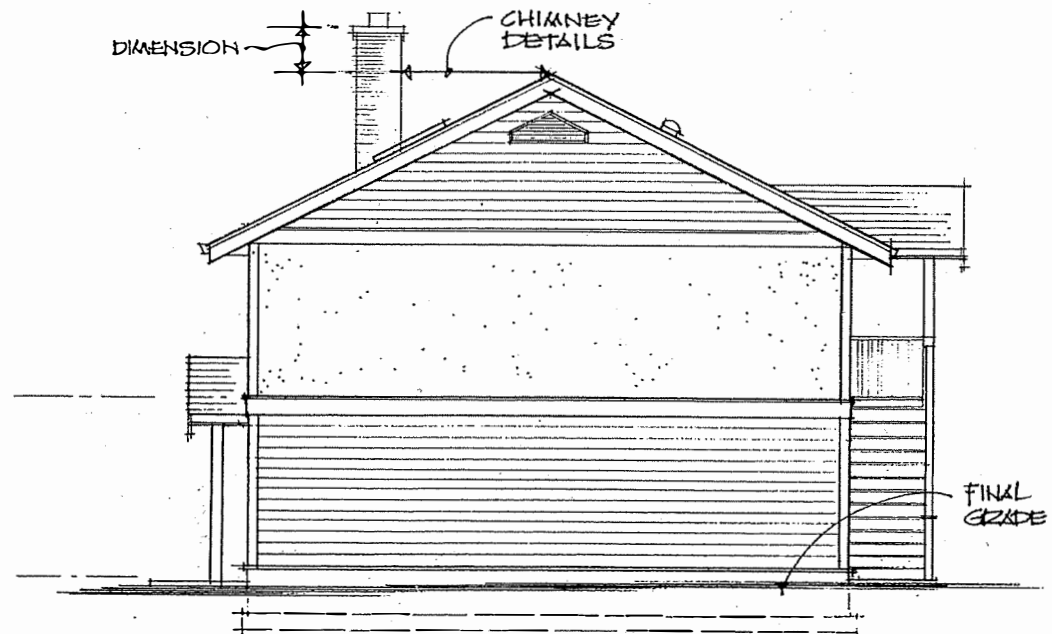
SCALE 1:50 ($\frac{1}{4}'' = 1'-0''$)

AREA: _____

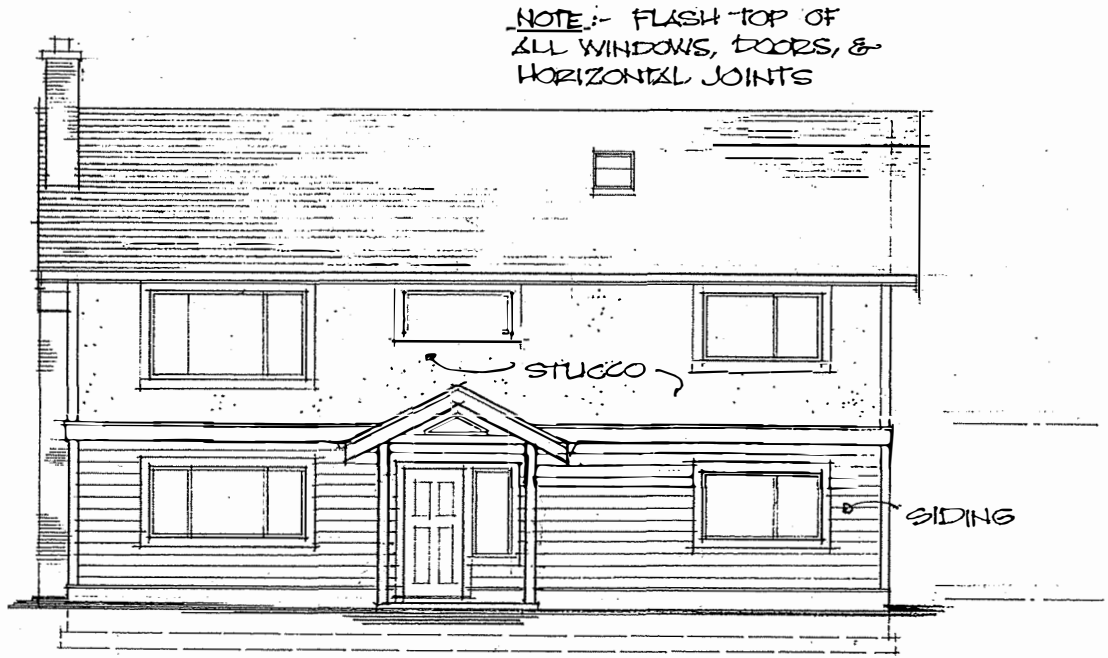
Side Elevation



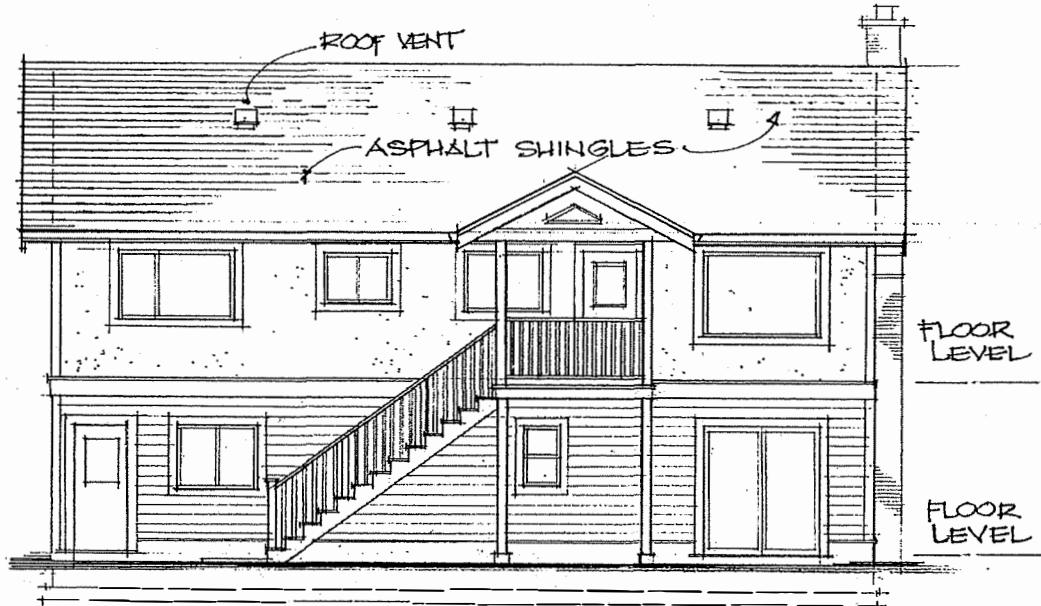
Side Elevation



Front Elevation



Rear Elevation



Footing Detail

